

**AGENDA  
PLANNING COMMISSION MEETING  
CITY OF SHOREVIEW**

**DATE: JULY 22, 2014  
TIME: 7:00 PM  
PLACE: SHOREVIEW CITY HALL  
LOCATION: 4600 NORTH VICTORIA**

- 1. CALL TO ORDER**  
**ROLL CALL**  
**APPROVAL OF AGENDA**
  
- 2. APPROVAL OF MINUTES**  
*June 24, 2014*  
*Brief Description of Meeting Process – Chair Steve Solomonson*
  
- 3. REPORT ON CITY COUNCIL ACTIONS**  
*Meeting Date: July 7, 2014 and July 21, 2014*
  
- 4. NEW BUSINESS**
  - A. VARIANCE**  
*FILE NO: 2535-14-25*  
*APPLICANT: Kenneth & Chrisann Junker*  
*LOCATION: 235 Oakwood Drive*
  
  - B. SITE & BUILDING PLAN REVIEW**  
*FILE NO: 2533-14-23*  
*APPLICANT: Union Gospel Mission*  
*ADDRESS: 580 Hwy 96 West*
  
  - C. RESIDENTIAL DESIGN REVIEW**  
*FILE NO: 2532-14-22*  
*APPLICANT: Jim & Kerry Meyer*  
*ADDRESS: 919 Oakridge Ave.*
  
  - D. VARIANCE**  
*FILE NO: 2534-14-24*  
*APPLICANT: Bryan Swift*  
*LOCATION 4932 Turtle Lane East*

**E. WIRELESS TELECOMMUNICATIONS FACILITY PERMIT**

- 1) *FILE NO: 2526-14-16*  
*APPLICANT: AT & T / SAC Wireless*  
*ADDRESS: 745 Country Road East*
  
- 2) *FILE NO: 2528-14-18*  
*APPLICANT: AT & T / SAC Wireless*  
*ADDRESS: 5880 Lexington Ave North*

**5. MISCELLANEOUS**

- A. City Council Meeting Assignments for *August 4<sup>th</sup>, 2014 and August 18<sup>th</sup>, 2014*  
Planning Commissioners *Ferrington and Schumer*
- B. Planning Commission Workshop – August 26<sup>th</sup>

**6. ADJOURNMENT**

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**SHOREVIEW PLANNING COMMISSION  
MEETING MINUTES  
June 24, 2014**

**CALL TO ORDER**

Chair Solomonson called the June 24, 2014 Shoreview Planning Commission meeting to order at 7:00 p.m.

**ROLL CALL**

The following Commissioners were present: Chair Solomonson, Commissioners Ferrington, Proud, Schumer and Thompson.

Commissioner McCool arrived at 7:02 p.m.

Commissioner Peterson was absent.

**APPROVAL OF AGENDA**

MOTION: by Commissioner Schumer, seconded by Commissioner Thompson to approve the June 24, 2014 Planning Commission meeting agenda as submitted.

VOTE:                   Ayes - 6                   Nays - 0

**APPROVAL OF MINUTES**

MOTION: by Commissioner Schumer, seconded by Commissioner Ferrington to approve the May 27, 2013 Planning Commission meeting minutes, as submitted.

VOTE:                   Ayes - 6                   Nays - 0

**REPORT ON CITY COUNCIL ACTIONS:**

City Planner Kathleen Castle reported that the City Council approved the following at its June 16, 2014 meeting:

- Comprehensive Sign Plan for Identi Graphics
- Comprehensive Plan Amendment for Surface Water

**OLD BUSINESS**

**VARIANCE**

**FILE NO:                   2527-14-17**  
**APPLICANT:               JOHN & JULIE PEIRSON**  
**LOCATION:                   5110 LEXINGTON AVENUE NORTH**

**Presentation by City Planner Kathleen Castle**

Setback variances are requested to build a detached accessory structure. At the last meeting, the Planning Commission tabled this application due to concerns with the size of the structure. The plans have been revised and the structure reduced in size. The variances requested are:

- Exceed the maximum size permitted to build a 484 square foot structure; the maximum allowed is 208 square feet. This is a reduction from the originally proposed 576 square feet.
- Exceed the combined area permitted for all accessory structures on the property from 1200 square feet to 1471 square feet. This is a reduction from the original request of 1563 square feet.
- The setback variance originally requested on Kimberly Lane is no longer needed, as the location of the structure has been changed.

The property is a substandard riparian lot on Turtle Lake and is zoned R1, Detached Residential. It is just under one acre in size. The house is 2,441 square feet and two stories. There is a walkout basement on the lake side and an attached 987 square foot garage. Frontage is on Kimberly Lane, an unimproved public road.

The proposal is to remove an existing concrete slab and build the accessory structure in the same location. Dimensions of the new garage would be 22' x 22' or 484 square feet. An interior upper storage space is 6 feet in height accessible with a pull-down ladder. The design complies with all City requirements.

On lots less than one acre in size, an accessory structure cannot exceed 750 square feet or 75% of the dwelling foundation. The combined area of all accessory structures cannot exceed 1200 square feet or 90% of the dwelling foundation.

The applicant states that practical difficulty exists. The proposed structure is consistent with other lake lots where garages are in the front yard, including the adjacent property to the north at 5114 Lexington Avenue. There will be minimal impact to the neighborhood because of the characteristics of lake lots and adjoining properties and because Kimberly Lane is an unimproved public road. The subject property is an oversized lot of 0.77 acre so that a structure of this size would not detract from the existing home or neighborhood. The property previously had a detached accessory structure, which was removed due to disrepair.

Staff agrees that there is practical difficulty. A detached garage is a reasonable use on this oversized lakeshore property. The total square footage of all accessory structures would be 60% of the dwelling foundations area. The property is unique due to its lakeshore frontage and shared driveway access on the unimproved Kimberly Lane. The property is larger than the minimum required for riparian parcels. There is screening to minimize impact to neighbors.

One written comment was received. Staff is recommending approval of the proposal subject to the conditions listed in the staff report.



Commissioner McCool noted that the previous accessory structures were removed when the home was built because of the size of the attached garage. He asked what size a lot would be that would allow accessory structures that exceed the limit. Ms. Castle explained that when a lot that is one acre or more, there is more leniency in granting additional square footage for accessory structures through the conditional use permit process.

Commissioner Ferrington asked for clarification of the revised regulations to accessory structures in 2006. Ms. Castle stated that the regulations were revised to be more restrictive due to visual impacts on neighborhoods. The regulations are based on the size of the property and size of the dwelling unit. Commissioner Ferrington added that the accessory structure cannot be the dominant feature or structure on the property.

Chair Solomonson suggested that as a property is larger approaching one acre, the application possibly should be for a conditional use permit. He asked if the conditions for the variance are similar to those for a conditional use permit. Ms. Castle stated that conditions for a conditional use permit include screening, exterior design and setbacks. There is no mention of setbacks in the conditions for this application because the setbacks exceed what is required.

Chair Solomonson suggested a future workshop discussion regarding using variances or conditional use permits for larger lots.

**Mrs. Peirson** stated that after hearing the Commission's concerns, the plan was changed to reduce the size, change the alignment of the garage and put in the drop-down stairway. They tried to eliminate any variance not needed.

MOTION: by Commissioner Proud, seconded by Commissioner Thompson to adopt the attached Resolution 14-31, including findings of fact, permitting the construction of 484 square foot detached accessory structure for John and Julie Pierson on their property at 5110 Lexington Avenue North. Said approval is subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.
4. The exterior design and construction of the structure must comply with Section 205.082 (5e), Exterior Design and Construction.
5. Use of the accessory structure shall be for personal use only and no commercial use or commercial related storage is permitted.

Said approval is based on the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

A variance is needed to allow the proposed structure to exceed the maximum area permitted which is 150 square feet. On this property, a detached accessory structure of up to 150 square feet is permitted with a building permit. A detached accessory structure 150 square feet to 213 square feet in size is permitted with a conditional use permit. The City Code limits the total floor area of all accessory structures to the lesser of 1,200 square feet or 90% of the living area foundation on lots less than one-acre. The attached garage has a floor area of 987 square feet and the proposed detached garage has an area of 484 square feet. The foundation area of the house is 2,441 square feet. The proposed 1,471 square feet of total accessory floor area is about 60% of the living area foundation. Therefore the home will remain the primary feature of the property.

In Staff's opinion, the variance request to rebuild the garage in the proposed location represents a reasonable use of the property. City Code permits detached garages as an accessory use. By establishing these provisions, the City deems that a detached garage represents a reasonable use of the property provided Code standards are met. Garages, especially in Minnesota, are needed for vehicle parking and storage of normal household equipment and supplies. Additionally, lake lots have the potential to create greater storage needs. Furthermore, the property is significantly larger than the 17,760.99 square foot average lot size for a single family dwelling.

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*

Practical difficulty stems from the uniqueness of the parcel. It is a riparian lake parcel with an easement for a shared driveway with a front lot line that abuts an unimproved platted right of way. The combination of the riparian parcel, location of the parcel along the unimproved right of way, larger square footage of the parcel, and screening that is in place all mitigate the potential impacts of the structure.

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

Staff believes that the variance will not alter the essential character of the existing neighborhood as the adjacent properties are riparian and as such there are other detached garages and accessory structures located in the front of the lot. The proposed garage would match the architectural style of the current home and similar setback of accessory structures on adjacent properties.

VOTE:                      Ayes - 6                      Nays - 0

**MINOR SUBDIVISION/VARIANCE**

**FILE NO: 2530-14-20**  
**APPLICANT: MOSER BUILDERS**  
**LOCATION: 3339 VICTORIA STREET NORTH**

**Presentation by City Planner Kathleen Castle**

This application is to divide the property into two parcels for single-family residential development. A variance is requested to exceed the maximum 67.5 foot setback permitted from the front property line. The setback for Parcel 1 would be 255.4 feet and for Parcel 2, 272.1 feet. The application was tabled at the last Planning Commission meeting in order to obtain a wetland delineation on the property. The two parcels requested do comply with subdivision and lot standards for R1 zoning. The building pads comply with the 944.6 elevation for high water.

The property consists of 1.5 acres with a lot width of 91.17 feet at Victoria Street. The property is a key lot that abuts the rear lot line of homes to the north. All previous structures have been removed. The zoning is R1, Detached Residential. The wetland is located in the northwest and southwest corners of the property.

Since the last review of the application, it was determined that the building pads encroached into the wetland. They have been shifted to the east. There is a 16.5 foot buffer to the wetland on Parcel 1 and a 10-foot buffer on Parcel 2. The proposed buffers have been reviewed by the City Engineer and are acceptable based on the function of the wetland. Storm water would be directed to wetlands on the site and towards the front lot line retaining historical drainage patterns. Impervious surface coverage is in compliance. For these reasons, the City Engineer is not requiring surface water calculations.

One driveway entrance provides access off Victoria and will split for Parcels 1 and 2. Any landmark trees that are removed must be replaced on a 2 to 1 ratio.

The applicant states that practical difficulty is present with the unique configuration of the property being narrower toward Victoria Street. The proposed building pad locations are based on lot characteristics. Variable setbacks are found in the neighborhood. There is no adverse impact to the neighborhood. Development of this property with two new residential homes is its highest and best use.

Notices were sent to property owners within 350 feet of the site. Written and oral comments were received regarding concerns about site conditions, surface water, wetland impacts, suitability for development, landscape screening/fencing, and the assertion that practical difficulty is not present.

Staff finds that practical difficulty is present. The subdivision is a reasonable for this oversized lot and complies with City standards. There are unique circumstances with the odd lot configuration and the buildable area toward the rear of the property. Staff is recommending

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approval of the variance and that the subdivision be forwarded to the City Council for approval. Conditions of approval include wetland buffers, a tree plan and landscaping and screening.

Commissioner Ferrington noted that one resident cites Ramsey County information that this parcel is 0.9 acre. Ms. Castle stated that both the developer and the City have had the property surveyed and both surveys find the property to be 1.5 acres.

Chair Solomonson asked how the wetland functions. Ms. Castle explained that surface water flows to the wetland. Any overflow goes into Lake Judy. The wetland is at an elevation of 942.6.

Commissioner Ferrington asked what portion of the building pad will be used for the new homes. Mr. Moser stated that it is difficult to say how much of the building pad will be used for the homes because he is a custom home builder. In general, the building pads are larger than the footprint of the home.

Chair Solomonson opened the discussion to public comment. There was none.

Commissioner McCool stated that he is concerned about the character of the neighborhood due to the large setbacks. However, he does believe the proposal is reasonable for the size and configuration of the lot.

Commissioner Proud added that this development adds openness to the neighborhood. He does not believe it is inconsistent to have the homes located at the rear. It gives a less congested appearance.

Commissioner Ferrington stated that this is a creative solution to the property. It would look better if the driveway was split further into the property, not at the beginning.

MOTION: by Commissioner Ferrington, seconded by Commissioner Proud to approve the minor subdivision and adopt Resolution 14-40, subject to five conditions and 11 minor subdivision conditions; the approval is based on the five findings.

To recommend the City Council approve minor subdivision and to adopt Resolution 14-40 approving the variance requests submitted by Moser Homes, Inc. to divide the property at 3339 Victoria Street into two parcels for single-family residential development and exceed the maximum building setback permitted from the front property line. Said approval is subject to the following conditions:

***Variance***

1. Said approval is contingent upon approval of the Minor Subdivision by the City Council.
2. The project shall be constructed in accordance with the submitted plans. Any significant change to the plan, as determined by the City Planner, shall require review and approval of the Planning Commission.
3. This approval will expire after one year if the minor subdivision has not been recorded.
4. The project is subject to the terms of the Development Agreement for the property.

5. The approval is subject to a 5-day appeal period.

***Minor Subdivision***

1. The minor subdivision shall be in accordance with the plans submitted.
2. For Parcel 2, a Public Recreation Use Dedication fee as required by Section 204.020 of the Development Regulations before the City endorses the deed to create Parcel B. The fee will be 4% of the fair market value of the property.
3. Public drainage and utility easements shall be dedicated to the City as required by the Public Works Director. The applicant shall be responsible for providing legal descriptions for all required easements. Easements shall be conveyed before the City will endorse deeds for recording.
4. The applicant shall enter into a Subdivision Agreement with the City. This agreement shall be executed prior to the City's release of the deeds for recording. A Development Agreement will also be required for the construction of a new home on each parcel.
5. Municipal water and sanitary sewer service shall be provided to both parcels. The cost of connection and SAC fees, together with permit charges, will be due with the building permit.
6. Driveways and all other work within the Victoria Street right-of-way are subject to the permitting authority of the City of Shoreview and Ramsey County.
7. A tree protection, removal and replacement plan shall be submitted prior to issuance of a building permit (including the demolition permit). The approved plan shall be implemented prior to the commencement of work on the property and maintained during the period of construction. The protection plan shall include wood chips and protective fencing at the drip line of the retained trees.
8. An erosion control plan shall be submitted with the building permit application for each parcel and implemented during the construction of the new residence.
9. A final site-grading and drainage plan shall be submitted and approved by the City Engineer prior to issuance of a building permit.
10. The wetland/wetland buffer shall be identified by signage. A 16.5-foot wetland buffer shall be established on Parcel 1. A wetland buffer shall also be established on Parcel 2 ranging from in width from 10 feet to 16.5 feet..
11. This approval shall expire after one year if the subdivision has not been recorded with Ramsey County

Said approval is based on the following findings of fact:

1. The subdivision is consistent with the policies of the Comprehensive Plan regarding land use and housing.
2. The subdivision will provide opportunity for new housing in the community consistent with the City's housing goals.
3. The proposed lots conform to the adopted City standards for the R1, Detached Residential Zoning District.
4. Municipal water and sanitary sewer service are available for each proposed parcel.
5. Practical difficulty is present as indicated in Resolution 14-40 approving variances to increase the maximum building setback permitted from a front property line, for Parcel 1 and 2.

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VOTE:                                  Ayes - 6                                  Nays - 0

**NEW BUSINESS**

**PUBLIC HEARING/CONDITIONAL USE PERMIT**

**FILE NO.:**                         **2531-14-21**  
**APPLICANT:**                 **RICK AND CATHERINE SCHETT**  
**LOCATION:**                       **3469 HARRIET COURT**

**Presentation by Senior Planner Rob Warwick**

The application seeks approval for construction of a 77.25 square foot gazebo, which will be the second accessory structure on the property. There is an existing 80 square foot shed that was built in 2013. The total area will exceed the 150 square foot limit.

The property is zoned R1, Detached Residential. The lot is irregular with total area of 17,000 square feet. It is developed with a single family house with an attached garage of 440 square feet and a detached shed of 80 square feet. The proposed gazebo is a pre-fabricated octagonal with 4 feet on each side. The diameter is 10 feet with total area of 77.25 square feet. The height 12 feet from grade to the cupola peak. The proposed location is in the rear yard near an existing deck on the house.

Two detached accessory structures are permitted in the R1 District. For parcels of less than one acre, the maximum total floor area for detached structures is 150 square feet except with a conditional use permit which allows up to 288 square feet. The total area of all attached and detached accessory structures cannot exceed the lesser of 90% of the foundation area of the dwelling or 1200 square feet. With the gazebo, accessory structure area on this property would be just over the 150 square feet allowed.

Accessory structures must have a minimum of 10 feet from all lot lines with a conditional use permit. The maximum height is 18 feet. Exterior materials must be compatible with the dwelling. The setbacks, height and materials comply with these standards. Because the gazebo will be located near the house, the house will provide screening.

A public hearing notice was published. Notice was also mailed to property owners within 350 feet. One comment was received expressing concern that a second detached accessory structure will make the property look cluttered. Staff believes that the limit of two detached accessory structures addresses this concern.

Staff finds the proposal is consistent with City standards and the intent of Development Code. The public hearing is recommended and that the application be forwarded to the City Council with a recommendation for approval.

City Attorney Kelly stated that publication for the public hearing has been reviewed and found to be proper.

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Chair Solomonson opened the public hearing. There were no comments.

MOTION: by Commissioner Schumer, seconded by Commissioner Ferrington to close the public hearing.

VOTE: Ayes - 6 Nays - 0

MOTION: by Commissioner Schumer, seconded by Commissioner Thompson to recommend the City Council approve the Conditional Use Permit application submitted by Rick and Catherine Schuett, 3469 Harriet Court, to construct a 77.25 sq. ft. detached accessory structure (gazebo) on their property. The Conditional Use Permit authorizes 157.25 square feet of total floor area for the two detached accessory structures, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. The design of the gazebo shall be consistent with the plans submitted. The gazebo shall be stained within one year of completion.
3. The applicant shall obtain a building permit for the structure. The structure shall comply with the Building Code standards.
4. The structure shall be used for recreational and leisure use consistent with the residential use of the property.
5. The structure shall not be used in any way for commercial purposes.

Said approval is based on the following findings of fact:

1. The proposed accessory structure will be maintain the residential use and character of the property and is therefore in harmony with the general purposes and intent of the Development Ordinance.
2. The primary use of the property will remain residential and is in harmony with the policies of the Comprehensive Guide Plan.
3. The conditional use permit standards as detailed in the Development Ordinance for residential accessory are met.
4. The structure and/or land use conform to the Land Use Chapter of the Comprehensive Guide Plan and are compatible with the existing neighborhood.

VOTE: Ayes - 6 Nays - 0

## **MISCELLANEOUS**

### **City Council Meeting Assignments**

Chair Solomonson and Commissioner McCool will respectively attend the July 7, 2014 and July

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21, 2014 City Council meetings.

**Joint Workshop**

The Planning Commission will meet jointly with the City Council and Economic Development Authority on July 14, 2014, to discuss the Highway Corridor Transition Study.

**ADJOURNMENT**

MOTION: by Commissioner Schumer, seconded by Commissioner McCool to adjourn the meeting at 8:05 p.m.

VOTE: Ayes - 6 Nays - 0

ATTEST:

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Kathleen Castle  
City Planner



**TO:** Planning Commission

**FROM:** Nicole Hill, Economic Development and Planning Technician

**DATE:** July 17, 2014

**SUBJECT:** File No. 2535-14-25; Variance - Maximum Allowable Fence Height – Kenneth and Chrisann Junker –235 Oakwood Dr.

### **INTRODUCTION**

Kenneth and Chrisann Junker have submitted a variance application for the property at 235 Oakwood. The variance application requests to exceed the 4 feet maximum fence height allowed for side yard adjacent to a public road right-of-way or alley. They are proposing a fence height of 6 feet. A variance from the development code standards can be granted provided practical difficulty is present. The application was complete June 27, 2014.

