

**PLANNING COMMISSION WORKSHOP**

**JANUARY 27, 2015**

**CITY COUNCIL CHAMBERS**

**SHOREVIEW CITY HALL**

*(After the regular meeting)*

**Agenda**

1. Text Amendment - Building Height
2. December 16, 2014 Workshop Minutes

DRAFT

**SHOREVIEW PLANNING COMMISSION  
WORKSHOP MEETING MINUTES  
December 16, 2014**

**CALL TO ORDER**

Chair Solomonson called the December 16, 2014 Planning Commission meeting workshop to order at 8:30 p.m.

**ROLL CALL**

The following Commissioners were present: Chair Solomonson; Commissioners Ferrington, McCool, Peterson, Proud, Schumer, and Thompson.

**DISCUSSION**

*Nuisances*

The Staff reviewed existing regulations related to property maintenance, tall grass and weeds, nuisances and abatements. The City is proposing the text of Section 210 be amended to clarify the abatement process for tall grass and weeds. Language proposed includes tall grass and weeds as a nuisance condition thereby permitting the City to abate the nuisance. Due to the circumstances related to tall grass and weeds, language is also added to permit the City to abate the conditions immediately after a hearing is held by the City Council.

The Commission reviewed the proposed changes and indicated support since the revised text clarifies the process and provides consistency with current practice.

*Building Height*

The Staff reviewed regulations regarding to building height and past projects that have been approved where the maximum building height was exceeded. When building height is exceeded, findings need to be made that such a deviation provides a benefit to the City. While these findings have been made, it appears that the current 35-foot height limit is too restrictive and could be modified since the City is focusing on redevelopment.

Commission members generally supported height increases in areas outside of the R1 and R2 zoning district but also had some concerns that should be addressed with an ordinance revision. These included the impact of taller heights on adjoining lower density residential land uses and the visual impact from the public right-of-way. Consideration should be given to increased setbacks, varying the height of a structure using tiers and architectural design. The Commission did ask for additional information regarding height, how it is measured and structure setback requirements used in other communities.

This matter will be reviewed with the Commission again at a later date.

*Commissioner Assignments for 2015*

The Commission reviewed assignments for 2015. Staff noted that these assignments will be revised to add John Doan, a newly appointed Commission member.

**ADJOURNMENT**

The workshop adjourned at 9:10 pm.

**TO:** Planning Commission  
**FROM:** Kathleen Castle, City Planner  
**DATE:** January 23, 2015  
**SUBJECT:** Text Amendment – Building Height

**Introduction**

As a developed community, growth will occur through infill and redevelopment. Infill and redevelopment presents unique challenges regarding the transition of land use within or adjacent to established neighborhoods or commercial areas. The transition of land use generally results in land being developed at a higher intensity with the need for deviations from the City’s development standards, including building height.

In December, the Planning Commission discussed potential revisions to the maximum building heights permitted for multi-family residential, commercial, business and industrial properties. In general, Commission members supported height increases in areas outside of the R1 and R2 zoning district but expressed concern regarding the impact taller buildings may have on adjoining low-density residential land uses. Concern was also expressed regarding the visual impact when viewed from the public right-of-way. The Commission indicated additional information regarding how building height is measured should be provided and options to consider include increased setbacks, location, varying the height of a structure using tiers and architectural design.

**Development Code**

Table 2 is a summary of existing standards, including building height and structure setbacks for the zoning districts. In all districts, the maximum height permitted is 35 feet. This height, however, can be exceeded in the multi-family and non-residential districts if for every additional foot of height there is an additional foot of setback on all sides and the building height does not exceed the firefighting capabilities of the Fire Department. Also, there are more stringent setback requirements when a non-residential use is adjacent to a residential use.

Building Height is defined as follows:

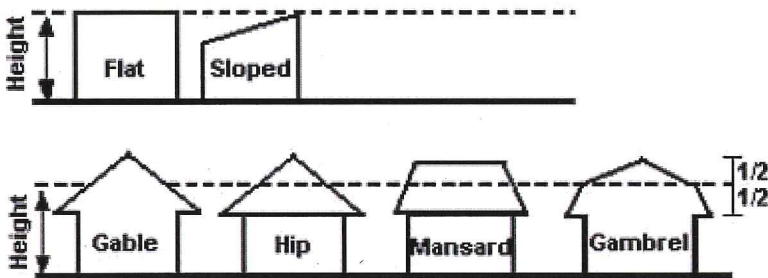
Height, Building. With the exception of substandard riparian lots, building height shall be measured as follows: A distance to be measured from the mean curb level along the front lot line or from the mean ground level for all that portion of the structure having frontage on a public right-of-way, whichever is higher, to the top of the cornice of a flat roof, to the top line of a mansard roof, to a point on the roof directly above the highest wall of a shed roof, to the uppermost point on a round or other arch-type roof, or to the mean distance of the highest gable on a pitched or hip roof. For substandard riparian lots,

building height is measured from the highest roof peak to the lowest point at finished grade. Finished grade is the final grade upon completion of construction. Grade is defined as the lowest point within 5 feet of the building in accordance with the Uniform Building Code.

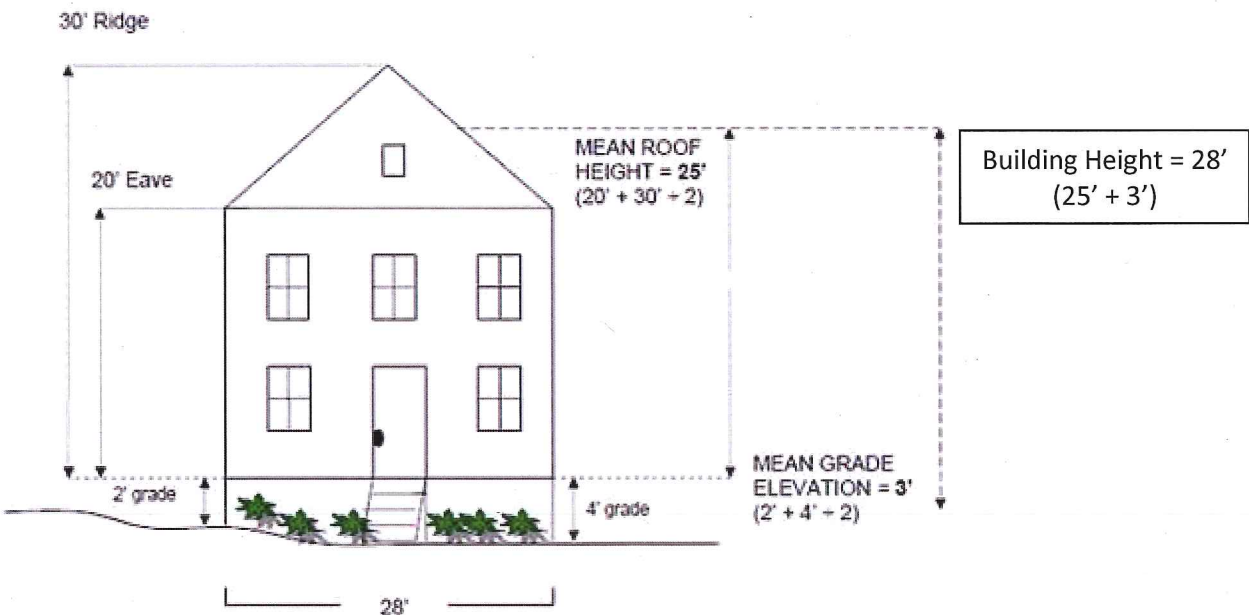
This definition is somewhat consistent with definitions found in other Codes, including the Building Code. Table 3 summarizes the definitions and can be referred to when looking at the permitted heights in other communities. In some instances there are differences in the grade reference point and the point measured to on the roof. Changes are not being recommended as to how height is measured.

The following two illustrations convey the different roof types as well as how height is measured.

### Roof Types



### Building Height Measurement



## Code Comparison

The staff did survey other metropolitan area communities and found that Shoreview's regulations tend to be more restrictive, specifically for commercial, business and industrial uses (Table 4). Many of these ordinances also have more flexible standards for special development districts or standards that need to be met to exceed the permitted height.

## Proposed Options

Changes to the existing building height requirements should permit growth but also mitigate impacts on adjacent neighborhood areas or other land uses. When higher density or intensity land uses are adjacent to lower density areas, compatibility and livability issues arise due the since these structures are larger in mass and height and in some instances have reduced setbacks. Appropriate methods for the transition of scale and mass need to be developed that permit growth while protecting adjoining land uses.

The code amendment should create transitions in building scale when higher density developments are adjacent to lower density residential land uses and incorporate design elements to soften the impacts. The following summarizes potential methods that permit taller building heights while mitigating potential impacts on nearby land uses and view from the public right-of-way.

### ***1) Increase Maximum Building Heights permitted in each Zoning District, with the exception of the R1, Detached Residential and the R2, Attached Residential Zoning Districts.***

The following table summarizes the existing height limits and proposed increases.

<b>Zoning District</b>	<b>Existing – Maximum Building Height Permitted</b>	<b>Proposed – Maximum Building Height Permitted</b>
R3 – Multi-Family Residential	35'	40'
C1A, Limited Retail Service	35'	35'
C1, Retail Service and C2, General Commercial	35'	45'  May be increased up to 50-feet for structures that abut Interstate 694 or 35W
OFC, Office; BPK, Business Park; I, Industrial	35'	50'  May be increased up to 65-feet for structures that abut Interstate 694 or 35W

PUD, Planned Unit Development	35'	Underlying Zoning District For structures that have a vertical mixture of uses, the building height may be increased to 50-feet
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**2) *Establishing tiered height limits based on the proposed setback from adjoining property lines of low density residential uses and the public right-of-way.***

Example #1 – Maximum building height of 35 feet permitted within 30 to 50 feet from the lot line then increasing to maximum building height permitted for that part of the structure setback a minimum of 50 feet from the property line.