### **BACKGROUND AND PROJECT DESCRIPTION**

The property is located on the southwest corner of the intersection of Oakwood Drive and Sherwood Road and is currently being used for single-family residential purposes. The parcel is .28 acres, has a lot area of 12,198.6 square feet, a lot width of 91.02 feet, and a lot depth of 134 feet. Site improvements include the existing home, an attached two-car garage, driveway, and sidewalk areas. The topography of the property is generally level. Adjacent land uses include single-family residential to the north, south, east, and west, and open space as you go to the north across Sherwood Road.

The applicant is proposing to build a 6 foot privacy fence along the north and west sides of their property. The proposal includes a request for a variance to allow for a 6 feet height on the north side of their property, which is a side yard abutting a street.

### **DEVELOPMENT CODE**

Per Development Code Section 205.080(D)(7), fences are permitted in Residential Districts provided the following standards are met:

(b) Height. Fences in front yards or any yard adjacent to a public road right-of-way or road easement shall not exceed 4 feet in height except:

(i) Fences in a rear yard of a double fronted lot, adjacent to an arterial or collector roadway, may be up to 6 feet in height.

(ii) On corner lots whose side yard abuts an arterial roadway, fences in that side yard may be up to 6 feet in height provided that the fence is setback at least 10 feet from the property line abutting the right-of-way or any pedestrian or road easement and plantings (shrubs or trees) as approved by the City are established and maintained between the fence and the right-of-way or easement.

Fences in other side or rear yard shall not exceed 6 feet in height. In no case shall the combined height of any fence and berm exceed the maximum height permitted by more than one (1) foot.

**VARIANCE CRITERIA**

When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variances is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined as:

1. *Reasonable Manner.* The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.
2. *Unique Circumstances.* The plight of the property owner is due to circumstances unique to the property not created by the property owner.
3. *Character of Neighborhood.* The variance, if granted, will not alter the essential character of the neighborhood.

For a variance to be granted, all three of the criteria need to be met.

**APPLICANT’S JUSTIFICATION OF PRACTICAL DIFFICULTY**

The applicant states that they are requesting a variance to enable building a 6 foot tall fence on the north side set back between 8-9 feet from the property line adjacent to Sherwood Road.

See applicant’s statement.

**STAFF REVIEW**

The following table summarizes the proposal in accordance with the City’s Development Code.

	<b>Existing</b>	<b>Proposed</b>	<b>Development Code Standard</b>
<b>Height</b>	0 sf	6 ft	4 ft
<b>Setback – side lot line adjacent to public right of way</b>	N/A	9 ft	0 ft
<b>Exterior Design</b>	N/A	Vinyl Privacy Fence	Fencing material shall be dimensional, solid sawn, decay resistant lumber. Chain link fencing material with corrosion protection shall be permitted. Other materials may be permitted subject to the approval of the City Planner.

<b>Screening</b>	Retain existing vegetation. Structure shall be screened from view of public streets.	N/A
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While staff is sympathetic to the applicants desire to have a taller fence, it is staff's opinion that practical difficulty is not present since all three criteria are not met.

*Reasonable Manner.* The applicants' proposal to construct a fence is reasonable, but other options are available. A 4-foot tall fence could be constructed in the proposed location without the need for a variance. Alternately – a 6 foot tall fence could also be constructed at the existing 30-foot structure setback.

*Unique Circumstances.* While the location at the intersection of two roads is not in and of itself a unique circumstance, Staff agrees that the increase in traffic has had an impact. Sherwood Road is classified as a collector street with a larger than average 66 foot right of way and under the jurisdiction of Ramsey County. Sherwood Road has experienced traffic increases over the past 15 years in part due to the Ramsey County Compost site. According to data from Ramsey County, the Compost site had a total of 30,427 site visits in 1999, with a peak of 60,343 site visits in 2010 (an increase of 98%). The most current year, 2013 had 53,726 visits, which is still an increase of 76% from the 1999 site visits. The type of traffic that visits the site typically has trailers which cause additional noise. Information, however, is not available that identifies the distribution of this traffic on Sherwood Road.

While traffic forecasts anticipate the volume to increase over the next 15 years, these volumes are lower than other collector roads in the City. In 2011, the average daily traffic volume on this road was 730 vehicle trips per day and is expected to increase to 1500 vehicle trips per day by 2030. These volumes are less than other collector roads in the City. Traffic volume is not a unique circumstance.

*Character of Neighborhood.* The variance will not alter the character of the neighborhood. The proposed structure will complement the existing home and landscaping. The location behind the lilacs/vegetation and setback from property line will negate almost any visual impacts.

### **PUBLIC COMMENT**

Property owners within 350 feet were notified of the applicant's request. One comment was received in support of the request.

### **STAFF RECOMMENDATION**

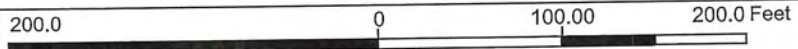
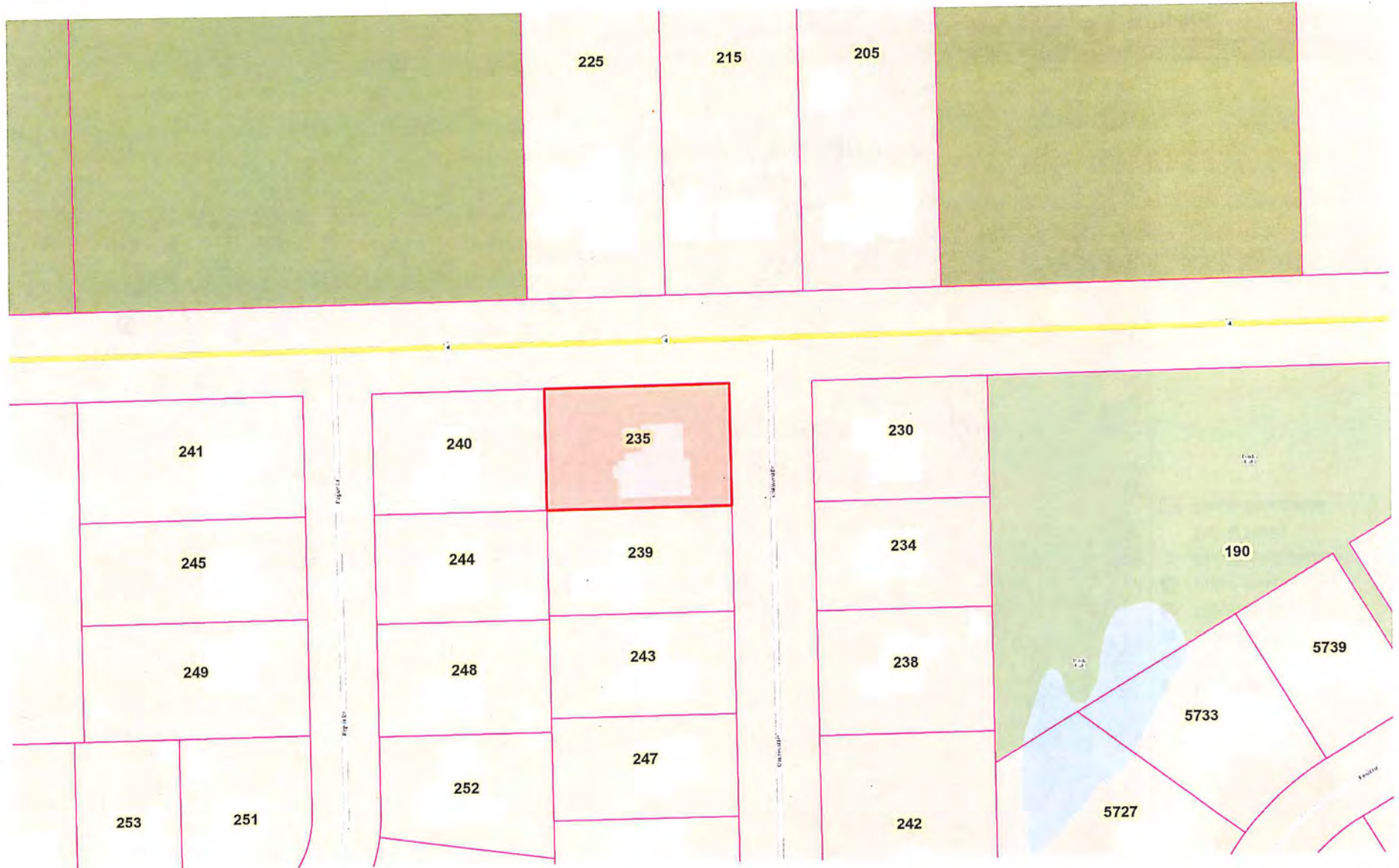
In Staff's opinion, practical difficulty is not present for the variance since all three criteria are not met. A fence could be constructed in accordance with the code requirements. The increase in traffic and noise along Sherwood Road is not a unique circumstance that warrants the variance. Other options exist such as lowering the fence height or setting the fence back at the building setback. The fence, however, would not alter the character of the neighborhood. If the Planning Commission supports the variance,

Resolution 14-52 is attached. The Commission will need to adopt findings. Approving the variance would make it subject to the following:

1. The fence will be setback a minimum of 8 feet from the property line.
2. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
3. The exterior design and finish of the fence shall be consistent with and complement the home on the property.
4. The existing vegetation along that portion of the north side property line adjacent to the proposed structure must remain and be maintained.
5. The applicant shall obtain a building permit for the structure.

Attachments

- 1) Location Map
- 2) Site Aerial Photo
- 3) Submitted Statement and Plans
- 4) Response to Request for Comment
- 5) Resolution 14-52
- 6) Motion



NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
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


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**Legend**



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  2 Recreational Centers
-  Parcel Points
-  Parcel Boundaries



400.0                      0                      200.00                      400.0 Feet

NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
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**Notes**

Enter Map Description



**1) Completed Application Form.**

The Application is completed by the homeowner and attached. [Bookmarked Document No. 1.]

**2) A written statement identifying each requested variance.**

We are requesting a variance to allow for a privacy fence that is 6 feet high on the north side of our property. Our residence is located on a corner lot and the current Shoreview General Code Requirements state that the fence cannot exceed 4 feet in height since it is adjacent to a public road right-of-way. Our north lot line falls within this restriction since we are at the corner of Oakwood Drive and Sherwood Road. We are requesting a variance so the fence can be 6 feet in height, as opposed to 4 feet in height, allowing us to continue enjoying our backyard with privacy, to assist in buffering the street noise, and for aesthetic reasons.

**3) A written statement of justification that demonstrates that the need for the requested variance is consistent with the findings required by State Law and City Code, which are:**

- a. The variance request shall comply with the purpose and intent provisions of City Code Section 201.010, and with the policies of the City's Comprehensive Plan. Below is a brief response on how the variance request will comply with section 201.010 that pertains to our variance request:
  - i. The fence will continue to maintain a high quality of life for us and our neighbors, by providing more privacy since we had to cut down our Evergreen trees [See Photo 1 below], and it will also assist in buffering the constant road activity off of Sherwood Road. It will aesthetically enhance our property and our neighbors and assist in the resale of our home and will add value to our home. We feel that the fence will have more aesthetic value if it was all the same height. [See Photo 2 - Fence Design.] The fence will not, in any way, affect the City support services from accessing the street and existing utilities. [See Photo 3 - Street View.]

PHOTO 1 - View of our backyard.



Photo 2 - Fence Design.





PHOTO 3 – A view of our north property line from Sherwood Road. The lilac hedge vegetation will be on the street side of the fence.



b) Practical Difficulties. The application for a variance shall establish that there are practical difficulties in complying with the provisions of the Shoreview Development Regulations.

c) "Practical Difficulties" means:

- i. Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations. **We would like a continuous 6-foot height for the entire fence for aesthetics, privacy and resale.**
- ii. Unique Circumstances. The plight of the property owner is due to circumstances to the property not created by the property owner. **This does apply to our variance request, since we reside at the end of the block we experience the constant flow of traffic during the week and the heavier traffic flow on the weekends as vehicles**

go back and forth to the compost. The area where we are able to sit and enjoy our backyard is along the north side of our property.

iii. Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood. As you can see from **Photo 3 above**, there is no way that placing a 6-foot fence along this side of our property will in any way alter the neighborhood's character, in fact, it will not even be visible, since the lilac hedge will blocking the view of the fence. If it were visible, it would enhance the neighborhood, since it will be a high quality, easy to maintain fence.

d) Economic considerations. **This does not apply to our request for a variance.**

- 4) This item does not apply to our request.
- 5) Our documentation has been sent to the City of Shoreview via e-mail. We would be happy to provide hard copies upon request.
- 6) Attached is a copy of our property layout which we originally received from the City of Shoreview in 1999. **[See Bookmarked Document No. 2.]** The highlighted green area shows where the fence would be located around the yard. As you can see, the fence on the north side of our property is set back by the end of our garage and will in no way block a driver's view to get onto Sherwood Road. On the south side of our property, we currently do not intend on putting any fencing between us and our neighbors since our hedge serves a better purpose in blocking the view of our neighbors' backyard and their deteriorating fence. **[See Photos 4-5 below.]** If, and when, they remove the rotting fence, we will be happy to revisit the option of inserting a fence at that time and have been assured by Andrew from Dakota Unlimited that we will be able to obtain the same style of fence down the road. We do not want to go to the expense of placing a high quality fence next to a deteriorating fence.

Photos 4 and 5 - Neighbors fence on the south side of our property.



We would also appreciate the City to take into consideration that, since we have been in our home for 27 years, traffic has continued to increase on Sherwood Road, especially since we are on the route to the compost sight. Sherwood is busy enough during the week, but during the summer months on the weekends, there is a constant stream of traffic back and forth from the compost until late afternoon. The weekends are the only days we can enjoy our backyard, either to relax or entertain family and friends, and we are hopeful that the fence will assist with additional privacy and a barrier to block some of the traffic noise.

We would greatly appreciate the City granting this variance so that we can continue to enjoy our home for years to come as the City continues to grow and get busier.



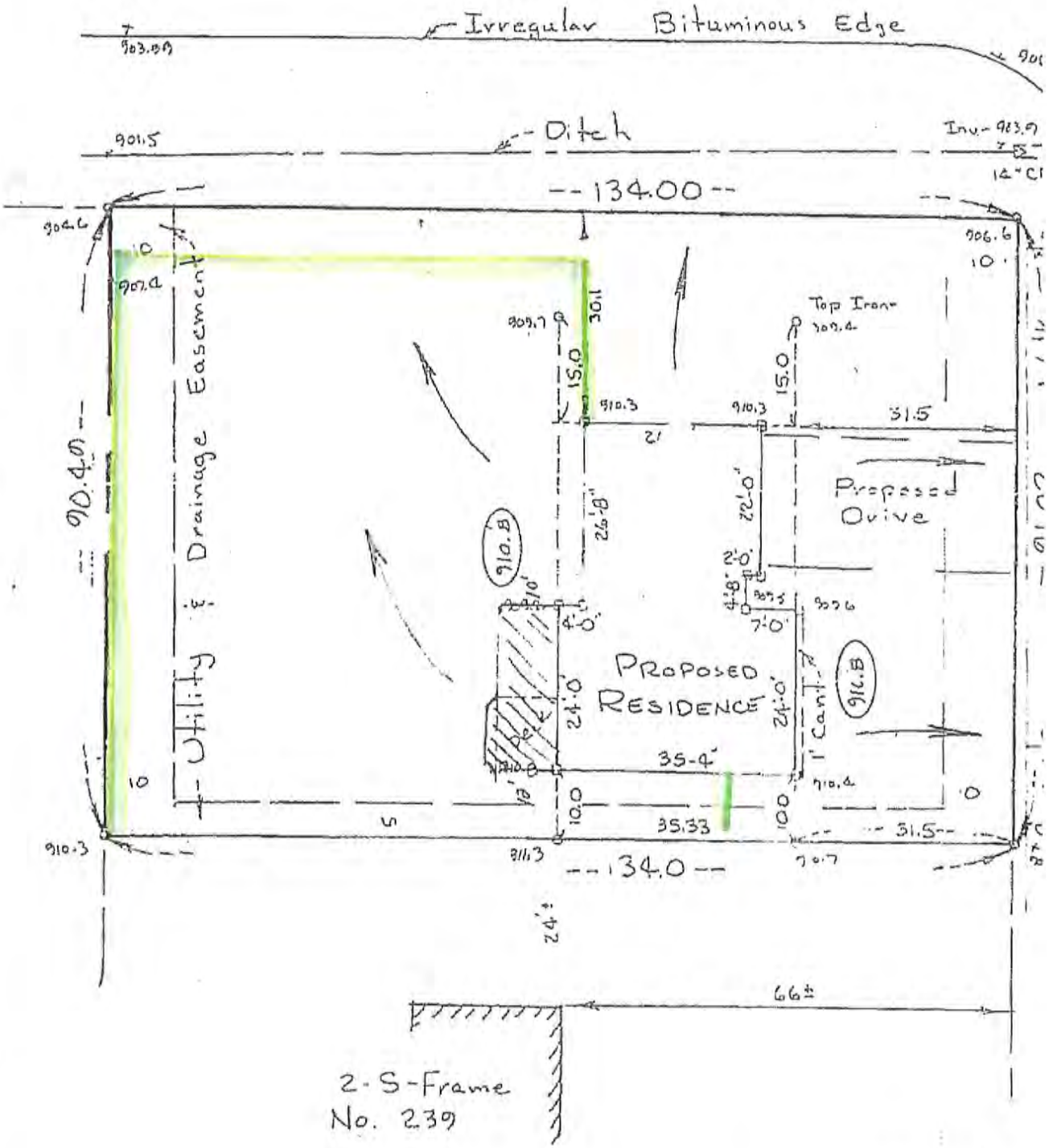
000.0 Denotes Existing Elevation

Type of Building - Split level

911  
Lowest

908

# SHERWOOD ROAD





---

## Fence Variance

---

Ken Junker <junkerflock2@yahoo.com>  
Reply-To: Ken Junker <junkerflock2@yahoo.com>  
To: Nicole Hill <nhill@shoreviewmn.gov>  
Cc: "Chrisann J. Junker" <junkerflock@yahoo.com>

Tue, Jul 15, 2014 at 3:14 PM

Hi Niki,

Ken Junker here. As you can see, Chris forwarded your email. The fence setback along the north side is almost 10 feet, you could say 8 feet. Figure the fence along the west side will have a 1 foot + set back from the south side, the fence along the west side is proposed at 80 feet. Which means measuring from the south corner approximately 81 feet, and with a 90 wide lot, we should be between 8 - 9 feet from the north side. Hope that makes sense. Let me know if it does not.

Thanks for all your help.

Ken Junker

On Tuesday, July 15, 2014 2:59 PM, "Junker, Chrisann J." <CJJunker@rkmc.com> wrote:

**From:** Niki Hill [mailto:nhill@shoreviewmn.gov]  
**Sent:** Tuesday, July 15, 2014 2:22 PM  
**To:** Junker, Chrisann J.; Chrisann Junker  
**Subject:** Fence Variance

[Quoted text hidden]

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Information contained in this e-mail transmission may be privileged, confidential and covered by the Electronic Communications Privacy Act, 18 U.S.C. Sections 2510-2521. If you are not the intended recipient, do not read, distribute, or reproduce this transmission. If you have received this e-mail transmission in error, please notify us immediately of the error by return email and please delete the message from your system. Pursuant to requirements related to practice before the U. S. Internal Revenue Service, any tax



Niki Hill <nhill@shoreviewmn.gov>

---

## Compost Site Traffic Question

---

Miller, Pete <Pete.Miller@co.ramsey.mn.us>

Mon, Jul 14, 2014 at 2:45 PM

To: Niki Hill <nhill@shoreviewmn.gov>, "Springman, John" <John.Springman@co.ramsey.mn.us>

Hi Niki,

In 2013 the White Bear Township site had 53,726 total visits.

27,952 visits on weekdays (M, W, F)

25,774 visits on weekends (Sat, Sun) \* 39 weekends = 330 cars per day  
- up to 660 vehicles round trip

Let me know if you need anything further.

Have a great day!

Pete Miller

Environmental Health Specialist

St. Paul - Ramsey County Public Health

651-266-1151

---

**From:** Niki Hill [mailto:nhill@shoreviewmn.gov]

**Sent:** Monday, July 14, 2014 9:09 AM

**To:** Springman, John; Miller, Pete

**Subject:** Compost Site Traffic Question

[Quoted text hidden]



Niki Hill <nhill@shoreviewmn.gov>

---

## Compost Site Traffic Question

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**Miller, Pete** <Pete.Miller@co.ramsey.mn.us>  
To: Niki Hill <nhill@shoreviewmn.gov>  
Cc: "Springman, John" <John.Springman@co.ramsey.mn.us>

Mon, Jul 14, 2014 at 3:15 PM

Your welcome.

The regular season runs from April through November and is about 35 weeks. During winter 2013 it was one weekend per month (4 weekends). However, since the yard waste sites are now accepting organics for recycling, they will be open every weekend in the winter. So going forward the site will be open every weekend all year. The winter weekends will likely be very low on participation.

Pete

---

**From:** Niki Hill [mailto:nhill@shoreviewmn.gov]  
**Sent:** Monday, July 14, 2014 3:08 PM  
**To:** Miller, Pete  
**Cc:** Springman, John  
**Subject:** Re: Compost Site Traffic Question

[Quoted text hidden]





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## Compost Site Traffic Question

---

Miller, Pete <Pete.Miller@co.ramsey.mn.us>

Tue, Jul 15, 2014 at 3:07 PM

To: Niki Hill <nhill@shoreviewmn.gov>

Cc: "Springman, John" <John.Springman@co.ramsey.mn.us>

No problem Niki. This is the total # of site visits at the White Bear Township site by year. Note – brush collection was added in 2004.

<u>1999</u>	<u>2000</u>	<u>2001</u>	<u>2002</u>	<u>2003</u>	<u>2004</u>	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>
30,427	35,509	45,043	44,575	43,877	53467	52754	40,962	53508	49979	58169	60343	59323	57229	53726

---

**From:** Niki Hill [mailto:nhill@shoreviewmn.gov]

**Sent:** Tuesday, July 15, 2014 3:02 PM

[Quoted text hidden]

[Quoted text hidden]

City Council:  
Sandy Martin, Mayor  
Amy Johnson  
Terry Quigley  
Ady Wickstrom  
Ben Withhart



City of Shoreview  
4600 Victoria Street North  
Shoreview, MN 55126  
651-490-4600 phone  
651-490-4699 fax  
www.shoreviewmn.gov

July 1, 2014

REQUEST FOR COMMENT

Dear Shoreview Property Owner:

Please be advised that on **Tuesday, July 22<sup>nd</sup> at 7:00 p.m.**, the Shoreview Planning Commission will consider a Variance request submitted by **Kenneth and Chrisann Junker** to build a 6 ft fence in the side yard of their corner lot on their property at **235 Oakwood Drive**. The following variances are required:

- 1) To exceed the maximum 4 feet allowable fence height – 6 feet proposed.

You are encouraged to fill out the bottom portion of this form and return it if you have any comments or concerns. You may also send your comments to me via email. Comments received by **July 17<sup>th</sup>** will be distributed to the Planning Commission with their agenda packet. Comments received after that date but before the meeting will be distributed to the Commission that night. You are also welcome to attend the meeting which will be held in the **City Council Chambers, Shoreview City Hall, 4600 North Victoria Street**. The agenda and staff report to the Planning Commission will be available on the City website by July 18<sup>th</sup>. Please use this weblink to review details of the project and City standards after that date [www.shoreviewmn.gov/pc/documents](http://www.shoreviewmn.gov/pc/documents).

If you would like more information or have any questions, please call me at 651-490-4658 between 8:00 a.m. and 4:30 p.m., Monday through Friday. You may leave a voice mail message at any time. Comments or questions can also be submitted via e-mail to me at [nhill@shoreviewmn.gov](mailto:nhill@shoreviewmn.gov).

Sincerely,

Niki Hill  
Planning and Economic Development Technician

Comments:

My name is Gordy Benglor, I and my family live just behind Ken & Chris. We fully support Ken & Chris' decision to build a 6' fence.

Name: Gordy Benglor  
Address: 240 Poplar Dr  
Shoreview, MN 55126

**EXTRACT OF MINUTES OF MEETING OF THE  
PLANNING COMMISSION OF SHOREVIEW, MINNESOTA  
HELD JULY 22, 2014**

\* \* \* \* \*

Pursuant to due call and notice thereof, a meeting of the Planning Commission of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 PM.

The following members were present:

And the following members were absent:

Member \_\_\_\_\_ introduced the following resolution and moved its adoption.

**RESOLUTION NO. 14-52 FOR A VARIANCE RELATED TO A FENCE**

WHEREAS, Kenneth and Chrisann Junker, submitted a variance application for the following described property:

*LOT 29, BLOCK 4, SHOREVIEW OAKS,*

*(This property is more commonly known as 235 Oakwood Avenue)*

WHEREAS, the Development Regulations establish fences in front yards or any yard adjacent to a public road right-of-way or road easement shall not exceed 4 feet in height; and

WHEREAS, the applicants are proposing to build a 6 foot fence adjacent to the Sherwood Road right of way; and

WHEREAS, the applicant has requested the following variance for said structure;

- 1) To exceed the maximum 4 feet permitted for a fence, a 6 foot fence is proposed; and

WHEREAS, the Shoreview Planning Commission is authorized by State Law and the City of Shoreview Development Regulations to make final decisions on variance requests.

WHEREAS, on July 22, 2014 the Shoreview Planning Commission made the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*
  
2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*
  
3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance request for property described above, 5110 Lexington Avenue, be approved, subject to the following conditions:

1. The fence will be setback a minimum of 8 feet from the property line.
2. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
3. The exterior design and finish of the fence shall be consistent with and complement the home on the property.
4. The existing vegetation along that portion of the north side property line adjacent to the proposed structure must remain and be maintained.
5. The applicant shall obtain a building permit for the structure.

The motion was duly seconded by Member \_\_\_\_\_ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 22<sup>nd</sup> day of July, 2014

---

Steve Solomonson, Chair  
Shoreview Planning Commission

ATTEST:

---

Kathleen Castle, City Planner

ACCEPTANCE OF CONDITIONS:

---

Kenneth Junker, 235 Oakwood Drive

---

Chrisann Junker, 235 Oakwood Drive

STATE OF MINNESOTA )  
  )  
COUNTY OF RAMSEY )  
  )  
CITY OF SHOREVIEW )

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview Planning Commission held on the 22<sup>nd</sup> day of July, 2014 with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates to adopting Resolution 14-52.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 22<sup>nd</sup> day of July, 2014.

\_\_\_\_\_  
Terry C. Schwerm  
City Manager

SEAL

**MOTION TO DENY**

**MOVED BY COMMISSION MEMBER:** \_\_\_\_\_

**SECONDED BY COMMISSION MEMBER:** \_\_\_\_\_

To deny the following variance submitted by Kenneth and Chrisann Junker, 235 Oakwood Drive for the construction of a 6 foot fence on the north side yard on their property.

- 1) To exceed the maximum 4 feet permitted as a 6 foot fence is proposed;

Said denial is based on the following findings of fact:

- 1) Practical difficulty is not present as all three criteria have not been satisfied.
- 2) Unique Circumstances: The plight of the property owner is not due to circumstances unique to the property. The increased traffic on Sherwood is not a unique characteristic of the property.
- 3) The Development Code permits a 4 foot fence in the proposed location or a 6 ft fence to be setback 30-feet from the right-of-way line of Sherwood Road.

**VOTE:**

**AYES:**

**NAYS:**

Regular Planning Commission Meeting  
July 22, 2014

## MOTION TO APPROVE

**MOVED BY COMMISSION MEMBER:** \_\_\_\_\_

**SECONDED BY COMMISSION MEMBER:** \_\_\_\_\_

To adopt the attached Resolution 14-52, permitting the construction of a 6 foot fence in the north side yard of Kenneth and Chrisann Junker, 235 Oakwood Drive.

Said approval is subject to the following conditions:

1. The fence will be setback a minimum of 8 feet from the property line.
2. The project must be completed in accordance with the plans submitted with the applications. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
3. The exterior design and finish of the fence shall be consistent with and complement the home on the property.
4. The existing vegetation along that portion of the north side property line adjacent to the proposed structure must remain and be maintained.
5. The applicant shall obtain a building permit for the structure.

Said approval is based on the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*
2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*
3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

**VOTE:**

**AYES:**

**NAYS:**

Regular Planning Commission Meeting  
July 22<sup>nd</sup>, 2014



**TO:** Planning Commission  
**FROM:** Kathleen Castle, City Planner  
**DATE:** July 17, 2014  
**SUBJECT:** File No. 2533-14-23, Site and Building Plan Review, Union Gospel Mission, 580 Highway 96

## **INTRODUCTION**

Heller Architects, Inc., on behalf of the Union Gospel Mission, has submitted a Site and Building Plan Review application and is proposing improvements to enhance the current use of the property. These improvements are summarized as follows:

- 1) Demolish the existing restroom building and construct a new restroom building in the same approximate location
- 2) Improve the existing beach house with interior alterations, repairing and repainting the exterior and installing a new roof
- 3) Install landscaping near the entryway

## **PROJECT DESCRIPTION**

The Union Gospel Mission has operated a ministry center on this property since its ownership in 1930. This property has been used for a variety of programs associated with the Mission and includes day camps for teenagers, staff retreats, special events, corporate retreats, and other activities. The property is developed and improvements include a Ministry Center (dormitory, kitchen, dining and gathering spaces), the Christ Center (adult programs), restroom facilities, beach house, staff residence, a maintenance building, playground facilities and off-street parking.

The existing restroom building will be demolished and a new building constructed in approximately the same location near the center of the property. This structure is designed with toilet facilities, storage space and a covered patio/picnic area. The exterior of the building will be dressed with brick (to match the Ministry Center), wood, cedar or cement fiber board siding and a standing seam metal roof.

The beach house is located along the shore of Snail Lake. This structure functions as a changing room and provides storage for equipment and materials related to beach activities. It is constructed of concrete block and was covered with a roof that has since been removed. Improvements to this structure will enhance the appearance and functionality. The façade will be repaired/repainted and a roof will be added. The structure will also be modified with a new partition wall, storage cubes, floor and doors. A new water line will also replace an abandoned line to provide water to an outdoor shower area and drinking fountain.

The existing grade behind the beach house will be altered by adding a retaining wall east of the building to prevent views into the building and the service road providing access to the beach area

will be improved with a new gravel surface.

The proposed improvements also include additional landscaping along the entry driveway to screen mechanical equipment from view.

### **DEVELOPMENT CODE - ZONING**

The property is zoned PUD, Planned Unit Development, which permits the institutional use of the property. It is also located in the Shoreland Overlay District for Snail Lake because it has lake frontage on the east shore. There is also a bluff which slopes down to the lake.

### **COMPREHENSIVE PLAN**

The land use designation for this property is Institutional which is designed for public and quasi-public uses such as schools, churches, recreational centers and public facilities. The intensity of these uses must be compatible with the planned land use of the surrounding area. Adjoining land uses include low density residential, office and natural.

The property is also located in Policy Development Area (PDA) #8. PDA's have been established for those areas that present opportunities or pose significant concerns for development or redevelopment. The use of the PDA concept allows the City to require more specific development policies than would generally be applied to development proposals. These policies together with the land use designation set the City's official land use policy for the property.

The PDA recognizes the continued use of this property by the Union Gospel Mission. The plan also references other land uses for this property including Office, Mixed Use, Medium and Low Density Residential as appropriate uses if the site is redevelopment in the future. Policies within the PDA address the redevelopment of the property.

### **STAFF REVIEW**

The intent of the Site and Building Plan review is to provide the City with the opportunity to review the proposed development in accordance with the development code standards and approved PUD via a public review process. The proposed use and site development is consistent with the City's past approvals. The primary issues with this proposal relate to the proposed beach house.

The beach house is located at the toe of the bluff along the shoreline of Snail Lake. It is setback 24' from the ordinary high water (OHW) line of Snail Lake and is in the Shore Impact Zone and encroaches upon the minimum 50-foot structure setback from the OHW. While there is no building permit on file for this structure, based on aerial photography it appears this structure may have been constructed in the 1950's prior to the incorporation of the City and enactment of the Shoreland Overlay District. It is considered a non-conforming structure.

A non-conforming structure may remain at its current size and location and may be structurally altered provided the alteration complies with the current development standards. Normal repairs and maintenance are permitted to keep these structures in sound condition.

The proposed improvements fall within the scope of normal maintenance/repair and are permissible. The interior modifications will also improve the function of the beach house and the roof will shelter the interior from the weather elements and serve as a visual obstruction to the interior.

Grading, Drainage and Erosion Control

Minor grading is proposed for the restroom building and for the retaining wall located behind the beach house. Historic drainage patterns will be retained. Erosion control will be installed to control sedimentation.

Trails

The property was rezoned to PUD in 1999 when the Ministry Center was constructed. At that time, there was discussion regarding *The Core Area Framework Plan and the draft Comprehensive Guide Plan* both of which suggested a lakewalk be established along Snail Lake if this property and the single family homes to the west are ever redeveloped. The Mission agreed to provide an easement in the northwest corner of the site upon the City's acquisition of a trail easement along the lakeshore of those residential properties to the west. Additional easements are not being sought at this time due to the Mission's desire to remain on the site and potential impact on their operations. Additional easements would be sought at the time this site redevelops to another use.

**PUBLIC COMMENT**

Property owners within 350' were notified of this request. To date, two letters have been received in support of the proposed improvements.

The Minnesota Department of Natural Resources was also notified of the proposal. Molly Shodeen stated that she has no concerns regarding the proposal but encouraged landscaping to assist in screening the structure. Staff has concerns about the vitality of landscaping adjacent to the beach house. No comments have been received.

**RECOMMENDATION**

The proposed improvements have been found to be consistent with the City's Comprehensive Plan policies, the Development Code and the PUD; therefore, Staff is recommending the Commission forward a recommendation of approval to the City Council with the following conditions attached:

1. The property shall be developed in accordance with the plans submitted and dated June 23, 2014. The beach house shall be earth tone in color.
2. Final grading, drainage and erosion control plans are subject to the review and approval by the Public Works Director.
3. The plans shall be revised to include tree protection measures for the trees which will be

retained in the area of the proposed restroom building.

4. Final utility plans are subject to review and approval by the Public Works Director.
5. The items identified in the Memo dated July 14, 2014 from the City Engineer must be addressed prior to the issuance of a building permit.
6. A Site Development Agreement and Erosion Control Agreement, including the submittal of financial sureties, shall be executed prior to issuing a building permit or commencing work on the site.

Attachments

- 1) Comments from the City Engineer
- 2) Location Map
- 3) Applicant's Statement and Submitted Plans
- 4) Request for Comment
- 5) Proposed Motion

T:\2014 Planning Case files\2533-14-23 580 Hwy 96 West-Union Gospel Mission\PCReport.docx

Date: July 14, 2014  
To: Kathleen Castle, City Planner  
From: Tom Wesolowski, City Engineer  
Subject: Site Plan Review Comments for Proposed Improvements  
Union Gospel Mission – 580 Highway 96

The City of Shoreview Engineering Department has reviewed the site plan submittal dated June 23, 2014. Engineering staff has the following comments regarding the plans:

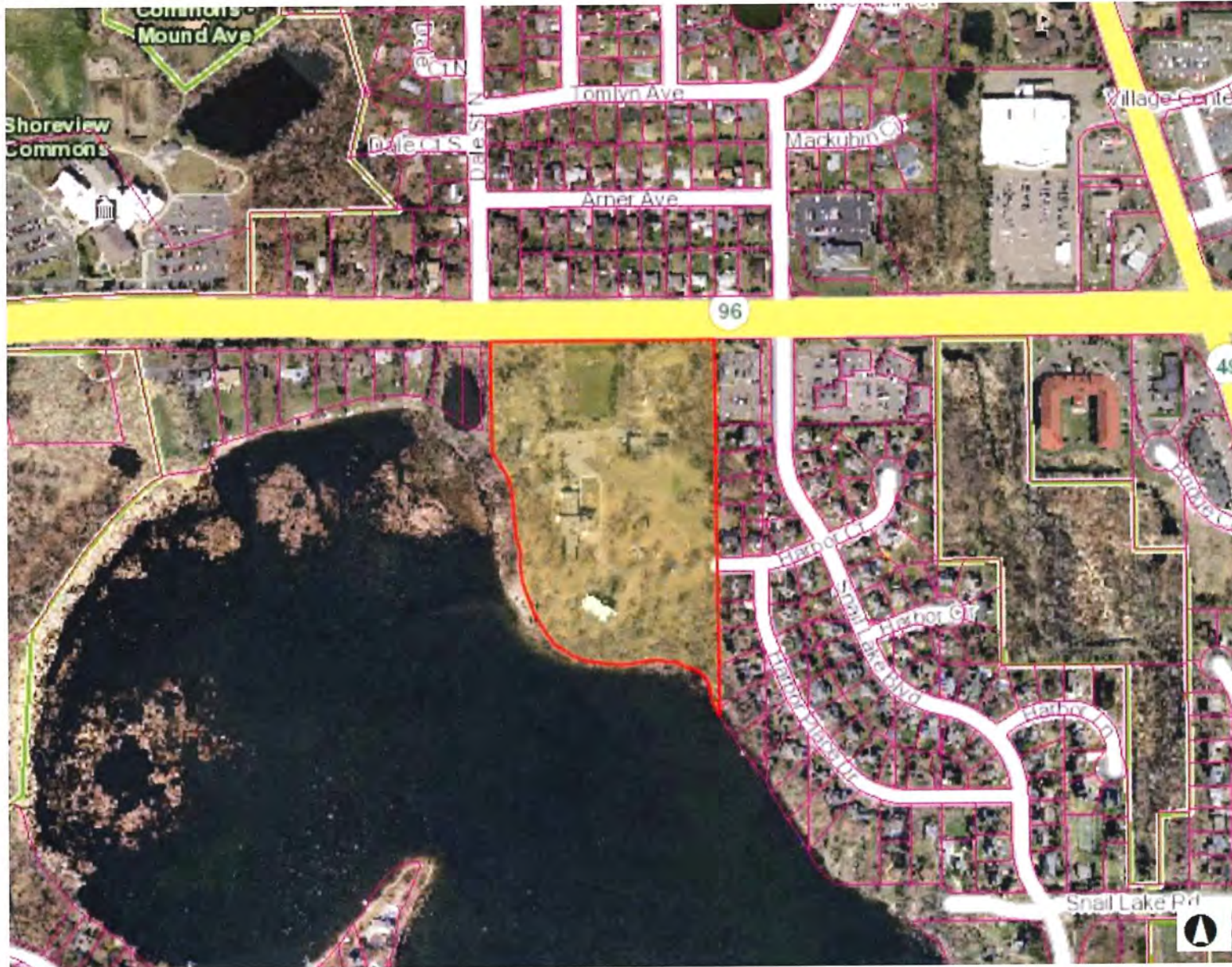
1. The project is located within the Grass Lake Watershed, which is governed by the Ramsey-Washington Metro Watershed District (RWMWD). The disturbed area for the project is not large enough to require a permit from the RWMWD.
2. The proposed improvements do not require the development of a stormwater management plan.
3. The plans do include a surface water management plan for best management practices, to control erosion, and establish permanent vegetation.
4. There is an 8" water service for the property that extends from Harbor Court into the property. This is not shown on the submitted plans. It appears, from our records, which is not an as-built, that the water main may be close to the new bathroom structure and should be located on the building plan submittal.
5. The bathroom building will require water and sanitary sewer permits. It may require a SAC letter if the use has increased. They will need to submit plans to MCES for a determination if the project moves forward.
6. A new water service is being installed for a shower head/foot wash at the Beach House. A water permit is required. No sewer connection is proposed.
7. An escrow for Erosion Control will be required.
8. Tree protection shall be maintained throughout construction.