Example #2 - Maximum building height of 35 feet permitted within 30 to 50 feet from the lot line then increasing to maximum building height permitted at a ratio of 1 to 2 (1' of additional building height for every 2' of additional horizontal distance).

The proposed ratio could apply to the entire site or only within a specified distance from the adjoining property line. (See attached illustration – Height Limits on Sites Abutting R1-R2)

**3) *Establish Architectural Standards for structures that exceed a specified height.***

Building facades could be required to incorporate textured wall materials, windows (including faux windows), building recesses, architectural bands using different colors, material and texture.

**4) *Improve landscape and screening requirements when higher density residential or non-residential uses abut low and medium density residential land uses.***

In accordance with Development Code Section 206.010 (I), a 20-foot landscaped area along the common boundary is required when a non-residential district abuts a residential district. Minimum standards are also required for landscape plant materials. The Business Park and Industrial Districts include more restrictive requirements.

Landscaping and screening is currently not required when higher density residential uses abut lower density residential uses. These regulations can be modified to include higher density residential uses, increase the minimum width of the landscaped area and minimum plant material size and better address the use of berming, and fencing.

## **5) *Include Other Provisions***

Other provisions can be included that provide the City with some discretion. For example, the Planning Commission/City Council may impose reasonable height limitations to mitigate potential negative impacts, specifically on low density residential uses, rather than limit the density of a project. The intent is to allow the City to evaluate the proposed design, scale, massing, and height of the proposed building as it relates to other structures and properties in the surrounding area.

## **Recommendation**

At this time, the staff is seeking feedback from the Planning Commission regarding the proposed options and identify other changes that should be considered. As previously stated, there have been a number of development approvals for multi-family residential, business and industrial development that have exceeded our height standards. Providing additional flexibility to these height standards, in certain areas, will more than likely be needed for redevelopment to occur, to achieve life-cycle housing goals and support economic development. If there is support for changes, text will be brought to the Commission for further review and discussion.

## **Attachments**

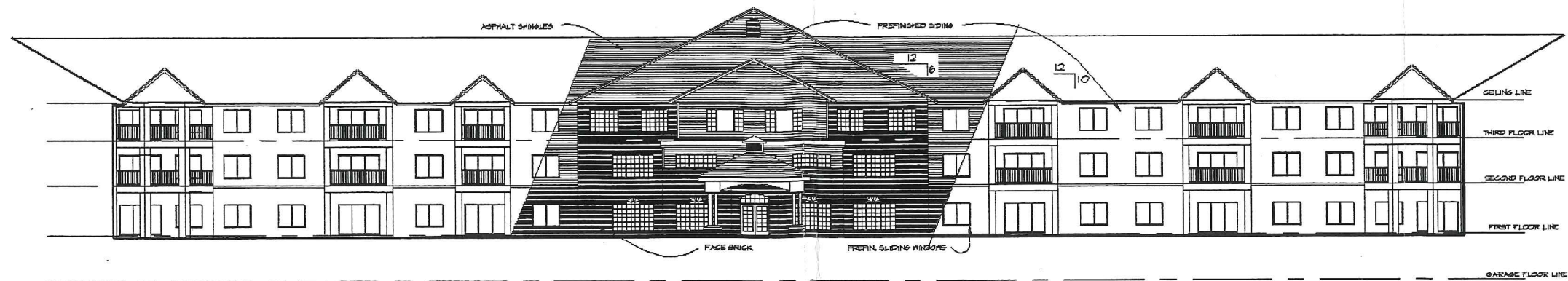
- 1) Table 1 - Approved Developments Exceeding Height Standards
- 2) Elevations of Approved Structures
- 3) Table 2 – Zoning District – Lot/Structure Standards
- 4) Table 3 - Summary of Building Height Definitions – Suburban Communities
- 5) Table 4 - Summary of Height Regulations – Suburban Communities
- 6) Illustration – Height Limits o Sites Abutting R1-R2
- 7) Map 6-1, Targeted Redevelopment Areas
- 8) Zoning Map



TABLE 1

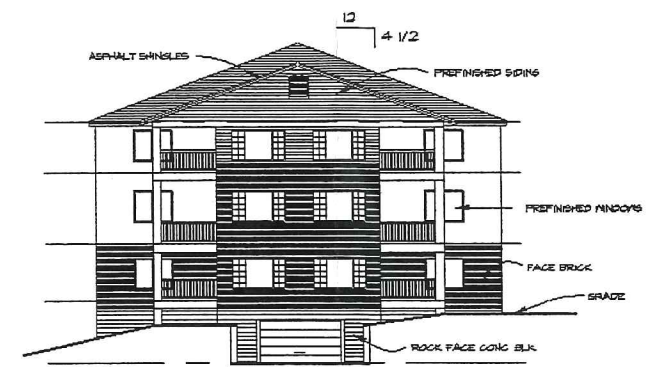
## APPROVED DEVELOPMENTS EXCEEDING HEIGHT STANDARDS

<b>Development</b>	<b>Peak</b>	<b>Midpoint</b>
<b><i>Applewood Pointe</i></b> <i>4785 Hodgson Road</i>	49 feet	39.5 feet
<b><i>Lexington Shores</i></b> <i>3150 Lexington Avenue</i>	42 feet	36 feet
<b><i>Summerhouse</i></b> <i>4655 Victoria Street</i>	50 feet	40 feet
<b><i>Scandia Shores</i></b> <i>418 Highway 96</i>	48 feet	38.5 feet
<b><i>Shoreview Sr. Living</i></b> <i>4710 Cumberland Street</i>	41.5 feet	36 feet
<b><i>Lakeview Terrace</i></b> <i>3595 Owassos St</i>	78.5 feet	--
<b><i>Hilton Garden Inn</i></b> <i>1050 Gramsie Road</i>	59 feet	50 feet
<b><i>Country Inn and Suites</i></b> <i>5995 Rice Creek Parkway</i>	56 feet	50 feet
<b><i>PaR Systems</i></b> <i>625 County Road E</i>	67 feet	--
<b><i>Billboard – Red Fox Road</i></b>	75 feet	--



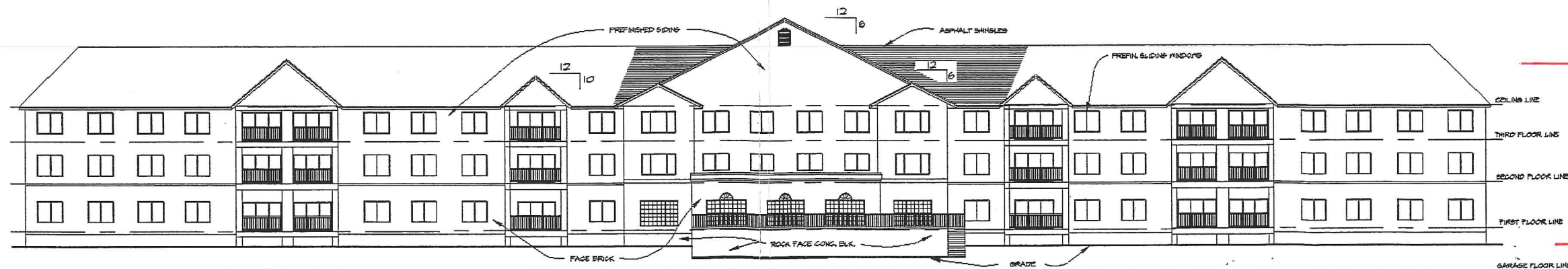
FRONT ELEVATION

SCALE 1/8" = 1'-0"



END ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"

Mid Point  
40'±

Summer house



Johnson, Sheldon & Sorenson  
ARCHITECTS, Inc.  
18249 Yellow Circle Drive  
Minnetonka, MN 55345  
Ph. 612-935-8337 Fax. 612-935-0878

STATE OF MINNESOTA  
REGISTERED ARCHITECT  
DATE: 07/15/97  
BY: JMS  
JOB NO. 97-074

PROJECT: SUMMERHOUSE OF SHOREVIEW  
SHOREVIEW, MINNESOTA

CONTENTS: EXTERIOR ELEVATION

**LAKEVIEW TERRACE**

3588 OWASSO STREET  
SHOREVIEW, MN



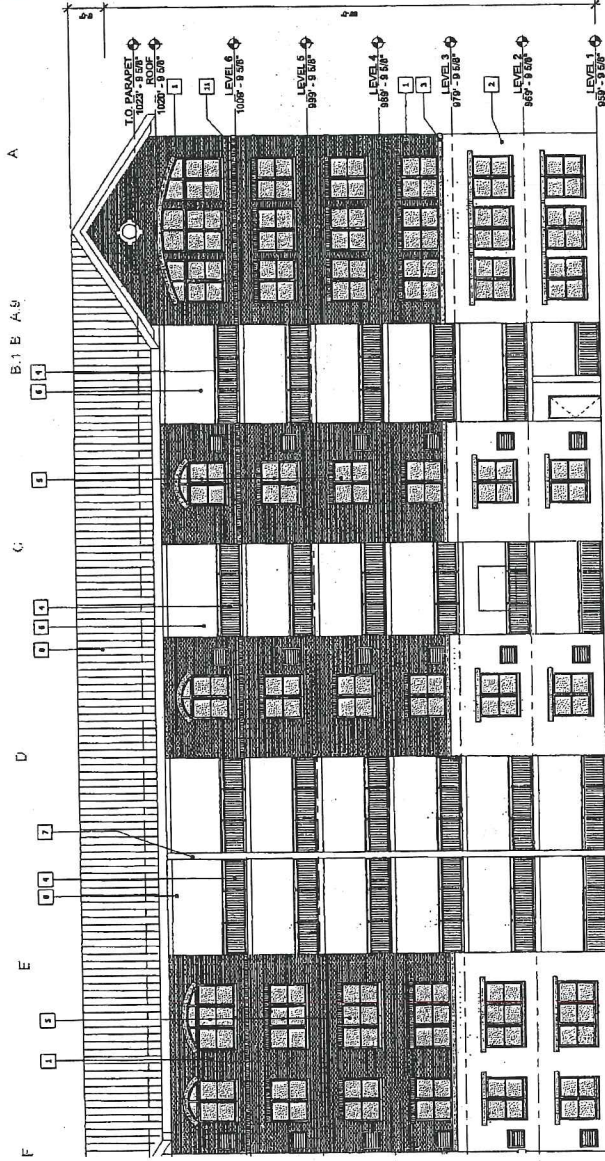
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