If you have any questions or would like to discuss the comments please contact Tom Wesolowski at 651-490-4652





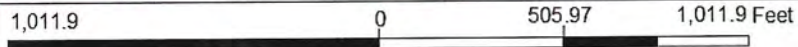
# Union Gospel Mission - 580 Highway 96



### Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries



NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
 © Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

### Notes

Site and Building Plan Review



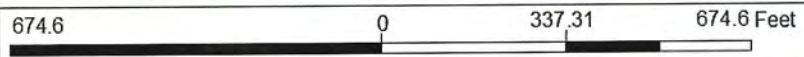
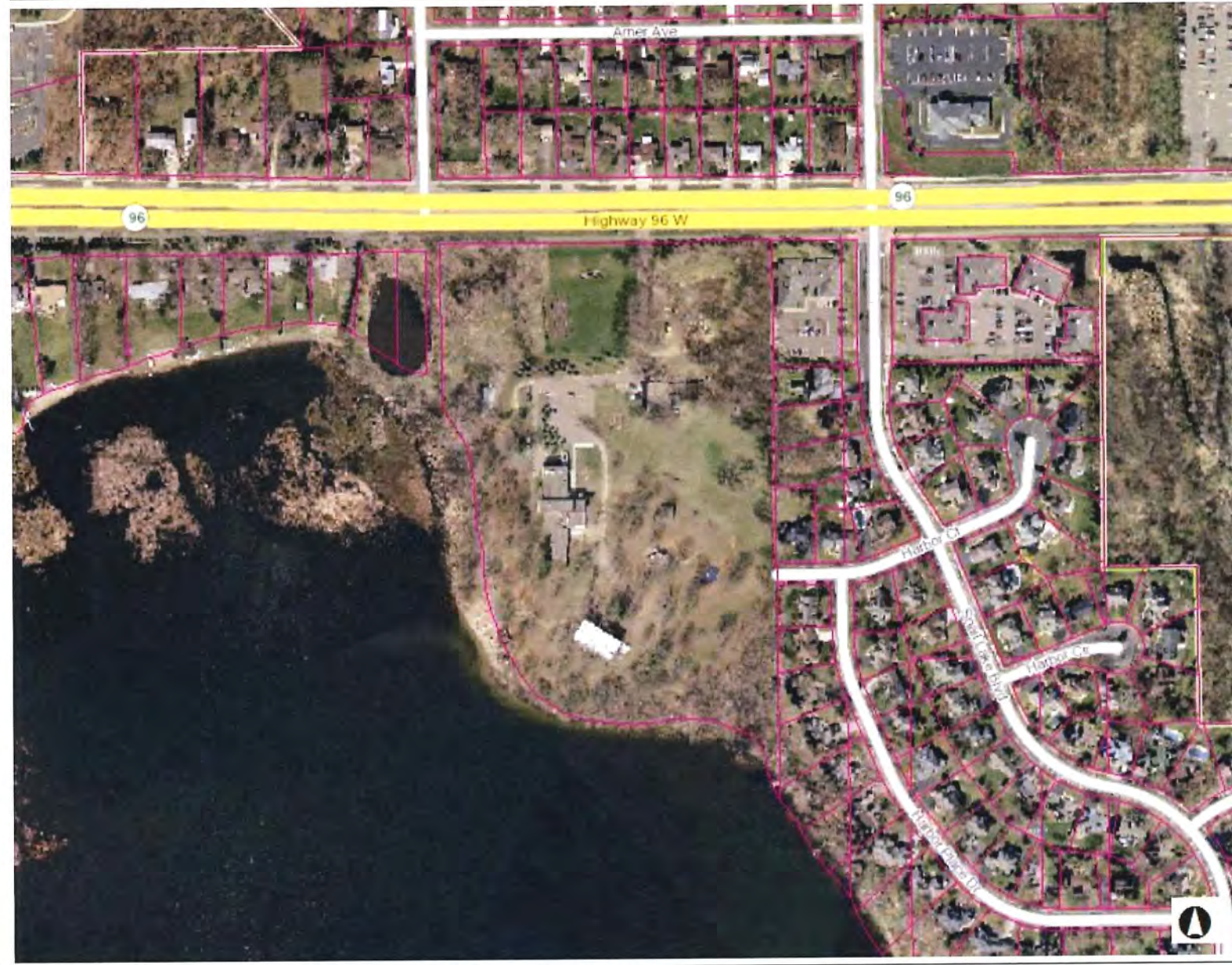


# Union Gospel Mission - 580 Highway 96

## Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries



NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
 © Ramsey County Enterprise GIS Division

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

## Notes

Site and Building Plan Review



▶ Rob Warwick  
Senior Planner  
City of Shoreview  
Planning & Zoning Department  
4600 Victoria Street North  
Shoreview, Minnesota 55126

**RE: Site Plan Review Application for  
Union Gospel Mission  
Gospel Hill Camp  
580 Hwy 96 W  
Shoreview, Minnesota 55126**

23 June 2014

Dear Rob:

On behalf of Union Gospel Mission (UGM), we are submitting the attached Site Plan Review Application, associated drawings and supporting information listed below for proposed improvements at Union Gospel Mission Gospel Hill Camp. This submittal is for the July 22, 2014 Planning Commission Meeting and August 4<sup>th</sup> or 18<sup>th</sup>, 2014 City Council Meeting.

The drawings listed below are attached as part of this submittal. One (1) 8 ½"x11" copy, one (1) 11"x17" copy, and four (4) 24"x36" copies are attached.

- A0.0 Title Sheet / Reference Site Plan
- A1.0 Restroom Building Plan & Elevations
- A2.0 Beach House Plan & Elevations
- A3.0 Existing & Proposed Project Images  
Survey
- C1.0 Demolition & Erosion Control Plan
- C2.0 Grading, Paving and Utility Plan
- L1.1 Existing Lake Access Improvements Landscape Plan
- L1.2 Front Entry Landscape Plan
- L1.3 Restroom Building Landscape Plan

**Property Information:**

The following property information is based on Ramsey County records:

Location:	Union Gospel Mission – Gospel Hill Camp & Ministry Center 580 Hwy 96 W Shoreview, Minnesota 55126
Property Identification Number (PIN):	24.30.23.22.2005
Plat or Section / Township / Range:	24 / 30 / 23
Legal Description:	Lakeview Ave Vac Accruing And Lots 1 thru Lot 4
Current Zoning:	Planned Unit Development (PUD)

**Current Use:**

The property and buildings are used for a variety of activities throughout the year including one and multi-day camps for teenagers, staff retreats, weddings, corporate planning sessions and various other gatherings and retreats. The use will remain the same and the proposed improvements will support and enhance the current uses.



**Proposed Improvements:**

The proposed improvements consist of the following three improvement areas:

**New Restroom Building:**

This portion of work consists of removing an existing and providing a new restroom building near the center of the site. The existing building is in need of numerous repairs and updates and does not meet the current needs. Therefore, a new restroom building is proposed that will provide new toilet facilities near the playground as well as a janitor's closet, drinking fountain and a covered gathering and picnic patio.

**Beach House Improvements:**

The existing beach house functions as changing/dressing rooms and provides storage for beach related amenities. The building has not been updated for a number of years and is in need of improvements, mostly aesthetic. The proposed improvements include the following:

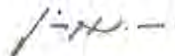
- New roof over the dressing rooms that will function as a canopy but not totally enclose the spaces. At one time a roof existed but it is unknown when it was removed.
- New concrete block partition walls within the dressing rooms to create changing booths.
- New storage cubbies, towel/clothes hooks and bench.
- New concrete floor slab to replace existing.
- Patching and painting all existing concrete block walls for a fresh appearance.
- New storage room door and louvers to replace existing.
- New retaining wall on the east side behind the building to lower grade elevation thus preventing views into the changing rooms and preventing direct access to the roof.
- New water line, outdoor shower head and foot wash. The proposed water line will replace an abandoned line that has not been used in years but was used for a shower and drinking fountain.
- New gravel service path to replace the existing field stone path which is too narrow and steep for service vehicles. The new gravel path will reduce runoff to the lake and will include a Geogrid fabric to stabilize the slope.

**Entrance Landscaping:**

This portion of work consists of adding new landscaping near the front entrance walkway to screen existing mechanical equipment.

Thank you for your consideration. Feel free to call us with any questions or if additional information is needed.

Sincerely,



**Heller Architects Inc.**

Dave Heller  
Principal

xc:  
Greg Verley (union Gospel Mission)  
File



# Union Gospel Mission

## Gospel Hill Camp & Ministry Center NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS

580 Highway 96 West  
Shoreview, Minnesota

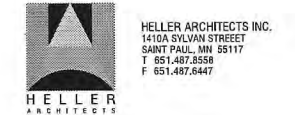
SITE PLAN REVIEW SUBMITTAL  
6.23.14

### UNION GOSPEL MISSION

Gospel Hill Camp & Ministry Center  
580 West Hwy 96  
Shoreview, Minnesota 55126

### NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS

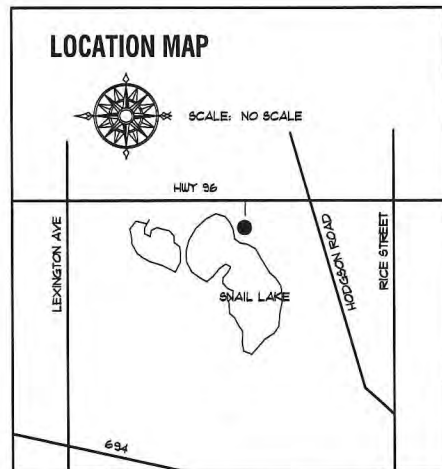
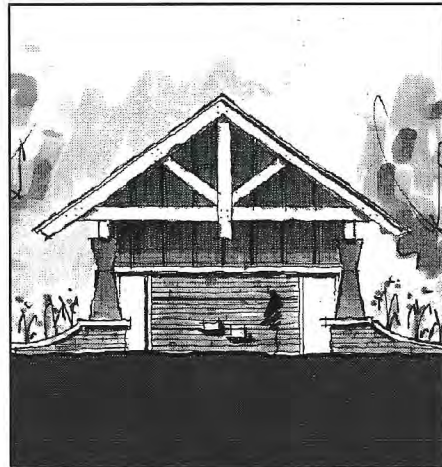
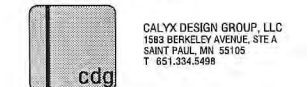
#### ARCHITECT:



#### CIVIL & STRUCTURAL ENGINEER:



#### LANDSCAPE ARCHITECT:



#### SCOPE OF WORK

THE PROJECT CONSISTS OF THE FOLLOWING THREE IMPROVEMENT AREAS:

##### NEW RESTROOM BUILDING:

THIS PORTION OF WORK CONSISTS OF REMOVING AN EXISTING RESTROOM BUILDING AND REPLACING IT WITH A NEW RESTROOM BUILDING THAT WILL ALSO PROVIDE AN OUTDOOR COVERED GATHERING PATIO.

##### BEACH HOUSE IMPROVEMENTS:

THIS PORTION OF WORK CONSISTS OF ADDING A NEW ROOF OVER THE EXISTING BEACH HOUSE, MAKING AESTHETIC IMPROVEMENTS AS WELL AS ADDING NEW PARTITION WALLS WITHIN FOR PRIVACY WHILE CHANGING OTHER PROPOSED IMPROVEMENTS INCLUDE ADDING AN OUTDOOR SHOWER HEAD AND FOOT WASH AS WELL AS REPLACING THE EXISTING SERVICE DRIVE.

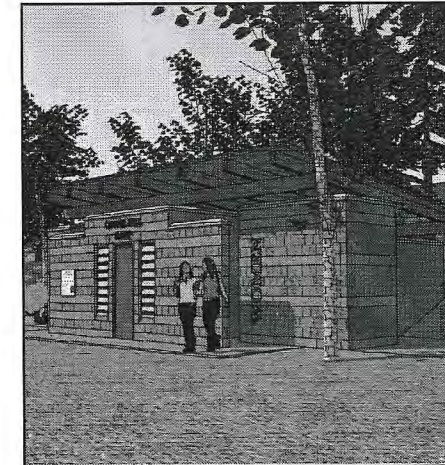
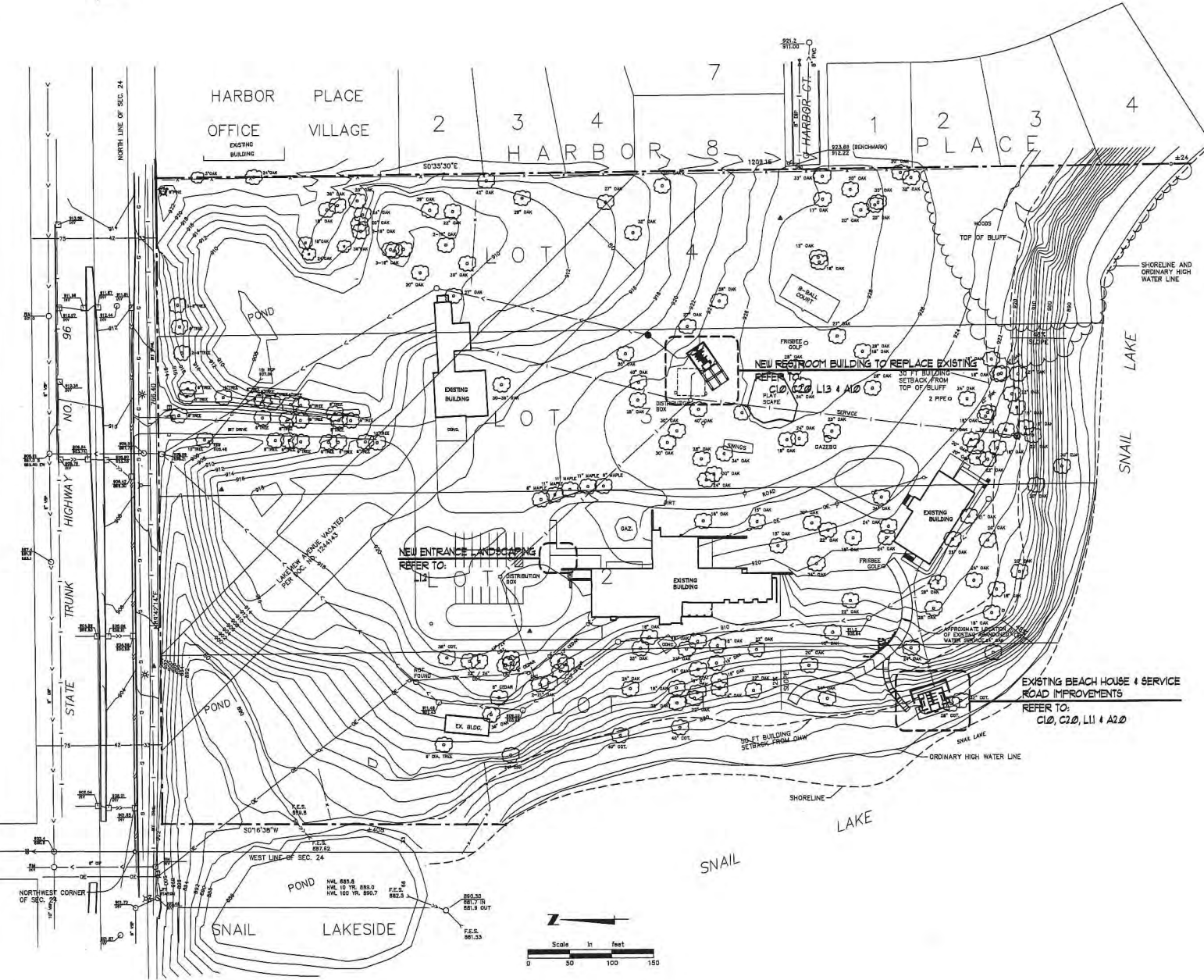
##### ENTRANCE LANDSCAPING:

THIS PORTION OF WORK CONSISTS OF ADDING NEW LANDSCAPING NEAR THE FRONT ENTRANCE WALKWAY TO SCREEN EXISTING MECHANICAL UNITS.

#### SITE REFERENCE PLAN



SCALE: 1" = 80'-0"



#### SHEET INDEX

##### ARCHITECTURAL

- A0.0 TITLE SHEET / SITE REFERENCE PLAN
- A1.0 RESTROOM PLAN & ELEVATIONS
- A2.0 BEACH HOUSE PLAN & ELEVATIONS
- A3.0 PROPOSED PROJECT IMAGES

##### CIVIL

- C1.0 TOPOGRAPHIC SURVEY
- C2.0 DEMOLITION AND EROSION CONTROL PLAN
- C2.0 GRADING, PAVING AND UTILITY PLAN

##### LANDSCAPE

- L1.1 LAKE ACCESS IMPROVEMENTS LANDSCAPE PLAN
- L1.2 FRONT ENTRY LANDSCAPE PLAN
- L1.3 BATHROOM BUILDING LANDSCAPE PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

PRINT NAME: DAVID J. HELLER

SIGNATURE:

DATE: 06/23/14 LICENSE NO: 25308

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Project No.: 1017.01

Date: 6/23/14

Revisions:

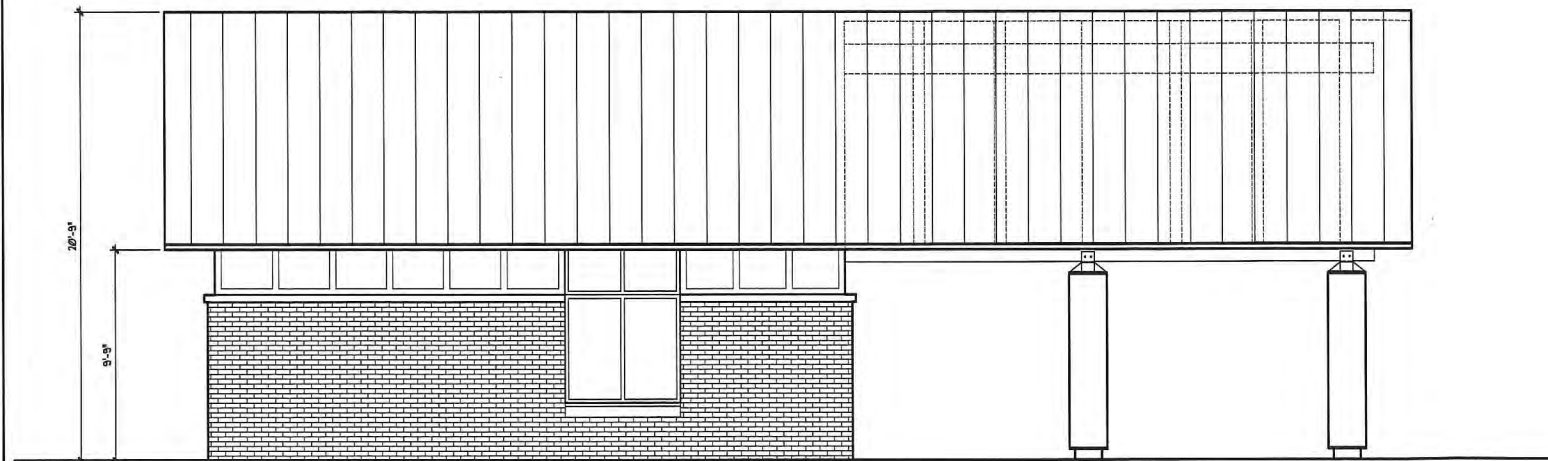
SITE PLAN REVIEW SUBMITTAL (6/23/14)  
NOT FOR CONSTRUCTION

Title  
▶ TITLE SHEET / SITE PLAN

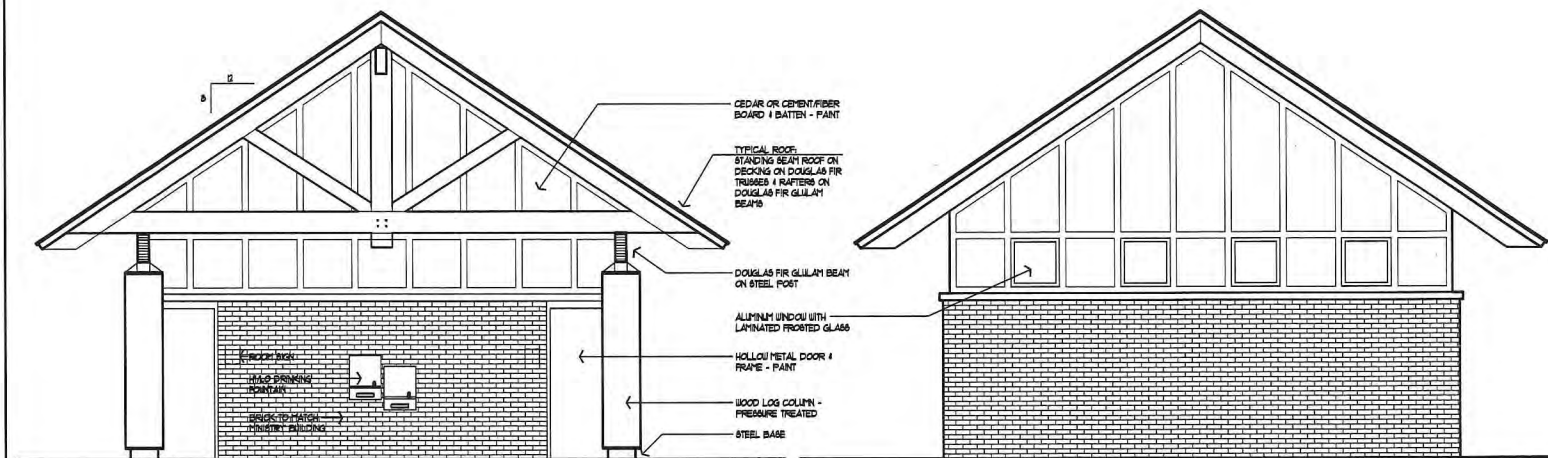
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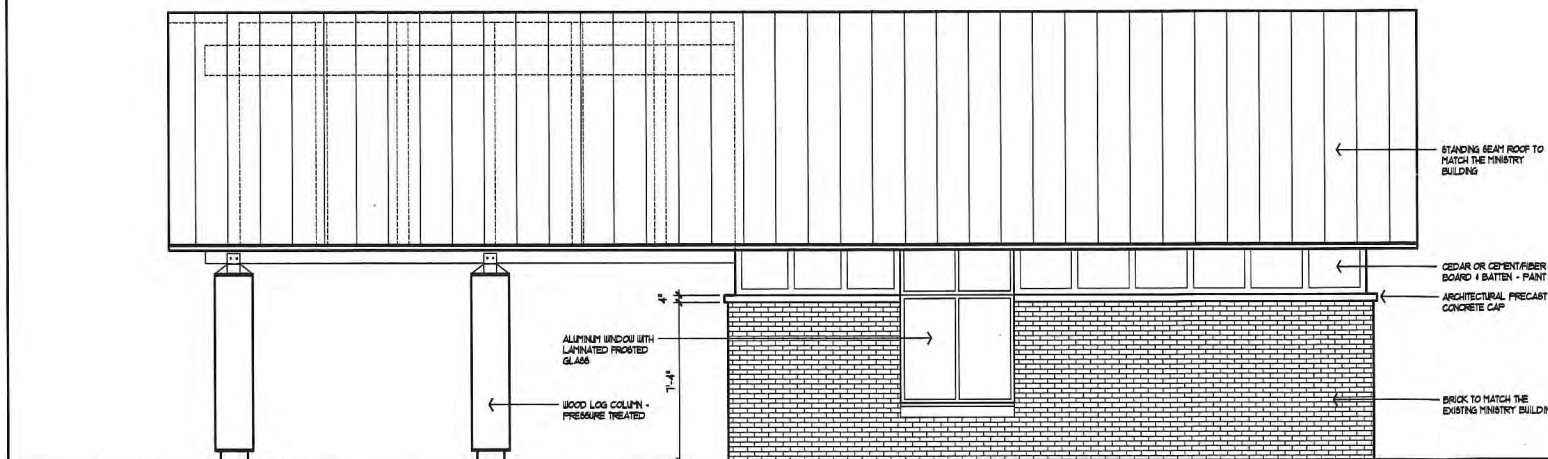