NOVATIONALS  
# Date Description

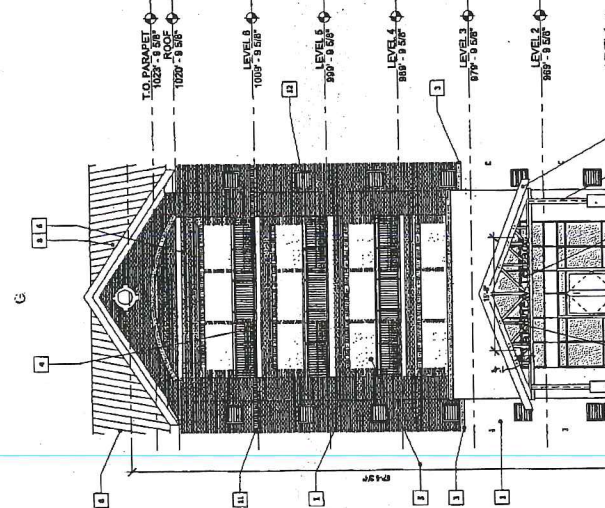
DATE 11/01/2012  
DRAWN BY  
CHECKED BY  
DATE 09/10/12  
BY

**BUILDING  
ELEVATIONS**

**A301**



1 Building Elevation - North  
1/8" = 1'-0"



2 Building Elevation - North Entry  
1/8" = 1'-0"

**GENERAL NOTES:**

1. REFER TO SPEC EXTEND AND INCLUDE FOR MATERIAL DETAILS

**KEYNOTES:**

- 1 PVC-SIDED (LIGHT BUSHY BRUSH)
- 2 SCULPTED WOODRY WOODS (IMPERMEABLE COLOUR)
- 3 SCULPTED WOODRY ACCENT COLOUR
- 4 ALUMINUM MALLING (DARK BRONZE)
- 5 FIBERGLASS WINDSCREEN (DARK FINISH)
- 6 SCISSORBAR @ ALL LANA LOCATIONS
- 7 STEEL COLLARS OR TUBES (DARK BRONZE)
- 8 FINISHING BRASS METAL ROOF (FOREST GREEN)
- 9 PREFINISHED METAL FLASHING (FOREST GREEN)
- 10 BRASS SILLING COLOUR
- 11 BRASS SILLING COLOUR
- 12 BRASS SILLING COLOUR

APPROVED  
CITY OF SHOREVIEW  
DATE: Dec 17 2012  
BY City Council



108 East Main Street, Suite 301  
 St. Paul, MN 55104  
 Tel: (612) 877-4000  
 Fax: (612) 877-4000  
 www.mva.state.mn.us

Civil Engineer  
 2500 Vicksy Park Dr, Suite 120  
 Burnsville, MN 55337  
 F: 952-890-8244

General Contractor  
 7045 Lyndale Avenue South  
 Richfield, MN 55423  
 F: 612-243-5010

**Southview Senior Living**  
 Shoreview, Minnesota

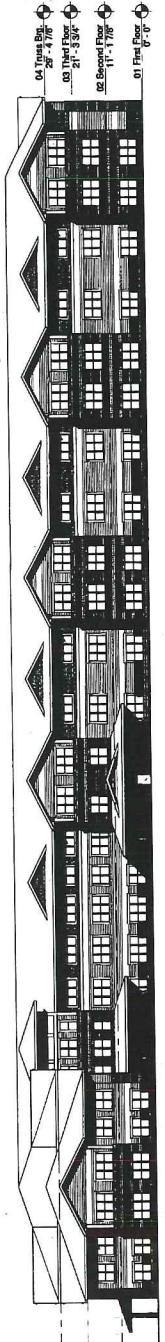
**Southview Estates, LLC.**  
 Client Address

Project Number: 0012  
 Date: Issue Date  
 Drawn By: Author  
 Checked By: Checker  
 SPECIFICATIONS AND NOTES SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN THE OFFICE OF THE ARCHITECT. NO PART OF THESE SPECIFICATIONS AND NOTES SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

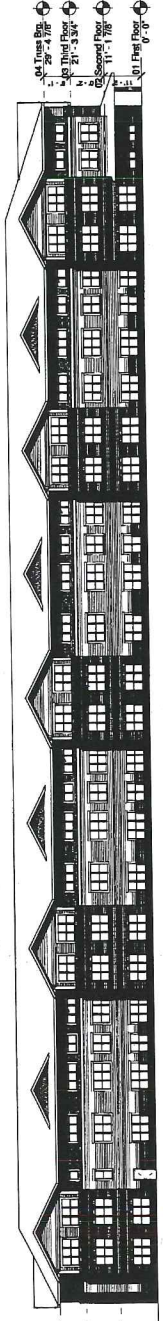
DATE: 10/20/08  
 REVISION: 01

Exterior Elevations  
 1/16" = 1'-0"  
**A500**

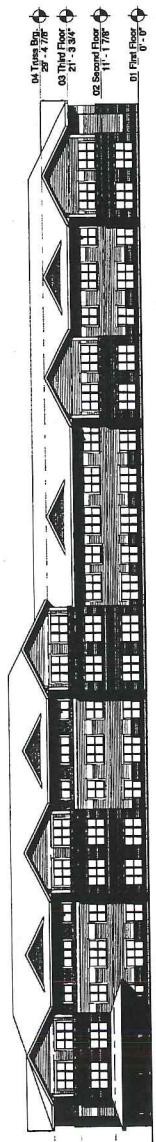
29'4 1/2"



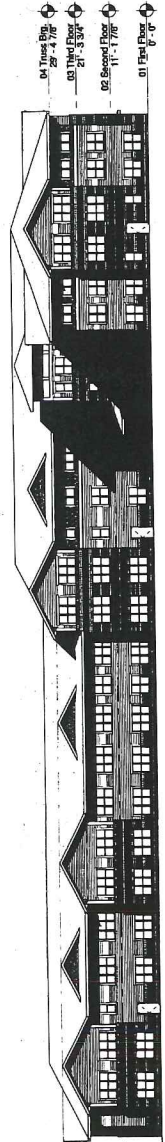
1 North  
 1/16" = 1'-0"



2 South  
 1/16" = 1'-0"



3 East  
 1/16" = 1'-0"



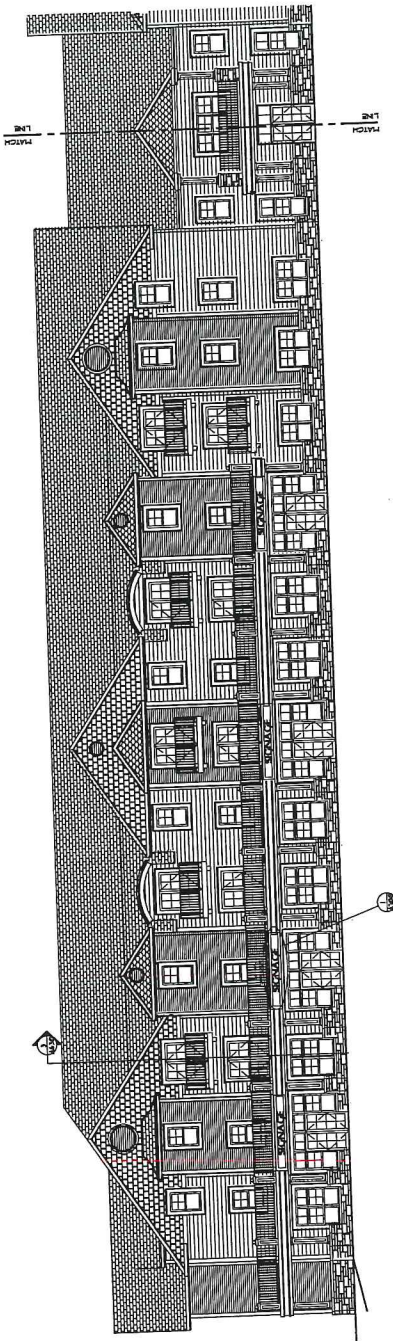
4 West  
 1/16" = 1'-0"

**SOUTHVIEW SENIOR Living**

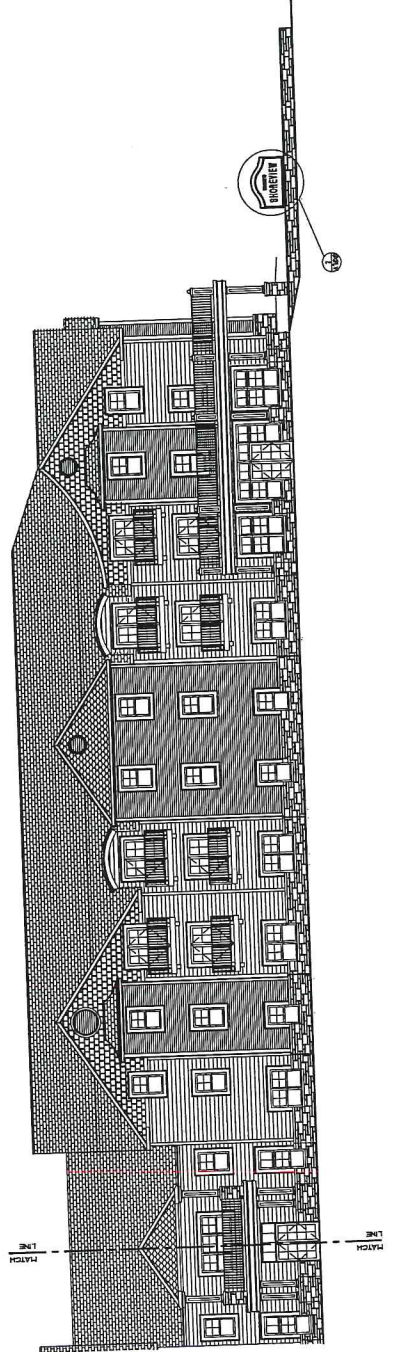
Bldg Height = 36'

File 2320-08-17

PRELIMINARY - NOT FOR CONSTRUCTION



1 PARTIAL WEST ELEVATION  
1/8"=1'-0"



2 PARTIAL WEST ELEVATION  
1/8"=1'-0"

Mid-point  
36'

The Stores

**SHERMAN ASSOCIATES**  
Sherman Associates, Inc.  
125 E. 4th Street, Suite 2104  
Minneapolis, MN 55404  
Telephone: 612-332-5000

**DTR Architecture, Inc.**  
1000 Hennepin Avenue  
St. Anthony Falls  
214 Second Street SE  
Minneapolis, MN 55414  
Tel: (612) 338-0001

**ALLIANT ENGINEERING**  
1000 Hennepin Avenue  
St. Anthony Falls  
214 Second Street SE  
Minneapolis, MN 55414  
Tel: (612) 338-0001

1 hereby certify that the plans, specifications or contract documents herein were prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.  
Signature: \_\_\_\_\_  
Title: \_\_\_\_\_  
Registration Number: \_\_\_\_\_

EXTERIOR ELEVATIONS - EAST

LEXINGTON SHORES  
LEXINGTON AVENUE AND COUNTY ROAD "D"  
SHOREVIEW, MN

REVISIONS  
DATE: 7/29/01  
BY: J.S. BISHOP

DESIGNED BY: J.S. BISHOP  
CHECKED BY: J.S. BISHOP  
DATE REVISION: 7/29/01  
SCALE: 1/8"=1'-0"  
JOB NO.: 00012

A601

SHEET 02



Montg. Assoc.  
 Architects & Engineers  
 3300 Edinborough N  
 Minneapolis, Minnesota  
 612-830-8208 fax

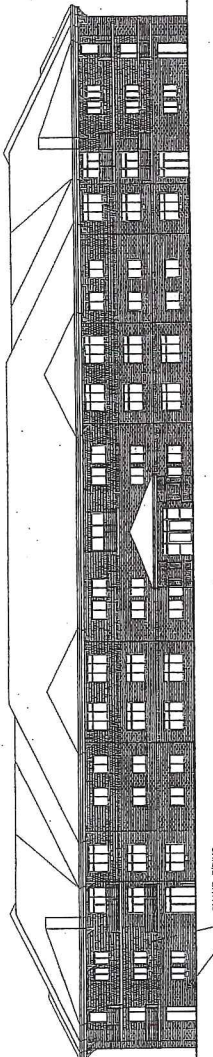
THE ARCHITECT ASSOCIATION OF MINNESOTA  
 ARCHITECTS AND ENGINEERS  
 100 WEST WASHINGTON  
 MINNEAPOLIS, MINN. 55402  
 THE ARCHITECT, LAW, RE  
 CONFIDENTIAL AND OTHERWISE  
 INDUSTRY PRACTICES, ETC.

Drawn By: KI  
 Project Architect: CI  
 Checked By: CI  
 Date: TC  
 Revisions:

1/16/81

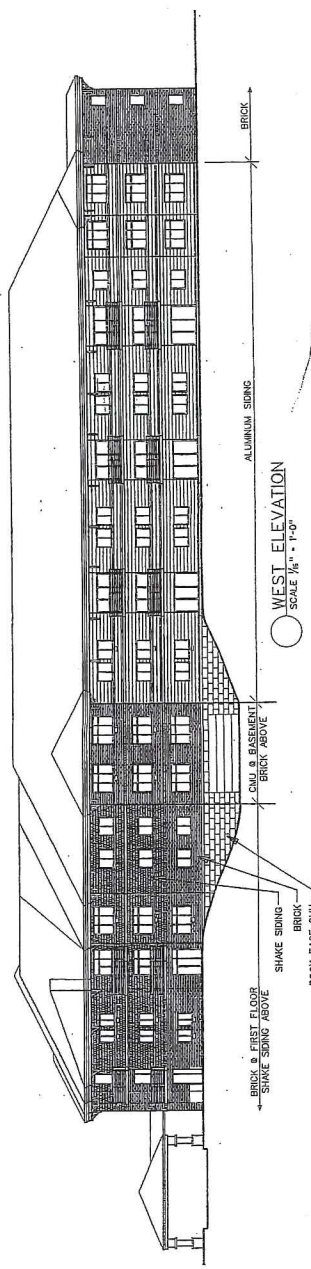
Project No. 551100A  
 AC

Mid Point  
 38.5 ft.



NORTH ELEVATION  
 SCALE 1/8" = 1'-0"

SHAKE SIDING  
 BRICK

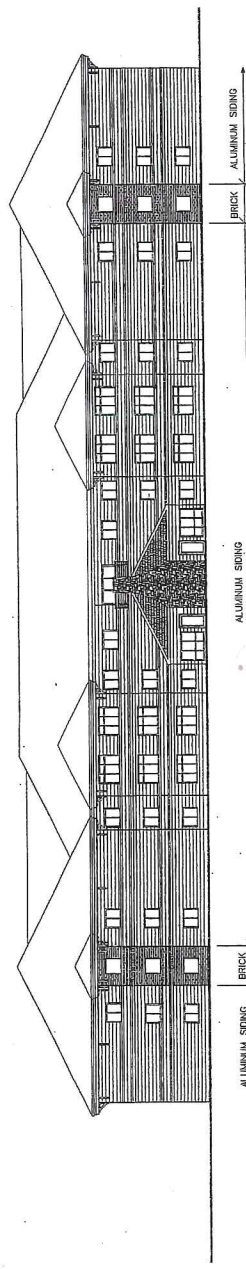


WEST ELEVATION  
 SCALE 1/8" = 1'-0"

BRICK & FIRST FLOOR  
 SHAKE SIDING ABOVE  
 SHAKE SIDING  
 BRICK  
 ROCK FACE CMU

ALUMINUM SIDING

BRICK



SOUTH ELEVATION  
 SCALE 1/8" = 1'-0"

ALUMINUM SIDING

ALUMINUM SIDING

BRICK

ALUMINUM SIDING

$$\frac{19}{4} = 4.75$$

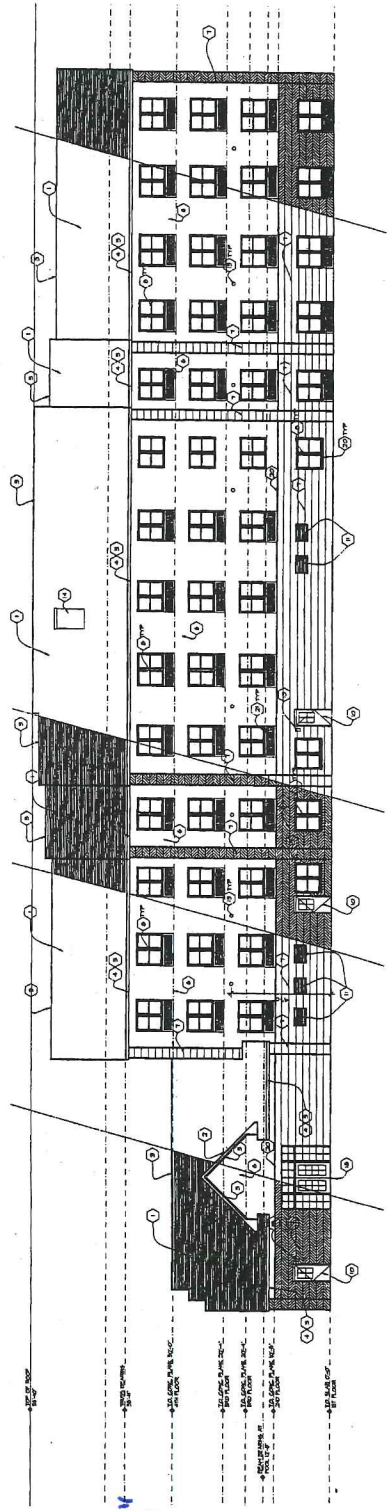
$$\frac{19}{4} = 4.75$$

$$\frac{16}{4} = 4$$

Scandia Stores

56'10"