C NORTH ELEVATION



B WEST ELEVATION

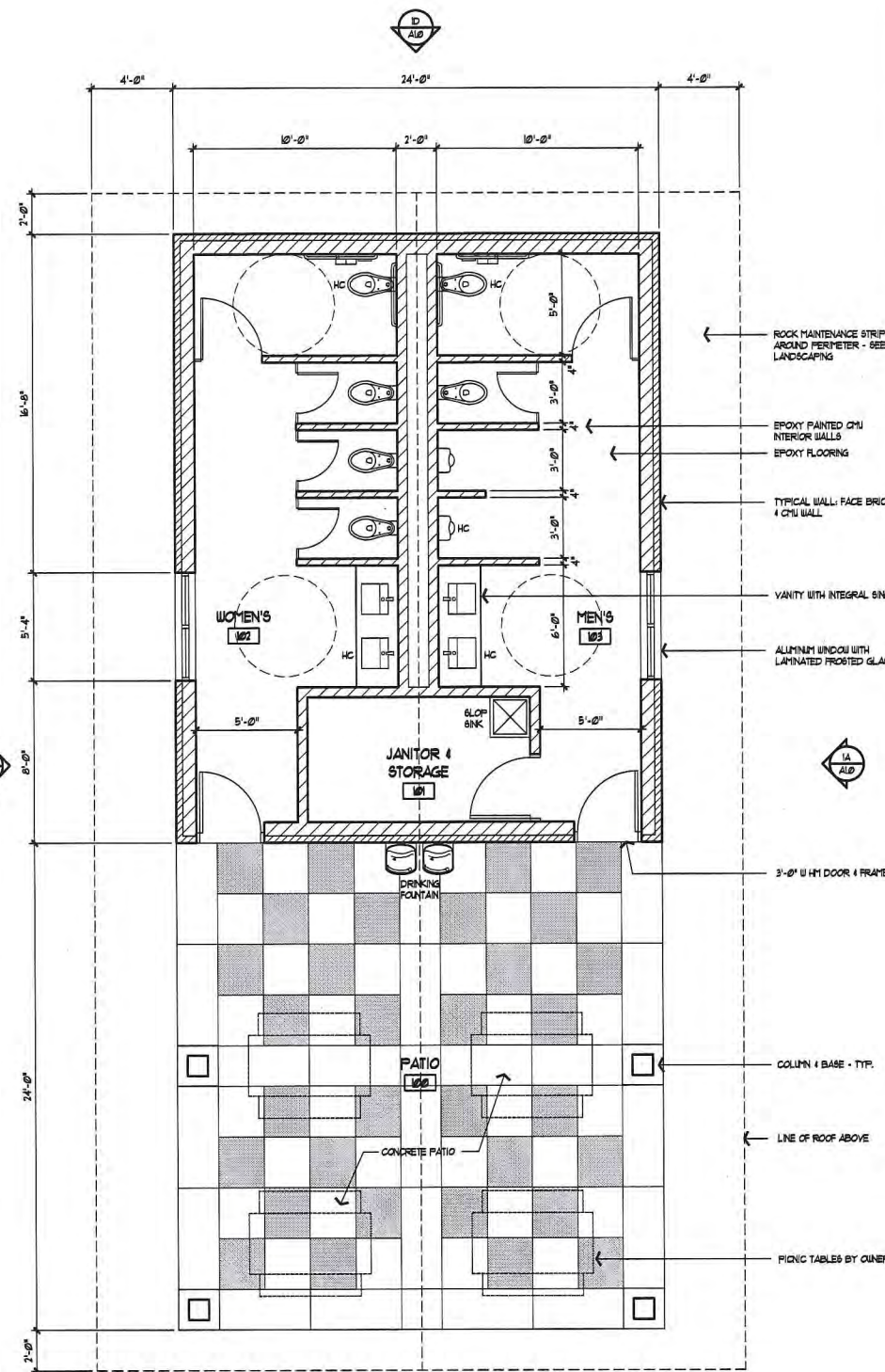
D EAST ELEVATION



A SOUTH ELEVATION

NEW RESTROOM ELEVATIONS

1/4" = 1'-0"



RESTROOM BUILDING FLOOR PLAN

1/4" = 1'-0"

# UNION GOSPEL MISSION

Gospel Hill Camp & Ministry Center  
580 West Hwy 96  
Shoreview, Minnesota 55126

## NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS

### ARCHITECT:

**HELLER ARCHITECTS INC.**  
1410A SYLVAN STREET  
SAINT PAUL, MN 55117  
T 651.487.8558  
F 651.487.5447

### CIVIL & STRUCTURAL ENGINEER:

**BKBM ENGINEERS**  
8930 BROOKLYN BLVD.  
MINNEAPOLIS, MN 55429  
T 783.843.0420  
F 783.843.0421

### LANDSCAPE ARCHITECT:

**CALYX DESIGN GROUP, LLC**  
1528 BERKLEY AVENUE, STE A  
SAINT PAUL, MN 55105  
T 651.334.5498

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of The State of Minnesota.

PRINT NAME: DAVID J. HELLER

SIGNATURE

DATE: 06/23/14 LICENSE NO: 25308

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Project No.: 1017.01

Date: 6/23/14

Revisions:

SITE PLAN REVIEW SUBMITTAL (6/23/14)  
NOT FOR CONSTRUCTION

Title

▶ RESTROOM BLDG  
PLAN & ELEVATIONS

Sheet Number

# A1.0



# UNION GOSPEL MISSION

Gospel Hill Camp & Ministry Center  
580 West Hwy 96  
Shoreview, Minnesota 55126

## NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS

ARCHITECT:



HELLER ARCHITECTS INC.  
1410A SYLVAN STREET  
SAINT PAUL, MN 55117  
T 651.487.8558  
F 651.487.8447

CIVIL & STRUCTURAL ENGINEER:



BKBM ENGINEERS  
5930 BROOKLYN BLVD.  
MINNEAPOLIS, MN 55429  
T 763.843.0420  
F 763.843.0421

LANDSCAPE ARCHITECT:



CALYX DESIGN GROUP, LLC  
1553 BERKELEY AVENUE, STE A  
SAINT PAUL, MN 55105  
T 651.394.5498

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

PRINT NAME: DAVID J. HELLER  
SIGNATURE: \_\_\_\_\_  
DATE: 06/23/14 LICENSE NO: 25308

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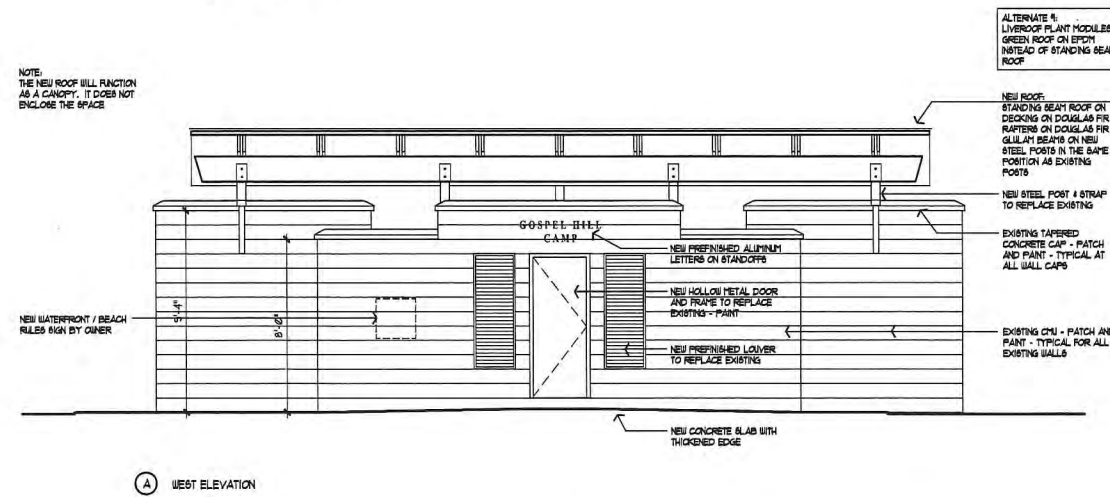
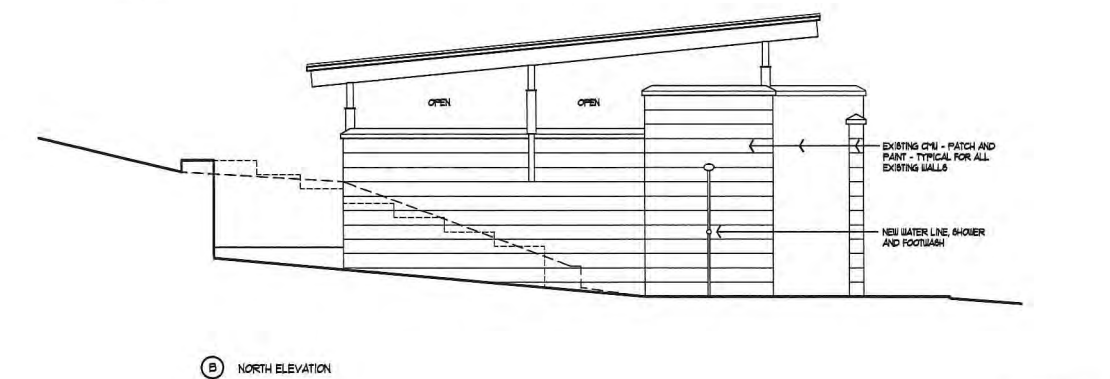
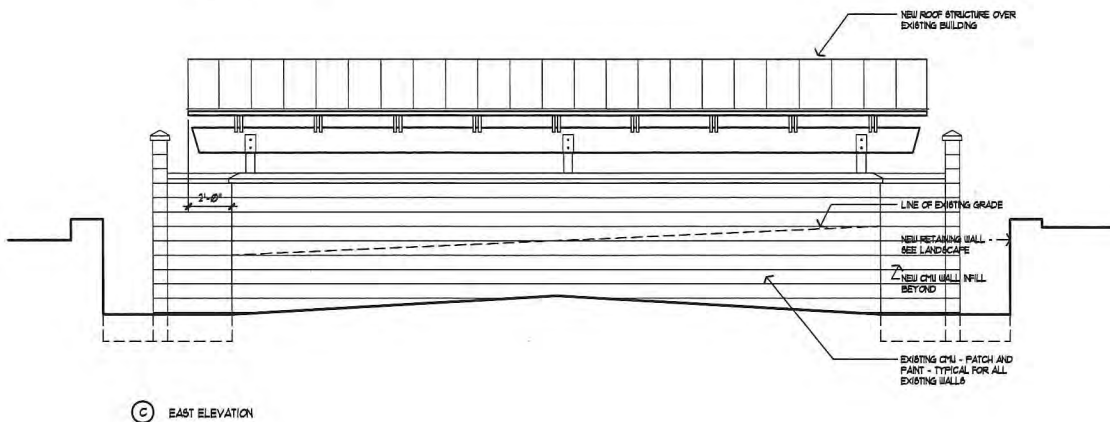
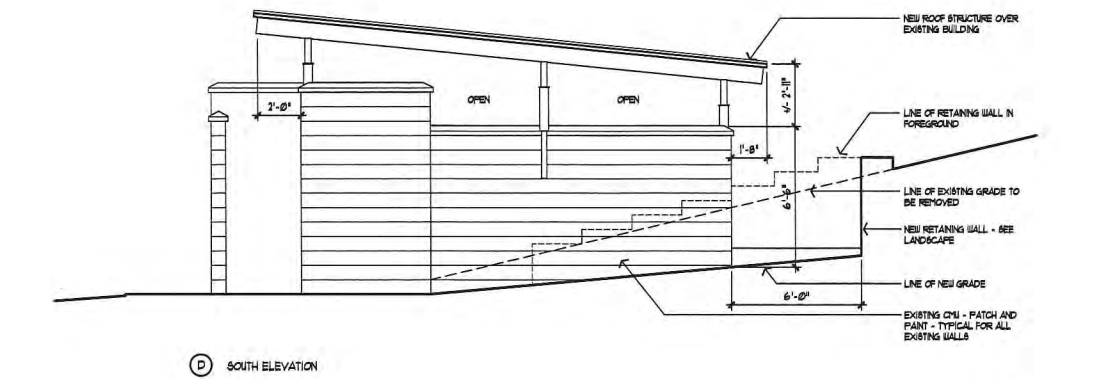
Project No.: 1017.01  
Date: 6/23/14  
Revisions:

SITE PLAN REVIEW SUBMITTAL (6/23/14)  
NOT FOR CONSTRUCTION

Title  
► BEACH HOUSE  
PLAN & ELEV'S

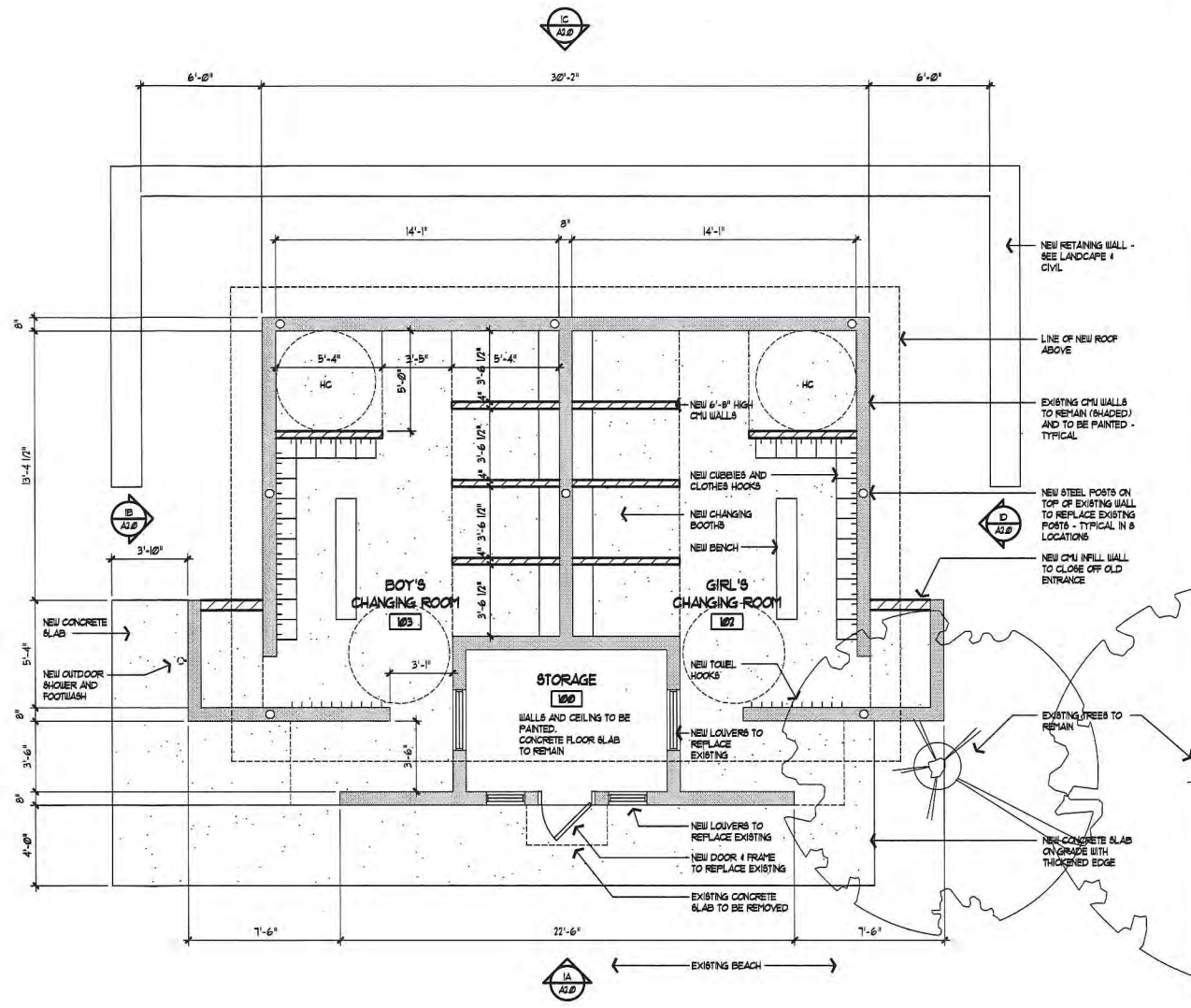
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### BEACH HOUSE ELEVATIONS

1/4" = 1'-0"



### BEACH HOUSE FLOOR PLAN

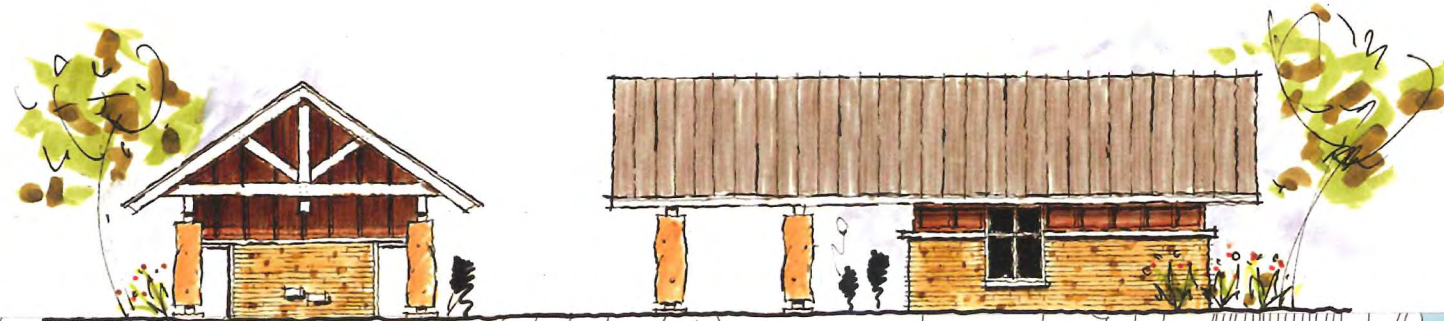


1/4" = 1'-0"