38'11"



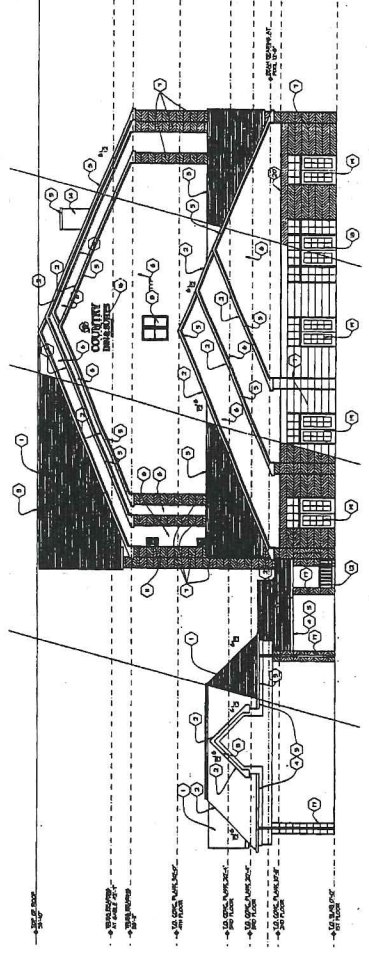
1 EXTERIOR ELEVATION

EXTERIOR ELEVATION NOTES

- 1. ALL WINDOWS SHALL BE SHOWN WITH SHUTTERS AND DOWNROPS, PER LOCAL CODES.
- 2. ALL WINDOWS SHALL BE PROVIDED WITH SHUTTERS AND DOWNROPS, PER LOCAL CODES.
- 3. ALL WINDOWS SHALL BE PROVIDED WITH SHUTTERS AND DOWNROPS, PER LOCAL CODES.
- 4. ALL WINDOWS SHALL BE PROVIDED WITH SHUTTERS AND DOWNROPS, PER LOCAL CODES.

EXTERIOR ELEVATION KEYNOTES

- 1. EXTERIOR FINISHES SHALL BE AS SHOWN.
- 2. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 3. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 4. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 5. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 6. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 7. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 8. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 9. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.
- 10. ALL EXTERIOR FINISHES SHALL BE PROVIDED PER CONTRACT REQUIREMENTS, UNLESS NOTED OTHERWISE.



2 EXTERIOR ELEVATION

WCL ASSOCIATES, INC.

ARCHITECTS INTERIORS

1425 LYONS AVENUE SOUTH  
ST. LOUIS, MISSOURI 63104  
TEL: 314.433.8800



PRELIMINARY

COUNTRY INN AND SUITES  
SHOREVIEW, MINNESOTA

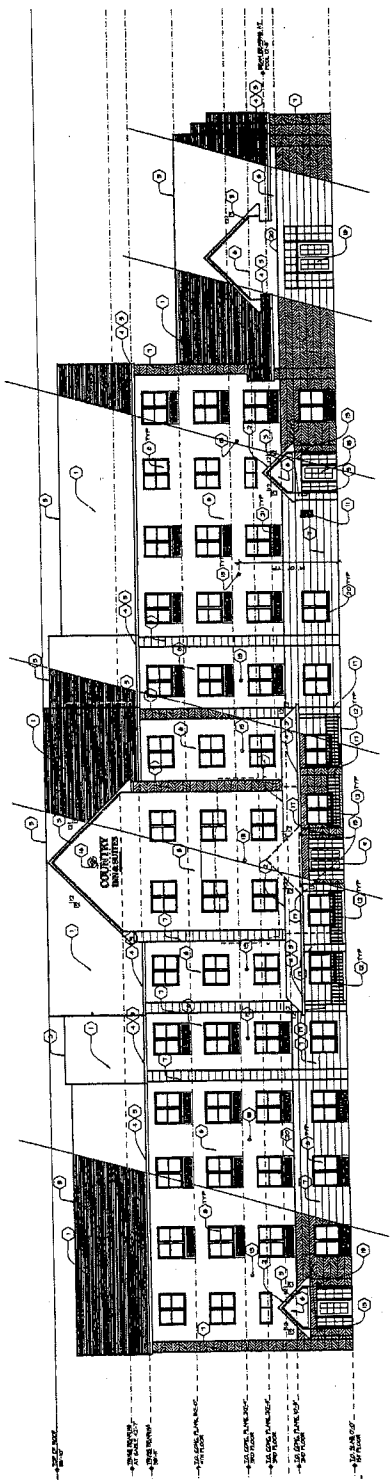
DEVELOPED BY:  
HOSPITALITY INVESTORS  
2000 W. WASHINGTON AVENUE  
ELK RIVER, MINNESOTA 55330

NO.	DATE	DESCRIPTION
1	10/15/10	ISSUED FOR PERMIT
2	11/15/10	ISSUED FOR PERMIT
3	12/15/10	ISSUED FOR PERMIT
4	01/15/11	ISSUED FOR PERMIT
5	02/15/11	ISSUED FOR PERMIT
6	03/15/11	ISSUED FOR PERMIT
7	04/15/11	ISSUED FOR PERMIT
8	05/15/11	ISSUED FOR PERMIT
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23	08/15/12	ISSUED FOR PERMIT
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30	03/15/13	ISSUED FOR PERMIT
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71	08/15/16	ISSUED FOR PERMIT
72	09/15/16	ISSUED FOR PERMIT
73	10/15/16	ISSUED FOR PERMIT
74	11/15/16	ISSUED FOR PERMIT
75	12/15/16	ISSUED FOR PERMIT
76	01/15/17	ISSUED FOR PERMIT
77	02/15/17	ISSUED FOR PERMIT
78	03/15/17	ISSUED FOR PERMIT
79	04/15/17	ISSUED FOR PERMIT
80	05/15/17	ISSUED FOR PERMIT
81	06/15/17	ISSUED FOR PERMIT
82	07/15/17	ISSUED FOR PERMIT
83	08/15/17	ISSUED FOR PERMIT
84	09/15/17	ISSUED FOR PERMIT
85	10/15/17	ISSUED FOR PERMIT
86	11/15/17	ISSUED FOR PERMIT
87	12/15/17	ISSUED FOR PERMIT
88	01/15/18	ISSUED FOR PERMIT
89	02/15/18	ISSUED FOR PERMIT
90	03/15/18	ISSUED FOR PERMIT
91	04/15/18	ISSUED FOR PERMIT
92	05/15/18	ISSUED FOR PERMIT
93	06/15/18	ISSUED FOR PERMIT
94	07/15/18	ISSUED FOR PERMIT
95	08/15/18	ISSUED FOR PERMIT
96	09/15/18	ISSUED FOR PERMIT
97	10/15/18	ISSUED FOR PERMIT
98	11/15/18	ISSUED FOR PERMIT
99	12/15/18	ISSUED FOR PERMIT
100	01/15/19	ISSUED FOR PERMIT

COUNTRY INN AND SUITES

EXTERIOR ELEVATIONS  
A6.1

NO.	DATE	DESCRIPTION
1	10/1/00	PRELIMINARY
2	10/1/00	REVISED
3	10/1/00	REVISED
4	10/1/00	REVISED
5	10/1/00	REVISED
6	10/1/00	REVISED
7	10/1/00	REVISED
8	10/1/00	REVISED
9	10/1/00	REVISED
10	10/1/00	REVISED

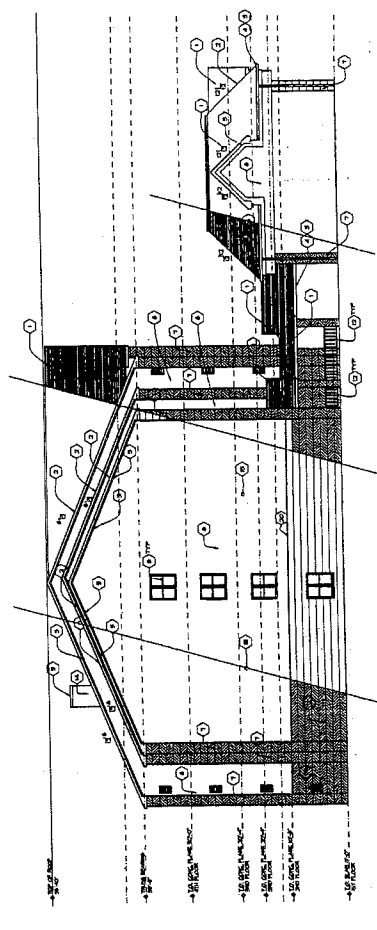
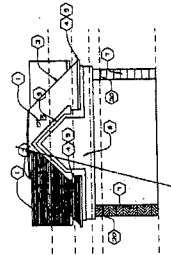


**EXTERIOR ELEVATION NOTES**

1. REFER TO ARCHITECT'S GENERAL NOTES.
2. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
3. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
4. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
5. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
6. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
7. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
8. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
9. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
10. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.

**EXTERIOR ELEVATION KEYNOTES**

1. REFER TO ARCHITECT'S GENERAL NOTES.
2. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
3. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
4. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
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7. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
8. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
9. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.
10. ALL MATERIALS TO BE MATCHED TO THE ARCHITECT'S SPECIFICATIONS.



1 FRONT ELEVATION

2 SIDE ELEVATION





24-400 WEST  
 NEW YORK, NY  
 FAX: (212) 869-0000  
 NEW YORK, NY  
 (212) 869-0000  
 100 Avenue of the Americas, 12th Fl.  
 New York, NY 10038  
 100 Avenue of the Americas, 12th Fl.  
 New York, NY 10038

EVERETT  
 4005111  
 3000190  
 316.99

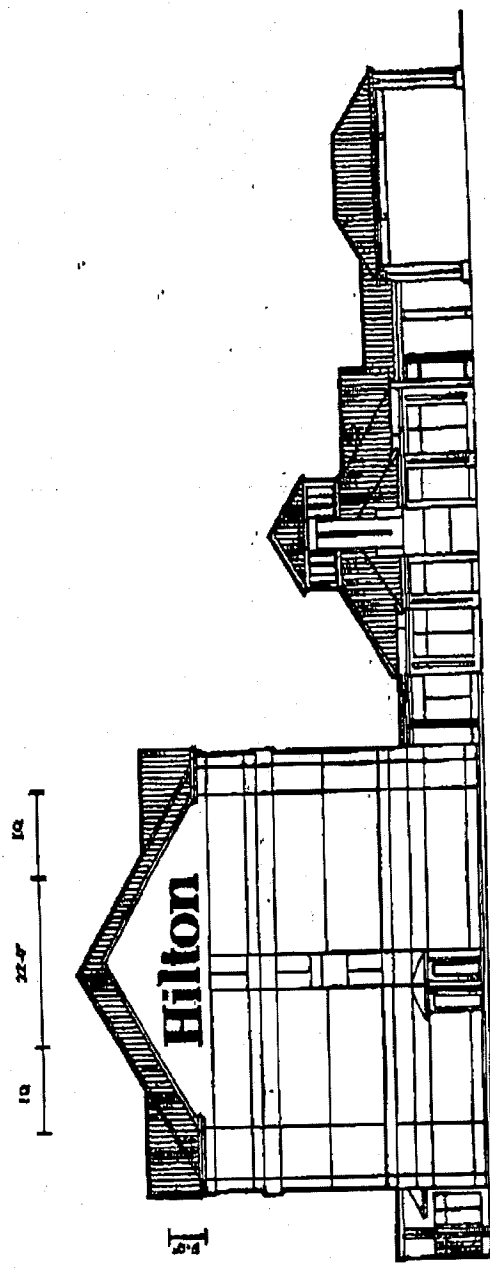
DATE 3.16.99  
 ORDER NO. 316.99  
 APPROXIMATE DATE  
 APPROXIMATE PRICE

APPROPRIATE  
 AMOUNT  
 DATE  
 APPROXIMATE PRICE

DESCRIPTION OF FAIRY

BRASS  
 COPPER  
 ALUMINUM  
 GALVALUM  
 STEEL  
 WOOD  
 OTHER

1050 Gramsie



**West Elevation**  
 See page 3 for detailed letter layout and letter section

1/8"=1'-0"  
 J.Ky. Ho. 1.51

96349211 of 4



307 West 10th  
Des Moines, IA 50319  
Tel: 515-281-1111  
Fax: 515-281-1112  
www.hilton.com

Client: Hilton Garden Inn

Address: 20011

Location: Charlotte, NC

Architect: HNTB

Date: 3/16/99

Scale: 1/8" = 1'-0"

Author: [Blank]

Checker: [Blank]

Printer: [Blank]

Plotter: [Blank]

Notes: [Blank]

Revisions: [Blank]

Notes: [Blank]

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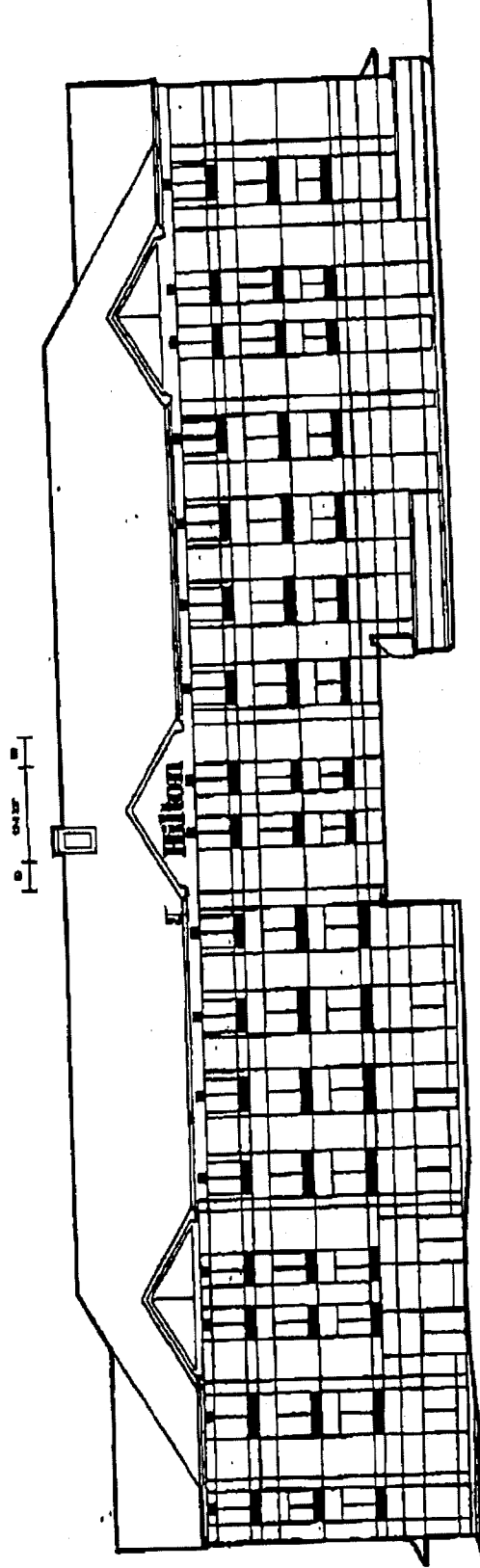
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**Note:**  
Field survey required to determine exact area available for signs to fit in

1/16" = 1'-0"

**South Elevation**

See page 3 for detailed letter by wall and letter section

TABLE 2 ZONING DISTRICT – LOT/STRUCTURE STANDARDS

	Minimum Lot Area	Minimum Lot Width	Maximum Building Height	Minimum Front	Minimum Side/Side abutting a Street	Minimum Rear	Minimum Adjacent to Residential Uses	Minimum Setback from Arterial/Collector
R1-Detached Residential	10,000 sf	75'	35'	25'	5' (garage) 10' (living)/25'	30'	NA	40'/30'
R2-Attached Residential	5 acres <i>or</i> 10,000sf per building plus 1,000 sf per unit	80' per building	35'	30'	10'/30'	None	NA	40'/30'
R3 – Multi-Family Residential	5 acres <i>or</i> 25,000 sf per building	175'	35'*	30'	30'	30'	NA	40'/30'
Commercial	Varies		35'*	50'	10'/30'	20'	50'	40'/30'
Office	None	100'	35'*	50'	10'/30'	20'	50'	40'/30'
Business Park	1.5 acres	None	35'*	75'	30'	30'	75'	40'/30'
Industrial	None	100'	35'*	50'	10'/30'	20'	75'	40'/30'

\*Maximum building height may be exceeded if for every additional foot of height there is an additional foot of setback on all sides and does not exceed the firefighting capabilities of the Fire Department.

TABLE 3

Municipality	Building Height Definition
<b>Arden Hills</b>	The vertical distance from the average elevation of the grade along a face of a building to the highest point of the roof surface of flat roofs, the deck line of mansard roofs, or the average height between the eaves and the highest ridge of gable, hip, or gambrel roofs. The height of a stepped or terraced building shall be the height of the tallest segment of the building.
<b>Blaine</b>	The vertical distance to be measured from the grade of a building line to the top, to the cornice of a flat roof, to the deck line of a mansard roof, to a point of the roof directly above the highest wall of a shed roof, to the uppermost point on a round or other arch type roof, to the mean distance of the highest gable on a pitched or hip roof.
<b>Edina</b>	<p>(1) Commercial, industrial and high density residential.</p> <ul style="list-style-type: none"> <li>a. The term "building height" or "structure height" means the distance measured from the average existing ground elevation adjoining the building at the front building line to:               <ul style="list-style-type: none"> <li>1. The top of the cornice of a flat roof;</li> <li>2. The deck line of a mansard roof;</li> <li>3. A point on the roof directly above the highest wall of a shed roof;</li> <li>4. The uppermost point on a round or other arch-type roof; or</li> <li>5. The average distance of the highest gable on a pitched or hip roof.</li> </ul> </li> <li>b. References in this chapter to the term "building height" includes and means structure height, and if the structure is other than a building, the height shall be measured from said average existing ground elevation to the highest point of the structure. The term "existing ground elevation" means the lowest of the following elevations:               <ul style="list-style-type: none"> <li>1. The grade approved at the time of the subdivision creating the lot;</li> <li>2. The grade at the time the last demolition permit was issued for a principal structure that was on the lot;</li> <li>3. The grade at the time the building permit for a principal structure on the lot is applied for.</li> </ul> </li> </ul> <p>(2) Single and two dwelling unit buildings.</p> <ul style="list-style-type: none"> <li>a. The term "building height" or "structure height" means the distance measured from the average existing ground elevation adjoining the building at the front building line to the highest point on a roof.</li> <li>b. References in this chapter to the term "building height" includes and means structure height, and if the structure is other than a building, the height shall be measured from said average existing ground elevation to the highest point of the structure. The term "existing ground elevation" means the lowest of the following elevations:               <ul style="list-style-type: none"> <li>1. The grade approved at the time of the subdivision creating the lot;</li> <li>2. The grade at the time the last demolition permit was issued for a principal structure that was on the lot;</li> <li>3. The grade at the time the building permit for a principal structure on the lot is applied for.</li> </ul> </li> </ul>