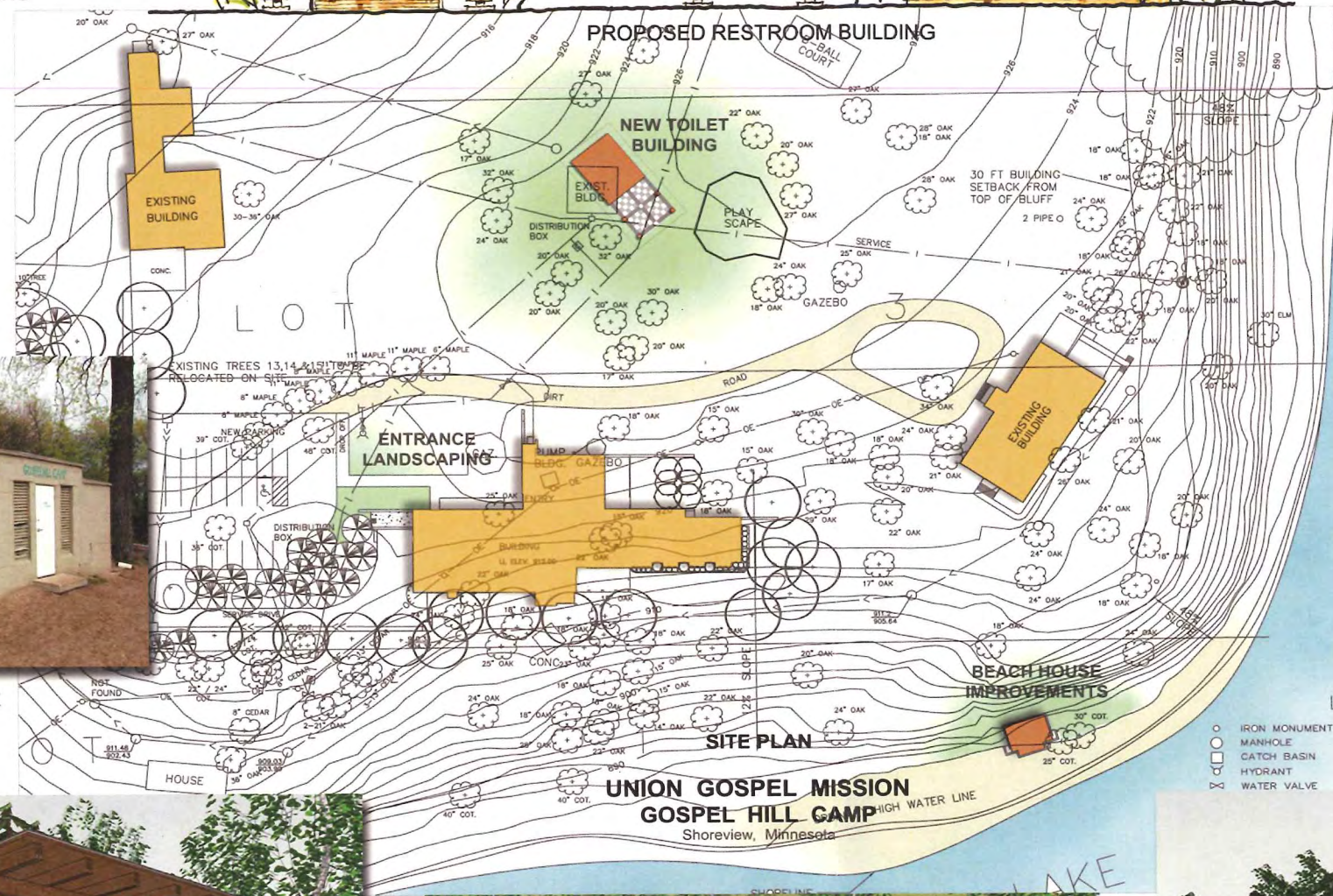




EXISTING RESTROOM BUILDING



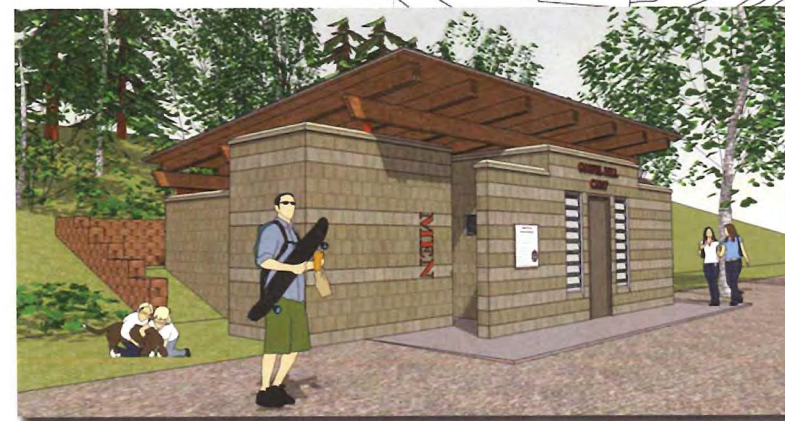
EXISTING RESTROOM BUILDING



EXISTING BEACH HOUSE



EXISTING BEACH HOUSE



PROPOSED BEACH HOUSE IMPROVEMENTS



**UNION GOSPEL MISSION**  
 Gospel Hill Camp & Ministry Center  
 580 West Hwy 96  
 Shoreview, Minnesota 55126

**NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS**

ARCHITECT:



CIVIL & STRUCTURAL ENGINEER:



LANDSCAPE ARCHITECT:



LEGEND

- IRON MONUMENT
- MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

DATE: 06/23/14

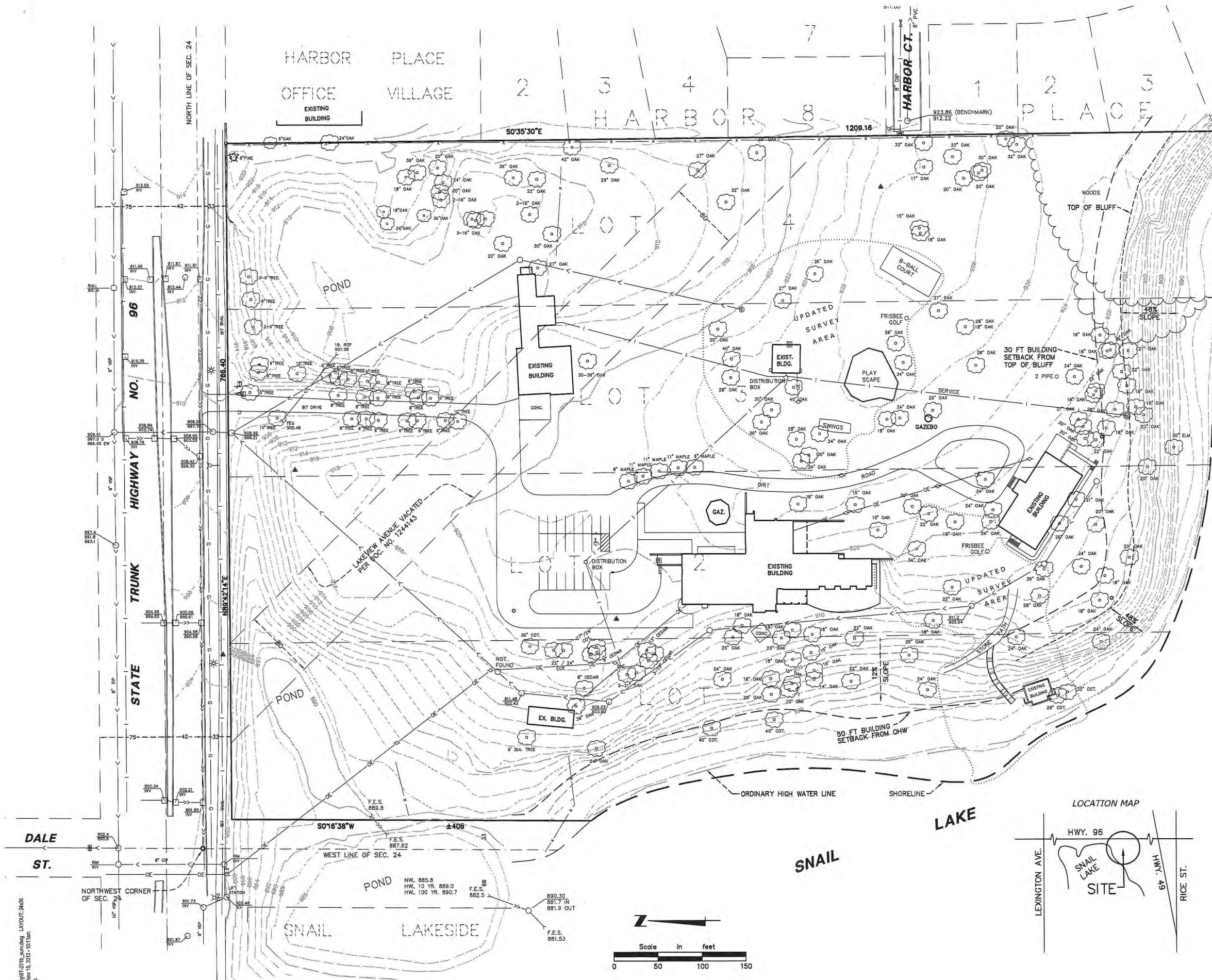
Project No.: 1017.01  
 Date: 6/23/14

SITE PLAN REVIEW SUBMITTAL (6/23/14)  
 NOT FOR CONSTRUCTION

► PROPOSED IMAGES

Sheet Number  
**A3.0**





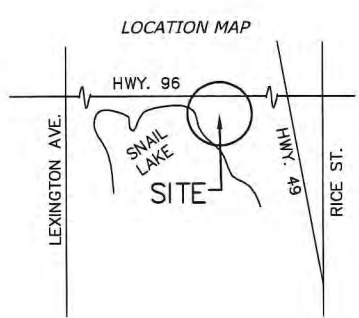
**LEGAL DESCRIPTION:**  
 Lots 1,2,3 & 4, J.F. Eisenminger's Lake Villa, Ramsey County, Minnesota.

- NOTES:**
- The locations of underground utilities were taken from available map and records. The locations are not exact.
  - The approximate area of the property (calculated to the present shoreline) is 812,454 square feet or 18.6514 acres.
  - This survey was prepared without the benefit of title research and may not show all the easements that such research might divulge.
  - The elevation of Snail Lake was 882.5 feet NGVD '29 on November 5, 1997.
  - The Ordinary High Water is 883.7 feet NGVD '29.
  - The property is not currently zoned, it is designated UND - Underdeveloped. No setbacks are associated with the UND designation.
  - Snail Lake is classified General Development Waters for the purpose of shoreland management.
  - Benchmark: Rim of Sanitary Manhole at end of Harbor Court. Elevation = 923.86
  - The 100 year flood elevation is 884.6 feet NGVD '29.

**CERTIFICATION:**  
 I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.  
 Paul Thorp, Land Surveyor  
 Minnesota License Number 13637  
 Date: November 15, 2013

**LEGEND:**

○	IRON MONUMENT	— X —	FENCE
○	MANHOLE	— W —	WATERMAIN
○	CATCH BASIN	— S —	SANITARY SEWER
○	HYDRANT	— SS —	STORM SEWER
○	WATER VALVE	— E —	ELECTRIC
○	LIGHT POLE	— OE —	OVERHEAD ELECTRIC
○	POWER POLE	— T —	TELEPHONE
○	TELEPHONE BOX	— OT —	OVERHEAD TELEPHONE
○	TRANSFORMER	— E —	ELECTRIC
○	ELECTRIC BOX/METER	— G —	GASMAIN
○	SIGN	— TV —	TELEVISION/CABLE
○	GAS METER	○	UPDATED SURVEY AREA
○	WELL		



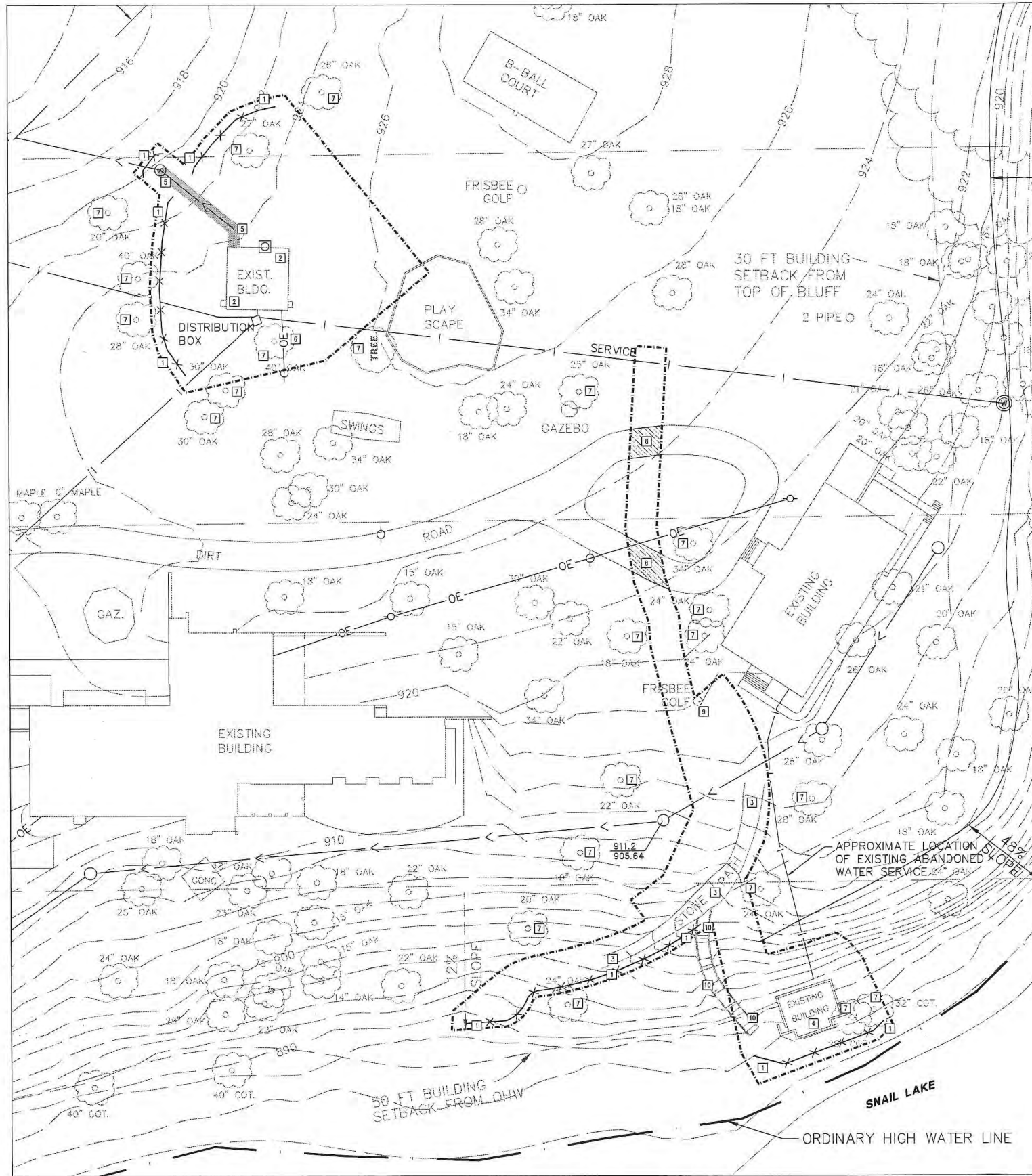
# EXISTING CONDITIONS SURVEY

**UNION GOSPEL MISSION  
 GOSPEL HILL MINISTRY CENTER  
 SHOREVIEW, MINNESOTA**

**HT PO** Engineering · Surveying  
 Landscape Architecture  
**HANSEN THORP PELLINEN OLSON, Inc.**  
 7510 Market Place Drive • Eden Prairie, MN 55344  
 952-828-0700 • 952-828-7606 fax

Revision	
Project No.	97-207B
Drawn by	DRC/JB
Checked by	PAT
Block/Page	N/A
Date	
Client	Union Gospel

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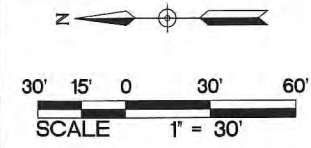


**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	---
SILTATION FENCE	X-X
PROPERTY LINE	- - -
PIPE REMOVAL	▬
DIRT ROAD REMOVAL	▨

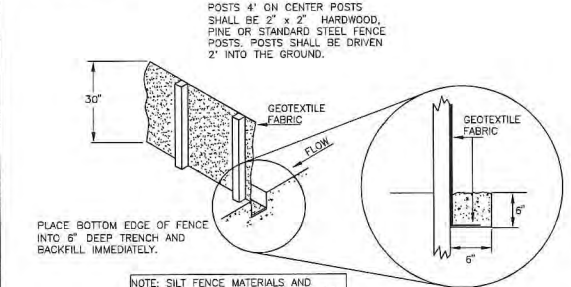
\*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

APPROXIMATE DISTURBED AREA IS 0.75 ACRES



**DEMOLITION AND REMOVAL NOTES:**

1. PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF SHOREVIEW AND RAMSEY WASHINGTON METRO WATERSHED DISTRICT. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT COPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
3. THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
4. PRIOR TO START OF CONSTRUCTION, DISCONNECT ALL GAS AND ELECTRIC SERVICES. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT.
5. ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
6. THE BACKGROUND INFORMATION WAS PREPARED BY HANSEN THORP PELLINEN OLSON, INC. (952)929-0700.



NOTE: SILT FENCE MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF MN/DOT 3886.2

2 SILTATION FENCE  
C1.0 NOT TO SCALE

**ABBREVIATIONS**

BLDG	Building
BK	Branch Mark
BW	Bottom of Wall
CB	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HWL	High Water Level
INV	Invert
LFE	Lower Floor Elevation
MAX	Maximum
MH	Manhole
MIN	Minimum
NIC	Not in Contract
NWL	Normal Water Level
PVC	Polyvinyl Chloride
PCP	Reinforced Concrete Pipe
RCD	Reinforced Concrete Pipe
TW	Top of Wall
W.O.	Washout

**KEYED NOTES**

- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
1. INSTALL SILT FENCE. REFER TO DETAIL 2/C1.0.
  2. REMOVE BUILDING IN ITS ENTIRETY, INCLUDING OVERHANGS, FOOTINGS, AND SMALL UTILITIES. COORDINATE REMOVAL OF SMALL UTILITIES WITH LOCAL UTILITY COMPANIES.
  3. REMOVE EXISTING STONE PATH IN ITS ENTIRETY.
  4. SELECTIVE BUILDING DEMOLITION. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
  5. REMOVE SANITARY SEWER SERVICE FROM EXISTING BUILDING TO THE EXISTING MANHOLE. SANITARY SEWER SERVICE LOCATION SHOWN IS APPROXIMATE. CONTRACTOR SHALL FIELD LOCATE AND CONTACT CIVIL ENGINEER WITH FINDINGS.
  6. REMOVE EXISTING OVERHEAD ELECTRIC LINE. COORDINATE REMOVAL WITH UTILITY OWNER.
  7. EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
  8. REMOVE AND REPLACE PORTION OF DIRT ROAD NECESSARY FOR INSTALLATION OF PROPOSED WATER LINE. COORDINATE REMOVAL WITH UTILITY CONTRACTOR.
  9. REMOVE AND REPLACE DISC GOLF TEE FOR WATER LINE INSTALLATION. INTENT IS TO REUSE EXISTING TEE.
  10. EXISTING CONCRETE STAIRS TO REMAIN, PROTECT AT ALL TIMES.

**EROSION CONTROL NOTES:**

1. ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND WATERSHED DISTRICT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY AND WATERSHED DISTRICT. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
2. ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OR WATERSHED; BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
3. NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY.
4. FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
5. SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
6. SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY OR WATERSHED, THROUGHOUT THE DURATION OF CONSTRUCTION.
7. DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY OR WATERSHED.
8. ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
9. ALL CONSTRUCTION DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 14 DAYS:
  - A. ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
  - B. IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MN/DOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
  - C. IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MN/DOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
  - D. GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
  - E. ALL AREAS THAT WILL NOT BE MOWED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN WILL BE PERMANENTLY RESTORED USING SEED MIXTURE MN/DOT 25-141 AT A RATE OF 59 POUNDS PER ACRE.
  - F. UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MN/DOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
  - G. WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
10. GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E. TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
11. EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ALL LAKES AND PONDS WITHIN OR ADJACENT TO THE AREA TO BE GRADED UNTIL THE AREA TRIBUTARY TO THE LAKE OR POND IS RESTORED.
12. ACCUMULATION OF ALL SEDIMENT OCCURRING IN DITCHES, LAKES, AND PONDS SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
13. EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY AND/OR WATERSHED.