TABLE 3

Municipality	Building Height Definition
<b>Fridley</b>	The vertical distance measured from the average elevation of a finished grade at the front of the building to the highest point in the case of a flat roof; to the deck line of a mansard roof; and to the mean distance between eaves and ridge of a gable, hip or gambrel roof.
<b>Little Canada</b>	A distance to be measured from the mean ground level to the top of a flat roof, to the mean distance of the highest gable on a pitched or hip roof, to the deck line of a mansard roof, to the uppermost point on all other roof types.
<b>Minnetonka</b>	The vertical distance above a reference datum measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. The reference datum shall be selected by either of the following, whichever yields a greater building height: a) the elevation of the highest adjoining sidewalk or ground surface within a five foot horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than 10 feet above lowest grade. (No. 1) b) an elevation 10 feet higher than the lowest grade when the sidewalk or ground surface described in item 1 above is more than 10 feet above lowest grade. (No. 2) (Figure 3) The height of a stepped or terraced building is the maximum height of any segment of the building.
<b>New Brighton</b>	The vertical distance above grade to the highest point of the coping of the flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof.
<b>Roseville</b>	The vertical dimension measured from the average elevation of the approved grade at the front of the building to the highest point of the roof in the case of a flat roof, to the deck line of a mansard roof, and to the midpoint of the ridge of a gable, hip, or gambrel roof. (For purposes of this definition, the average height shall be calculated by using the highest ridge and its attendant eave. The eave point used shall be where the roof line crosses the side wall.) In the case of alterations, additions or replacement of existing buildings, height shall be measured from the natural grade prior to construction.
<b>Shoreview</b>	With the exception of substandard riparian lots, building height shall be measured as follows: A distance to be measured from the mean curb level along the front lot line or from the mean ground level for all that portion of the structure having frontage on a public right-of-way, whichever is higher, to the top of the cornice of a flat roof, to the top line of a mansard roof, to a point on the roof directly above the highest wall of a shed roof, to the uppermost point on a round or other arch-type roof, or to the mean distance of the highest gable on a pitched or hip roof. For substandard riparian lots, building height is measured from the highest roof peak to the lowest point at finished grade. Finished grade is the final grade upon completion of construction. Grade is defined as the lowest point within 5 feet of the building in accordance with the Uniform Building Code.
<b>Vadnais Heights</b>	The vertical distance from the average of the highest and lowest point of that portion of the lot immediately adjacent to the building to the highest point of the roof for flat roofs; to the deck line of mansard roofs and to the mean height between eaves and ridge for gable, hip and gambrel roofs.

TABLE 3

Municipality	Building Height Definition
<b>White Bear Lake</b>	A distance to be measured from the mean ground level to the top of a flat roof, to the mean distance of the highest gable on a pitched or hip roof, to the deck line of a mansard roof, to the uppermost point on all other roof types.
<b>Woodbury</b>	<p>Building Height means the vertical distance above a referenced datum measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. The reference datum shall be selected by either of the following, whichever yields a greater height of building:</p> <ol style="list-style-type: none"> <li data-bbox="500 554 1471 695">1. The elevation of the highest adjoining sidewalk or ground surface within a five-foot (1,524 mm) horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten feet (3,048 mm) above lowest grade.</li> <li data-bbox="500 730 1471 835">2. An elevation ten feet (3,048 mm) higher than the lowest grade when the sidewalk or ground surface described in subsection (1) is more than ten feet (3,048 mm) above the lowest grade.</li> </ol> <p>The height of a stepping or terraced building is the maximum height of any segment of the building.</p>
<b>Building Code Definition</b>	The vertical distance from grade to plan to the average height of the highest roof surface.

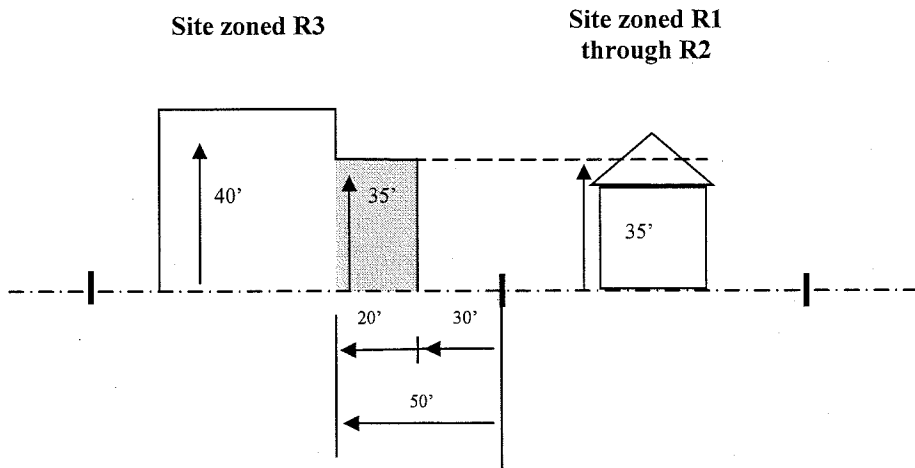
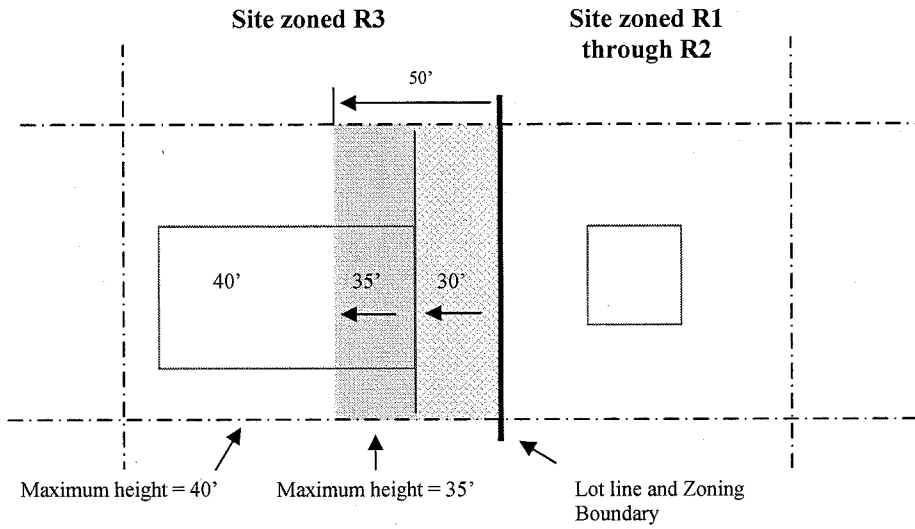
Municipality	District Maximum Heights					
	<u>Res - SF</u>	<u>Res MF</u>	<u>Business</u>	<u>Commercial</u>	<u>Industrial</u>	
Arden Hills	35 ft	35 ft	50ft	35ft	45ft	
New Brighton	30 ft	30 ft	5 Stories	5 stories	5 stories	
Fridley	30 ft	65 ft*	65 ft	45 ft	65 ft	
Blaine	30 ft	30 ft	36 ft	50 ft*	50 ft	
Roseville	30 ft	95 ft*	65 ft	40 ft	60 ft	
Woodbury	40 ft	40 ft	60 ft	40 ft	50 ft	
White Bear Lake	35 ft	35 ft*	38 ft	48 ft	48 ft	
			45 ft if within 200 ft of residential district. Or regulated by setback and floor area requirements.	N/A	35 ft	
Minnetonka	35 ft	*				
Edina	35 ft*	Special Height Overlay District Regulates these uses.				
Vadnais Heights	35 ft	36 ft	45 ft	45 ft	45 ft	
Little Canada	30 ft	36 ft	36 ft	36 ft	40 ft	

\*Special business district area that has minimum building heights of 2/3 stories and no maximum.  
 \* No building shall be erected to a height exceeding forty-five (45) feet within fifty (50) feet of any R-1 or R-2 District, without one (1) additional foot of space between the main building and the R-1 and R-2 District for each one (1) foot or portion of building height over forty-five (45) feet.  
 \* Planned commercial does not have maximum height requirements as long as buildings are sprinkled.  
 \* High Density Residential - 2, HDR - 1 is limited to 65 feet.  
 \* In the R-B Residential Business Transition District you can have a maximum height of 45 ft.

\*height: building height shall be regulated generally by floor area ratio and yard area requirements but shall be evaluated along with other design parameters under site and building plan review. The planning commission or city council may impose reasonable height limitations when any of the following conditions are found to exist:  
 1) the proposed building is located within 200 feet of any designated low density residential district;  
 2) the proposed building is located within 100 feet of any designated public park;  
 3) the proposed building is highly visible to a large number of parcels containing or designated on the comprehensive plan to contain low density residential uses due to site conditions, including topography and lack of mature vegetation; or  
 4) the proposed building will be of an inappropriate site or architectural design due to existing or planned topography or sight lines.  
 In imposing height limitations, it shall be the intent of the planning commission and city council to mitigate potential negative impacts rather than to limit the density of the project.

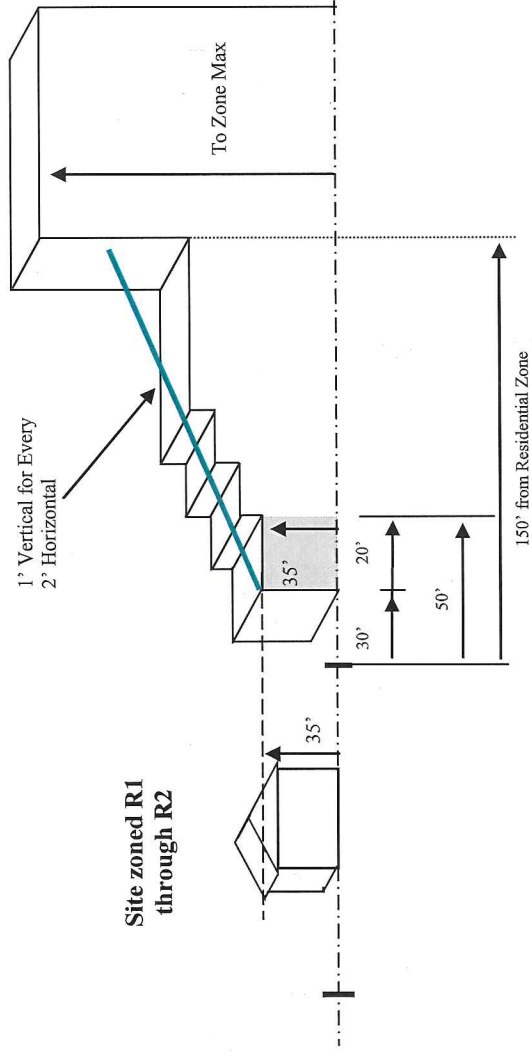
\*The maximum height may be increased by one inch for each foot that the lot exceeds 75 feet in width. In no event shall the maximum height exceed 40 feet.

# Height limits on sites abutting R1- R2





# Stepped Height limits on R3 sites abutting R1- R2



County Road J W

County Road J W



Poplar Lake

County Road I W

Lexington Ave N

Hodgson Road



### Legend



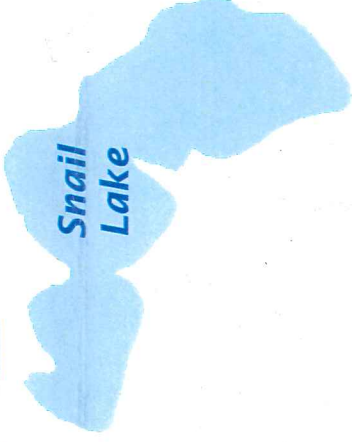
Targeted redevelopment areas



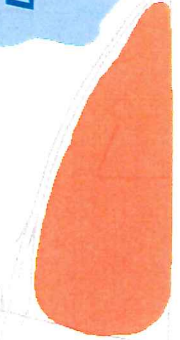
Martha Lake



Highway 96 W



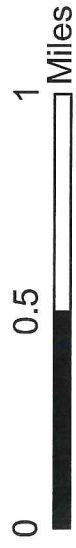
Lexington Ave N



Rice St



Disclaimer: Every effort has been made to ensure the completeness and accuracy of this map. However, the data used to create this map was compiled from a number of sources and may contain errors. This map should be used for reference only. Data should be verified independently if used for any other purpose. This document is not a legally recorded map or survey and should not be used as such.

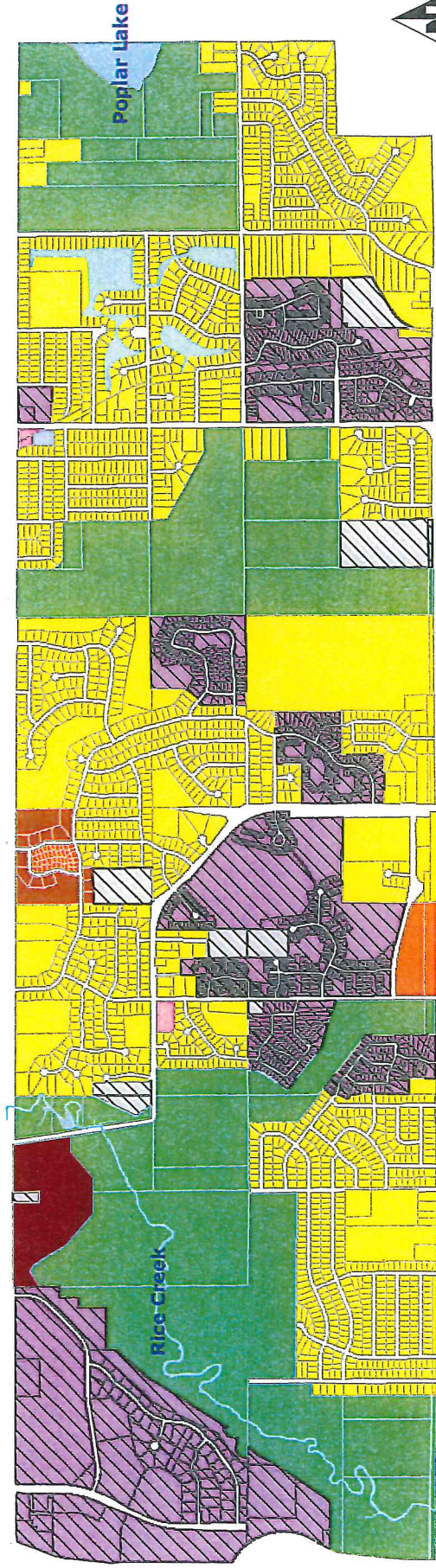


## 6.1 Targeted Redevelopment Areas
















City of Shoreview - 2008 Comprehensive Plan



October 20, 2008

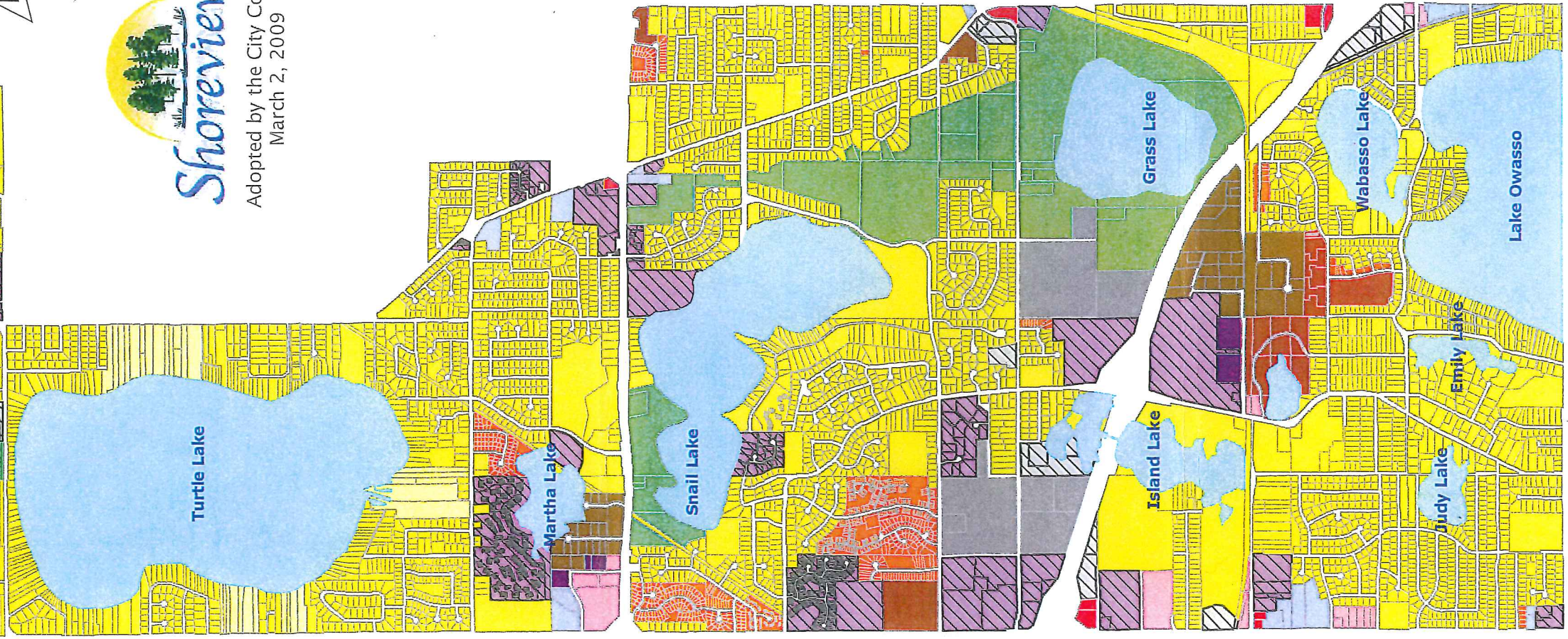


### Zoning Classifications

-  RE - Residential Estate
-  R1 - Detached Residential
-  R2 - Attached Residential
-  R3 - Multi-Dwelling Residential
-  R4 - Mobile Home Residential
-  C1 - Retail Service
-  C2 - General Commercial
-  OFC - Office
-  I - Industrial
-  T - Tower
-  OS - Open Space
-  PUD - Planned Urban Developed
-  UND - Urban Under Developed
-  BPK - Business Park
-  Water



Adopted by the City Council  
March 2, 2009



Disclaimer: Every effort has been made to ensure the completeness and accuracy of this map. However, data used to create this map was compiled from a number of sources and may contain errors. This map should be used for reference only. Data should be verified independently if used for any other purpose. This document is not a legally recorded map or survey and should not be used as such.

# Zoning Map

City of Shoreview Community Development Department