1 DEMOLITION AND EROSION CONTROL PLAN  
C1.0 1"=30'

**UNION GOSPEL MISSION**  
Gospel Hill Camp & Ministry Center  
580 West Hwy 96  
Shoreview, Minnesota 55126

**NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS**

**ARCHITECT:**  
HELLER ARCHITECTS  
1410A SYLVAN STREET  
SAINT PAUL, MN 55117  
T 651.487.8558  
F 651.487.8447

**CIVIL & STRUCTURAL ENGINEER:**  
BKBM ENGINEERS  
5930 BROOKLYN BLVD.  
MINNEAPOLIS, MN 55429  
T 763.843.0420  
F 763.843.0421

**LANDSCAPE ARCHITECT:**  
CALYX DESIGN GROUP, LLC  
1583 BERKELEY AVENUE, STE A  
SAINT PAUL, MN 55105  
T 651.334.4599

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

PRINT NAME: JOEL W. MAIER  
SIGNATURE:  
DATE: xx/xx/xx LICENSE NO: 19181

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Project No.: 14345  
Date: 6/23/14  
Revisions:

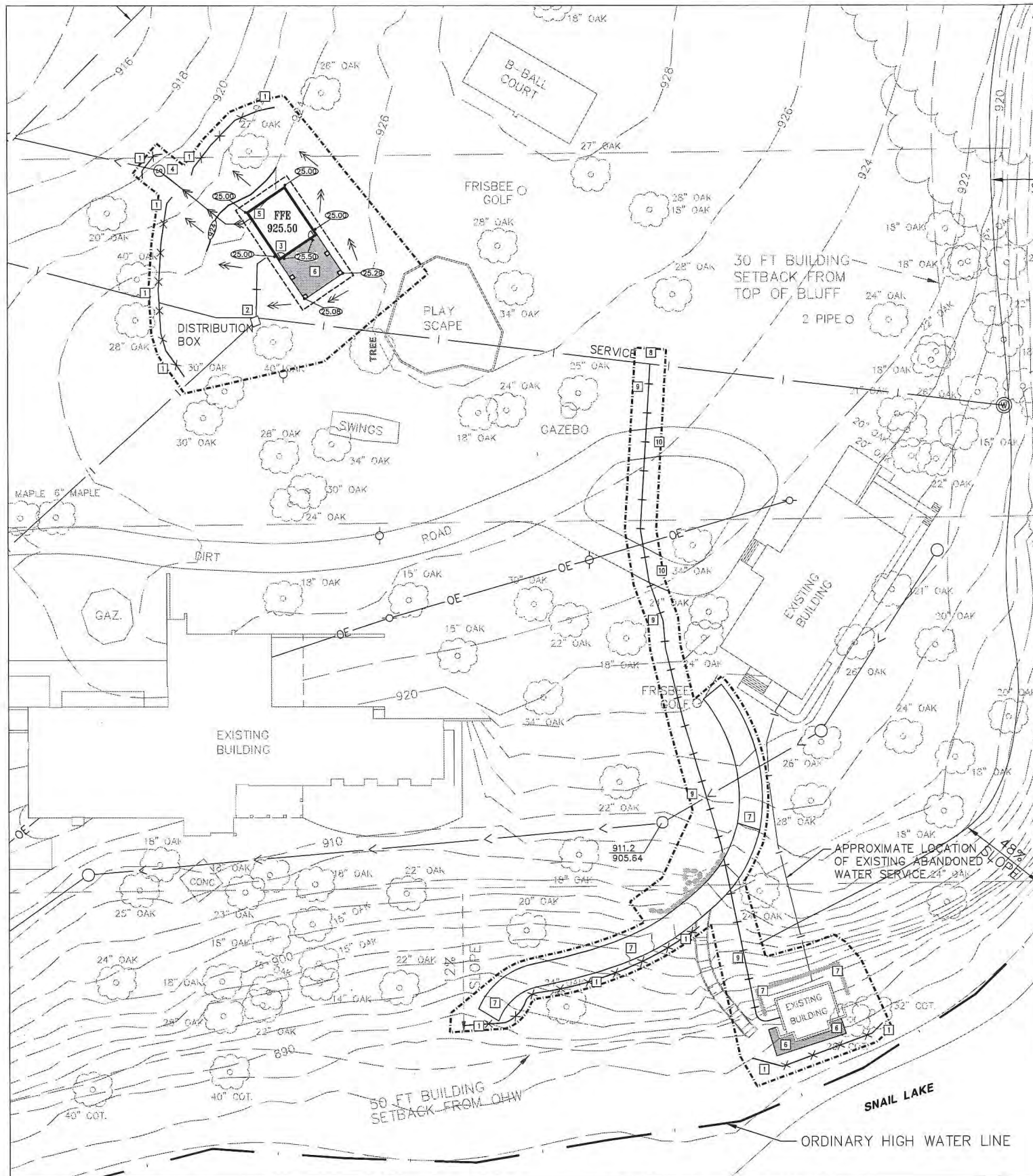
SITE PLAN REVIEW SUBMITTAL (6/23/14)  
NOT FOR CONSTRUCTION

Title  
**DEMOLITION AND EROSION CONTROL PLAN**

Sheet Number

**C1.0**





**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
SANITARY SEWER	---
WATER PIPE	---
SILTATION FENCE	---
CONCRETE PAVEMENT/SIDEWALK	---

**ABBREVIATIONS**

BLDG	Building
BM	Bench Mark
BW	Bottom of Wall
CB	Center Line
CL	Center Line
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HDPE	High Density Polyethylene
INV	Invert
LFE	Lower Floor Elevation
MAX	Maximum
MH	Manhole
MIN	Minimum
NWL	Normal Water Level
PV	Post Indicator Valve
PVC	Polyvinyl Chloride
R	Radius
RCP	Reinforced Concrete Pipe
RED	Reducer
RD	Roof Drain
TW	Top of Wall
Typ.	Typical

**REFER TO SHEET C1.0 FOR EROSION CONTROL NOTES**

**APPROXIMATE DISTURBED AREA IS 0.75 ACRES**

**SCALE 1" = 30'**

- UTILITY NOTES:**
- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
  - ALL SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE ARE TO BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
  - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
  - ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF SHOREVIEW AND RAMSEY COUNTY STANDARDS.
  - ALL WATER SERVICE SHALL BE TYPE K COPPER UNLESS NOTED OTHERWISE.
  - ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
  - PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF SHOREVIEW. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
  - SANITARY SEWER PIPING SHALL BE PVC SCH 40 UNLESS NOTED OTHERWISE.
  - CONTRACTORS ARE TO COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.

- PAVING NOTES:**
- REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
  - INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
  - NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
  - MATCH NEW CONCRETE CURBS AND GUTTER INTO EXISTING. FOLLOW ALL CITY OF SHOREVIEW STANDARDS AND SPECIFICATIONS FOR CURB TYPE, MATERIAL AND INSTALLATION METHODS.
  - NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
  - REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [ ] ON PLAN.
- INSTALL SILT FENCE PER 2/C1.0.
  - CONNECT TO EXISTING WATER PIPE. SIZE AND TYPE OF PIPE IS UNKNOWN. CONTRACTOR SHALL DETERMINE EXISTING PIPE SIZE AND MATERIAL IN FIELD AND CONTACT ENGINEER WITH FINDINGS.
  - STUB WATER SERVICE TO WITHIN 3-Feet OF PROPOSED BUILDING. INTENT IS TO REUSE PORTION OF EXISTING WATER SERVICE. CONTRACTOR SHALL MATCH EXISTING SERVICE SIZE AND MATERIAL FOR BIDDING CONTRACTOR SHALL ASSUME EXISTING SERVICE IS A 2-INCH TYPE K COPPER WATER SERVICE. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - CONNECT PROPOSED 4-INCH SANITARY SEWER SERVICE TO EXISTING SANITARY SEWER MANHOLE. INTENT IS TO REUSE EXISTING SANITARY SEWER SERVICE DOGHOUSE. INVERT ELEVATION OF CONNECTION POINT IS UNKNOWN. CONTRACTOR SHALL DETERMINE INVERT IN FIELD AND CONTACT ENGINEER WITH FINDINGS.
  - INSTALL 67 LINEAR FEET OF 4-INCH SCH 40 PVC PIPE, WITH 2 45 DEGREE BENDS, TO WITHIN 5-Feet OF PROPOSED BUILDING FOR SANITARY SEWER SERVICE CONNECTION. CONTRACTOR SHALL PROVIDE A MINIMUM 1.0% SLOPE. INVERT AT BUILDING CONNECTION SHALL BE 919.00. COORDINATE EXACT LOCATION, SIZE, AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - INSTALL CONCRETE SLAB/PATIO AREA. REFER TO ARCHITECTURAL PLAN DETAILS.
  - REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR GRADING AND TIMBER STAIRS IN THIS AREA.
  - WET TAP EXISTING WATER LINE FOR PROPOSED 1-INCH TYPE K COPPER WATER SERVICE.
  - INSTALL 1-INCH TYPE K COPPER WATER SERVICE TO EXISTING BATH HOUSE FOR FOOT WASH AND DRINKING FOUNTAIN. INTENT IS TO REPLACE EXISTING ABANDONED WELL WATER SERVICE. LOCATION OF PROPOSED SERVICE IS APPROXIMATE. INTENT IS TO AVOID DAMAGE/REMOVAL OF EXISTING TREES. IF REMOVAL OF TREE APPEARS NECESSARY CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY. COORDINATE INSTALLATION OF SERVICE UNDER PROPOSED RETAINING WALL WITH RETAINING WALL DESIGNER.
  - REPLACE EXISTING CLASS 5 ROAD REMOVED FOR UTILITY INSTALLATION TO MATCH EXISTING CONDITIONS.

- GRADING NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
  - THE BACKGROUND INFORMATION WAS PREPARED BY HANSEN THORP PELLINER OLSON, INC. (952)829-0700.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher One at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
  - PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
  - NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
  - ALL SPOT ELEVATIONS SHOWN AS 25.29, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 925.29.
  - NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
  - PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
  - PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY AND WATERSHED WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES.
  - ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
  - THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
  - ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
  - IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
  - WINTER MULCHING:
    - SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
    - FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
  - THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

**UNION GOSPEL MISSION**  
 Gospel Hill Camp & Ministry Center  
 580 West Hwy 96  
 Shoreview, Minnesota 55126

**NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS**

**ARCHITECT:**  
 HELLER ARCHITECTS INC.  
 1410A SYLVAN STREET  
 SAINT PAUL, MN 55117  
 T 651.487.8558  
 F 651.487.8447

**CIVIL & STRUCTURAL ENGINEER:**  
 BKBM ENGINEERS  
 2500 BROOKLYN BLVD.  
 MINNEAPOLIS, MN 55429  
 T 783.843.0420  
 F 783.843.0421

**LANDSCAPE ARCHITECT:**  
 CALYX DESIGN GROUP, LLC  
 1563 BERKELEY AVENUE, SUITE A  
 SAINT PAUL, MN 55105  
 T 651.334.6488

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**PRINT NAME:** JOEL W. MAIER  
**SIGNATURE:**  
**DATE:** xx/xx/xx **LICENSE NO.:** 19181

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**Project No.:** 14345  
**Date:** 6/23/14  
**Revisions:**

**SITE PLAN REVIEW SUBMITTAL (6/23/14)**  
 NOT FOR CONSTRUCTION

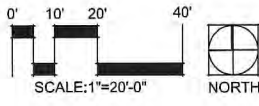
**Title**  
**GRADING, PAVING, AND UTILITY PLAN**

Sheet Number

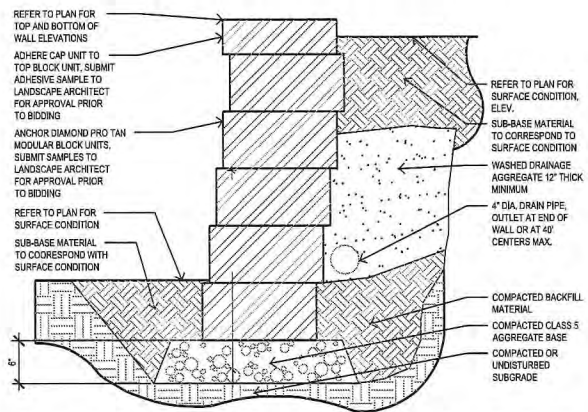
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**1 GRADING, PAVING, AND UTILITY PLAN**  
 C2.0 1"=30'



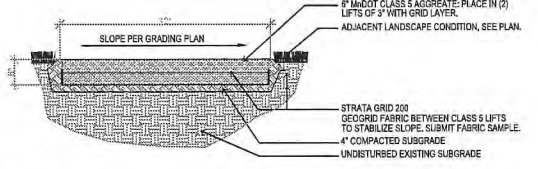


**PRELIMINARY LANDSCAPE PLAN - EX. LAKE ACCESS AREA**

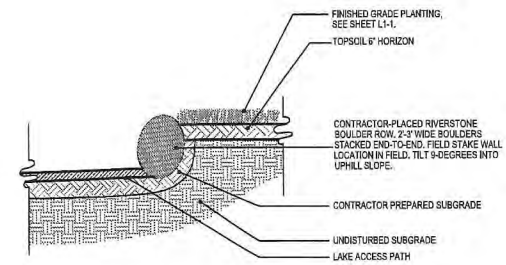


NOTE: WALL BLOCK MANUFACTURER SHALL BE RESPONSIBLE FOR GENERATING AND SUBMITTING STRUCTURAL WALL DESIGN SIGNED BY A MN LICENSED ENGINEER, BUILD ACCORDING TO THE WALL ENGINEER'S INSTRUCTIONS.

**1** MODULAR BLOCK WALL  
SCALE: 1/2" = 1'-0"



**2** SECTION AT GRAVEL LAKE ACCESS PATH  
SCALE: NTS



**3** SECTION @ FIELDSTONE BOULDER RETAINING WALL  
NOT TO SCALE

**DETAILS, NOTES, AND SCHEDULES:**

**Landscape Notes:**

1. Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
13. The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. An irrigation system is not required.
18. All edger shall be professional grade black edger, 5" Professional Grade Polyethylene or Equal. Anchor every 18" on-center (minimum). Submit sample.
19. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
20. Unless otherwise noted/indicated, plant beds shall receive 4" depth of riverstone rock mulch over fabric weed mat, per detail. Submit mulch sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses.
21. Rock mulch areas shall be 3/8-1/2 inch washed riverstone rock. Install per detail. Submit mulch sample for approval.
22. All planting and sodded areas shall be prepared prior to installation activities with a half power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
23. Sodding/Seeding of turf areas shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2007 edition, for turf bed preparation, installation, maintenance, and warranty.
24. The Landscape Contractor shall obtain necessary permits to remove trees from the City of Shoreview. Also, work in the city right-of-way shall require city approval prior to work commencement.
25. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted in the plan set, including the stumps to 30" below grade.
26. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
27. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
28. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped areas conditions, staging areas, irrigation connection to building, etc.
29. See Site and Civil plans for additional information regarding the project.
30. All sub-cut areas of the site that are designated on the site plan as open space for landscape shall have no less than 4" of imported, pulverized planting. Slope away from building.
31. Turf Seeding where noted shall be MnDOT 260 seed at 60lbs per acre.
32. Contractor shall include all required removals of existing material, sub-cutting, site preparation, new materials, and installation in their bid.

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1410A SYLVAN STREET  
SAINT PAUL, MN 55117  
T 651.487.8559  
F 651.487.8447

CIVIL & STRUCTURAL ENGINEER:  
  
BKBM ENGINEERS  
5520 BROOKLYN BLVD.  
MINNEAPOLIS, MN 55429  
T 763.843.0420  
F 763.843.0421

LANDSCAPE ARCHITECT:  
  
Calyx Design Group, llc  
Landscape Architecture  
Sustainable Design  
Master Planning  
1583 Berkeley Avenue, Ste. A | St. Paul, MN 55105  
telephone: 651.334.5498  
Internet: www.calyxdesigngroup.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

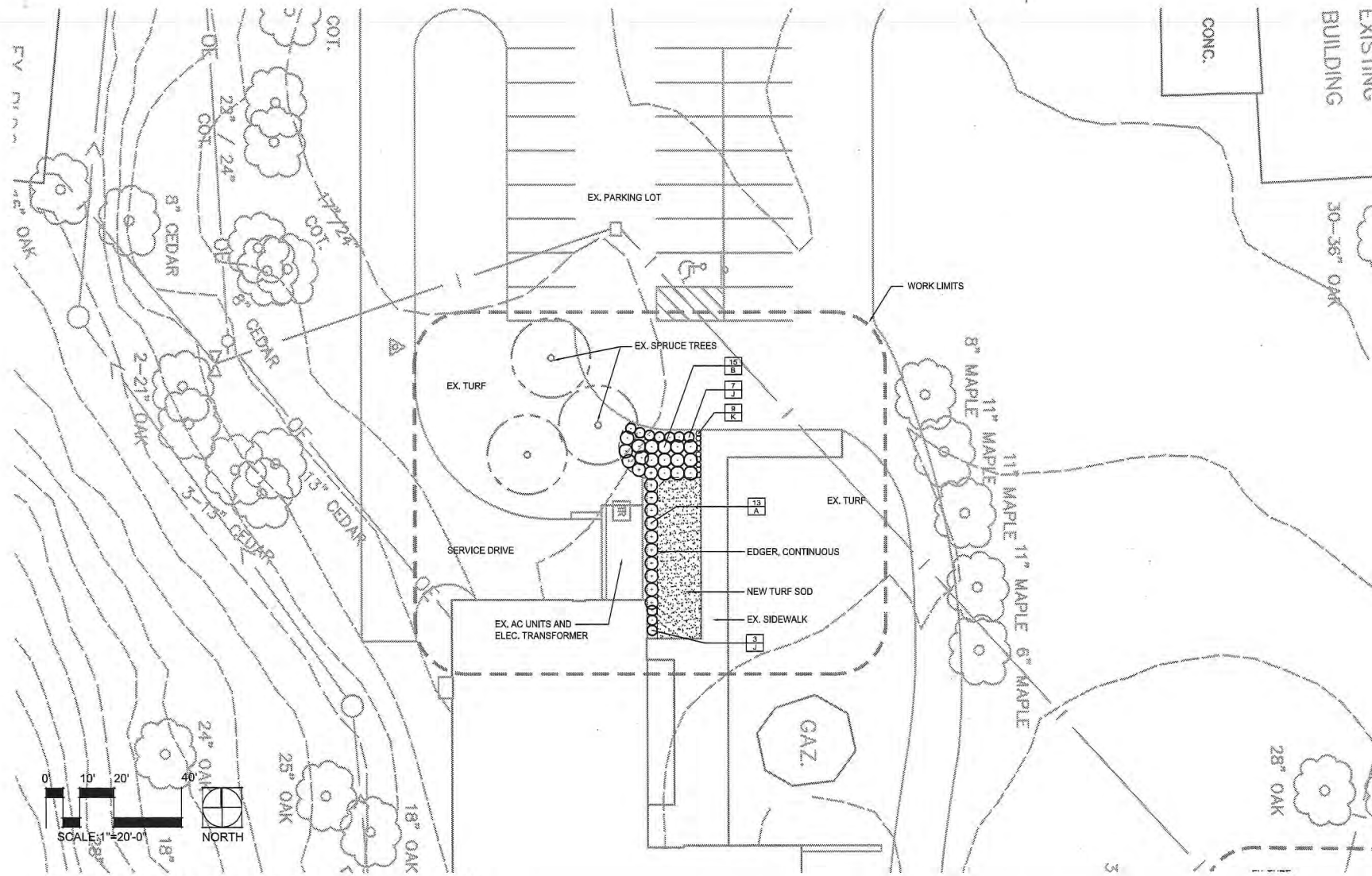
PRINT NAME: BENJAMIN D. HARTBERG, ASLA  
SIGNATURE: \_\_\_\_\_  
DATE: --/--/-- LICENSE NO: ----

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Project No.: 1017.01  
Date: 06/23/14  
Revisions:

NOT FOR CONSTRUCTION  
Title  
▶ EX. LAKE ACCESS IMPROVEMENTS LANDSCAPE PLAN

Sheet Number  
**L1.1**



PRELIMINARY LANDSCAPE PLAN -FRONT ENTRY

**Planting Palette:**

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
13	A	<i>Juniperus scopulorum</i> 'Welchii'	Welchii Juniper	#10	FOT	Full Form
15	B	<i>Artemisia melanocarpa</i> 'Morten'	Inyoensis Beauty Chokeberry	#5	FOT	

**SHRUBS:**

Qty.	Key	Scientific Name	Common Name	Size	Root	Notes
3	J	<i>Calamagrostis x acutiflora</i> 'Karl Forester'	Feather Reed Grass	#1	FOT	
0	K	<i>Nepeta x faassenii</i> 'Walkers Low'	Walkers Low Catmint	#1	FOT	

**PERENNIALS:**

**Landscape Notes:**

- Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinances. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- An irrigation system is not required.
- All edger shall be professional grade black edger, 5" Professional Grade Polyethylene or Equal. Anchor every 18" on-center (minimum). Submit sample.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Unless otherwise noted/indicated, plant beds shall receive 4" depth of riverstone rock mulch over fabric weed mat, per detail. Submit mulch sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses.
- Rock mulch areas shall be 3/8-1/2 inch washed riverstone rock. Install per detail. Submit mulch sample for approval.
- All planting and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
- Sodding/Seeding of turf areas shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2007 edition, for turf bed preparation, installation, maintenance, and warranty.
- The Landscape Contractor shall obtain necessary permits to remove trees from the City of Shoreview. Also, work in the city right-of-way shall require city approval prior to work commencement.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted in the plan set, including the stump to 30" below grade.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building.
- See Site and Civil plans for additional information regarding the project.
- All sub-cut areas of the site that are designated on the site plan as open space for landscape shall have no less than 4" of imported, pulverized planting. Slope away from building.

**UNION GOSPEL MISSION**

Gospel Hill Camp & Ministry Center  
580 West Hwy 96  
Shoreview, Minnesota 55126

**NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS**

**ARCHITECT:**



HELLER ARCHITECTS INC.  
1410A Sylvania Street  
Saint Paul, MN 55117  
T 651.487.8554  
F 651.487.6447

**CIVIL & STRUCTURAL ENGINEER:**



BKBM ENGINEERS  
5803 BROOKLYN BLVD.  
MINNEAPOLIS, MN 55429  
T 763.843.0420  
F 763.843.0421

**LANDSCAPE ARCHITECT:**



**Calyx Design Group, llc**  
Landscape Architecture  
Sustainable Design  
Master Planning

1583 Berkeley Avenue, Ste. A | St. Paul, MN 55105  
Telephone: 651.334.5495  
Internet: www.calyxdesigngroup.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

PRINT NAME: BENJAMIN D. HARTBERG, ASLA

SIGNATURE:

DATE: --/--/-- LICENSE NO: -----

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Project No.: 1017.01  
Date: 06/23/14  
Revisions:

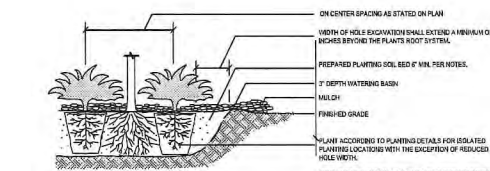
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Title

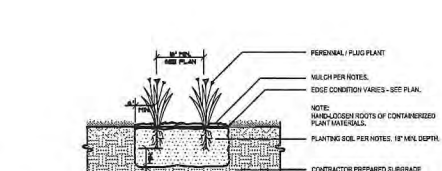
**FRONT ENTRY LANDSCAPE PLAN**

Sheet Number

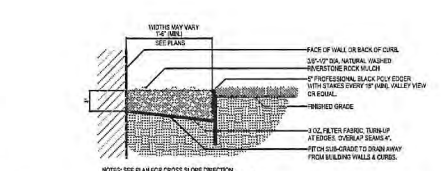
**L1.2**



1 TYP. SHRUB PLANTING - SECTION  
L1.2 NOT TO SCALE



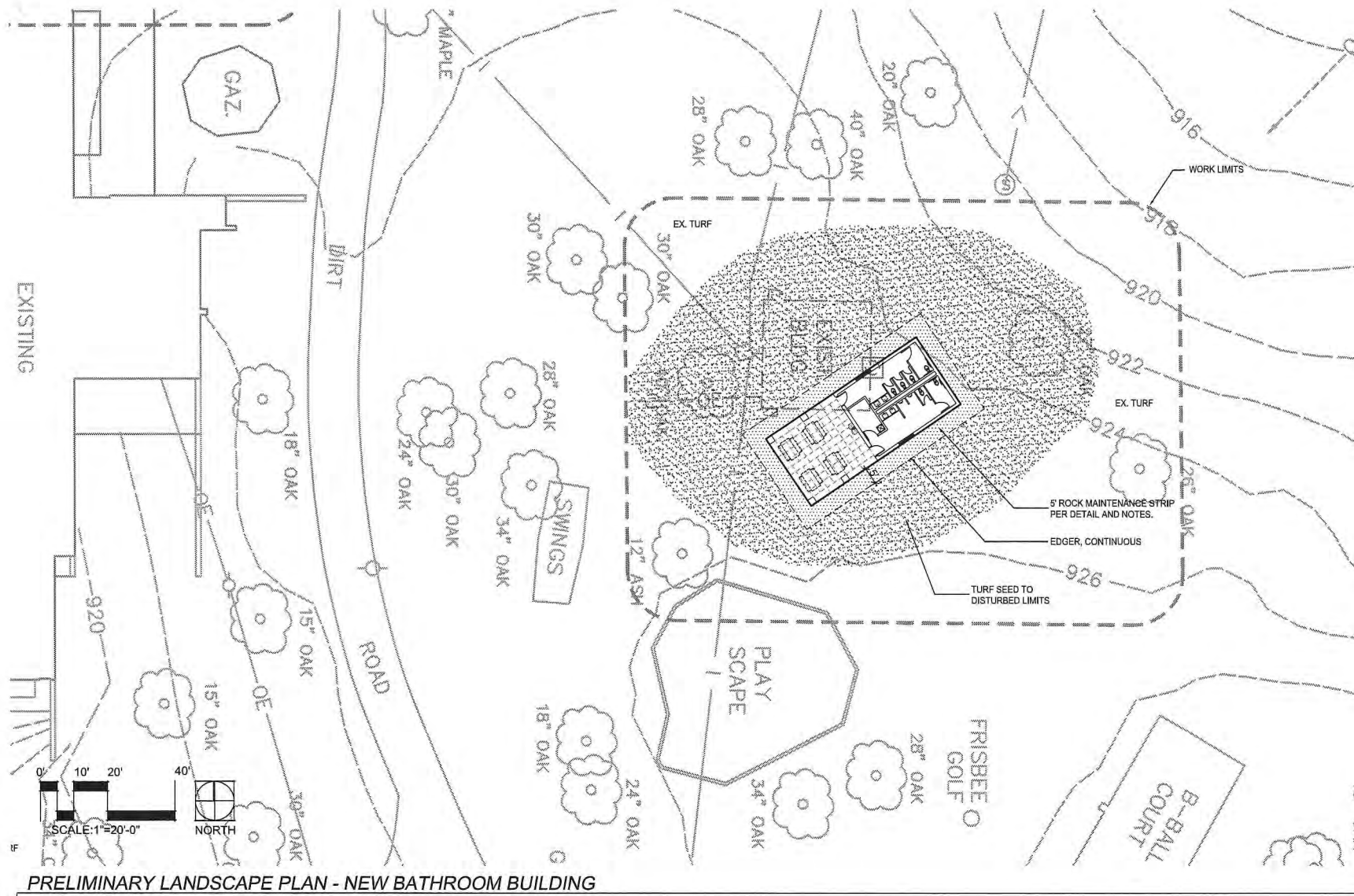
2 TYP. PERENNIAL PLANTING DETAIL  
L1.2 NOT TO SCALE



3 MINERAL MULCH MAINTENANCE STRIP  
L1.2 NOT TO SCALE

**DETAILS, NOTES, AND SCHEDULES:**





PRELIMINARY LANDSCAPE PLAN - NEW BATHROOM BUILDING

**Landscape Notes:**

1. Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
11. Contractor shall establish to his/her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
13. The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall provide adequate tree wrap and desiccant protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. An irrigation system is not required.
18. All edger shall be professional grade black edger, 5" Professional Grade Polyethylene or Equal. Anchor every 18" on-center (minimum). Submit sample.
19. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
20. Unless otherwise noted/indicated, plant beds shall receive 4" depth of riverstone rock mulch over fabric weed mat, per detail. Submit mulch sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses.
21. Rock mulch areas shall be 3/8-1/2 inch washed riverstone rock. Install per detail. Submit mulch sample for approval.
22. All planting and sodded areas shall be prepared prior to installation activities with a harrow power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
23. Sodding/Seeding of turf areas shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2007 edition, for turf bed preparation, installation, maintenance, and warranty.
24. The Landscape Contractor shall obtain necessary permits to remove trees from the City of Shoreview. Also, work in the city right-of-way shall require city approval prior to work commencement.
25. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted in the plan set, including the stump to 30" below grade.
26. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
27. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
28. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
29. See Site and Civil plans for additional information regarding the project.
30. All sub-cut areas of the site that are designated on the site plan as open space for landscape shall have no less than 4" of imported, pulverized planting. Slope away from building.
31. Turf Seeding where noted shall be MnDOT 260 seed at 60lbs per acre.

**UNION GOSPEL MISSION**

Gospel Hill Camp & Ministry Center  
580 West Hwy 96  
Shoreview, Minnesota 55126

**NEW RESTROOM BUILDING & BEACH HOUSE IMPROVEMENTS**

**ARCHITECT:**



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1410A Sykes Street  
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T 651.487.8558  
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5930 BROOKLYN BLVD.  
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telephone: 651.334.5469  
internet: www.calyxdesigngroup.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

PRINT NAME: BENJAMIN D. HARTBERG, ASLA

SIGNATURE:

DATE: --/--/-- LICENSE NO: -----

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Project No.: 1017.01

Date: 06/23/14

Revisions:

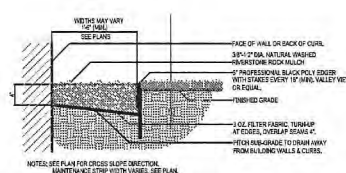
**NOT FOR CONSTRUCTION**

Title

**BATHROOM BLDG  
LANDSCAPE PLAN**

Sheet Number

**L1.3**



1 MINERAL MULCH MAINTENANCE STRIP  
L1.3 NOT TO SCALE

**DETAILS, NOTES, AND SCHEDULES:**



---

## Union Gospel Mission

---

wigglda@comcast.net <wigglda@comcast.net>  
To: kcastle@shoreviewmn.gov

Tue, Jul 8, 2014 at 7:51 AM

I have no problems with the planned improvements at the Union Gospel Mission site. My name is Diane Wigglesworth at 640 Highway 96 W, Shoreview MN.

File No. 2533-14-23 – Union Gospel Mission  
580 Highway 96

Comments:

We have no objections or concerns regarding the proposed project. It appears to be a beneficial improvement to the property.

Thank you for this opportunity to comment.

Name: David + Kirsten Bornus  
DAVID + KIRSTEN BORNUS  
Address: 614 ARNER AVE.

**PROPOSED MOTION  
TO APPROVE**

**MOVED BY COMMISSION MEMBER** \_\_\_\_\_

**SECONDED BY COMMISSION MEMBER** \_\_\_\_\_

To recommend the City Council approve the Site and Building Plan Review submitted by Heller Architects, Inc. on behalf of the Union Gospel Mission for site improvements at 580 Highway 96 and include reconstructing the restroom building, improving access, enhancing the existing beach house and installing landscaping along the entry driveway. Approval is contingent upon the following:

- 1) The property shall be developed in accordance with the plans submitted and dated June 23, 2014. The beach house shall be earth tone in color.
- 2) Final grading, drainage and erosion control plans are subject to the review and approval by the Public Works Director.
- 3) The plans shall be revised to include tree protection measures for the trees which will be retained in the area of the proposed restroom building.
- 4) Final utility plans are subject to review and approval by the Public Works Director.
- 5) The items identified in the Memo dated July 14, 2014 from the City Engineer must be addressed prior to the issuance of a building permit.
- 6) A Site Development Agreement and Erosion Control Agreement, including the submittal of financial sureties, shall be executed prior to issuing a building permit or commencing work on the site

Said approval is based on the following findings of fact:

- 1) The use and proposed improvements are consistent with the Comprehensive Plan.
- 2) The use and proposed improvements comply with the Development Code and approved Planned Unit Development.

**VOTE:**

**AYES:**

**NAYS:**

Regular Planning Commission Meeting  
July 22, 2014

**TO:** Planning Commission  
**FROM:** Rob Warwick, Senior Planner  
**DATE:** July 17, 2013  
**SUBJECT:** Residential Design Review: Jim and Kerry Meyer, 919 Oakridge Avenue, File No. 2532-14-22

## **INTRODUCTION**

Jim and Kerry Meyer have submitted a Residential Design Review application for property located at 919 Oakridge Avenue. The property is a substandard riparian lot located on Turtle Lake.

The applicants propose an addition of about 220 square feet to the attached garage, and a new entry area. With the addition, the existing roof of the garage will be removed and living area will be added above the enlarged garage. The application was complete July 8, 2013.

## **PROJECT DESCRIPTION**

The subject property is a substandard riparian lot located in the R1 - Detached Residential District on the south side of Turtle Lake. The lot area is 25,788 square feet, and lot width of 68 feet. The property is developed with a 2-story house, attached garage, driveway, and a shed on the lakeside of the house.

The garage will be enlarged from the existing 24.55 by 20.24 feet (497 sq. ft.) to 26 by 24 feet (624 sq. ft.), an entry area of about 60 sq. ft. will also be added on the front of the house. The roofline of the area above the expanded garage will be altered to accommodate living area on the second floor. A sidewalk with a pergola will be installed along the east side of the garage, and will aid in defining the new front entry. See the attached plans.

## **DEVELOPMENT CODE REQUIREMENTS**

The Development Ordinance requires residential construction on substandard riparian lots to comply with certain design standards.

The minimum front and OHW setbacks are calculated based on the setbacks of the houses on the adjoining parcels. The proposed setback from the street complies with Code requirements.

The proposed house and garage also comply with the minimum side setbacks. The proposed second floor living area of the house is located about 10.5 feet from the west side lot line, and the garage is setback 7.9 feet from that same side lot line.

The proposed project also complies with the adopted design standards, as shown in the table below.

<b>Standard</b>	<b>Allowed</b>	<b>Proposed</b>
<b>Lot Coverage</b>	7,895 square feet Existing (30.6%)	7,474 square feet (29%)
<b>Building Height</b>	35 feet	20.4 feet
<b>Foundation Area</b>	4,642 square feet (18% of lot area)	2,557 square feet (9.9 %)
<b>Setbacks</b>		
<b>Front</b>	125.68 feet	226.19 feet
<b>OHW (Lake)</b>	50 feet	No Change to existing 56.7 feet
<b>Side</b>	10 feet – Living Area 5 feet – Accessory/Garage Area	10.5 feet west side 7.9 feet west side
<b>Architectural Mass</b>	Encourage use of natural colors/materials, landscaping.	Red siding, white trim to match existing exterior

The staff has reviewed the proposal and found that the proposed addition has been designed in accordance with the design standards.

**SHORELAND MITIGATION**

In accordance with the Development Code, shoreland mitigation is required of property owners who are seeking certain land use approvals through the City. The applicants have identified two practices, reduction in impervious surface and infiltration.

The applicants will install a 205 sq. ft. sidewalk using pervious pavers, and the sidewalk will be designed to capture and infiltrate runoff from the garage and house roof. The applicants are currently developing the gutter system plan that will determine the area of roof from which runoff will be directed to the pavers. The reduction in impervious is credited using 50% of the area of the pervious sidewalk and the roof area. The design for the pervious sidewalk is subject to review by the City Engineer.

The reduction in impervious surface must be a minimum of 5% of existing impervious, or 395 square feet. If the roof area is not sufficient, the applicants will remove a one-foot wide length of the asphalt driveway.

The applicants are required to enter into a Mitigation Agreement with the City.

**COMMENTS**

Property owners within 150 feet of the parcel were notified of this request. No written comments have been submitted.



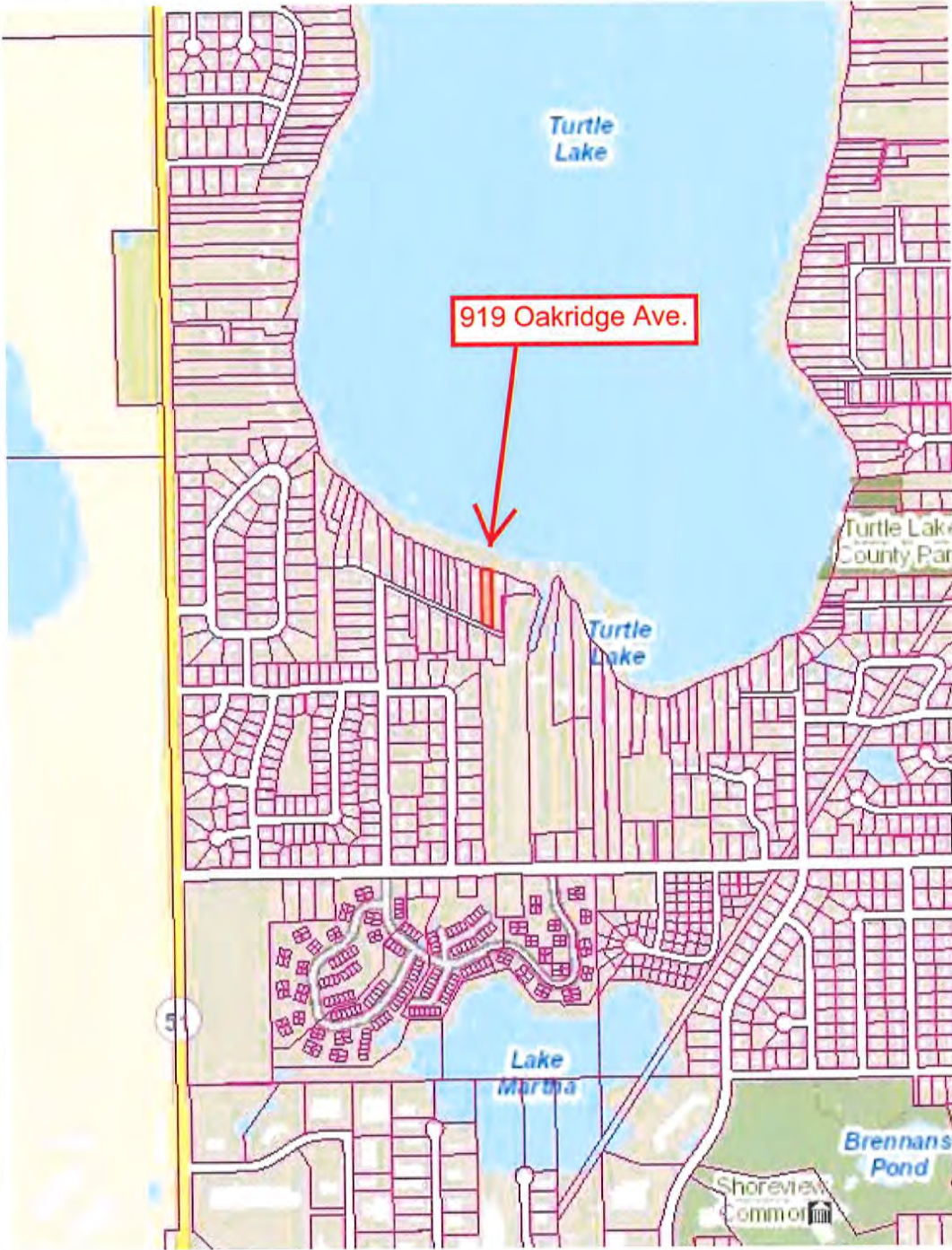
**STAFF RECOMMENDATION**

Staff recommends approval of the Residential Design Review for the project, as the proposal complies with the adopted standards, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Residential Design Review application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. Impervious surface coverage shall not exceed 29% of the total lot area as a result of this project. Foundation area shall not exceed 18%.
4. The design plans for the pervious sidewalk are subject to the review and approval of the City Engineer prior to installation.
5. An erosion control plan shall be submitted with the building permit application and implemented during construction of the improvements.
6. A Mitigation Affidavit shall be executed prior to the issuance of a building permit for the addition.
7. A building permit must be obtained before any grading or construction activity begins.
8. This approval is subject to a 5-day appeal period.

Attachments:

- 1) Location Map
- 2) Submitted plans
- 3) Comments
- 4) Proposed Motion



### Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

2,080.4      0      1,040.22      2,080.4 Feet



1: 12,483

NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet

© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes

Enter Map Description





**KEMPER & ASSOCIATES INC.**  
PROFESSIONAL LAND SURVEYORS

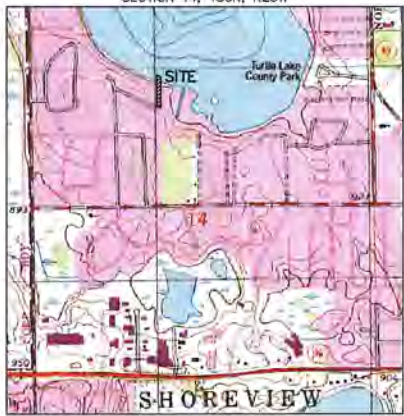
721 OLD HIGHWAY B N.W.  
NEW BRIGHTON, MINNESOTA 55112  
651-631-6351  
FAX 651-631-8805  
email: kempersurvey@comcast.net  
www.kempersurvey.com

**THE MEYER RESIDENCE**  
**919 OAKRIDGE AVENUE**  
CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA

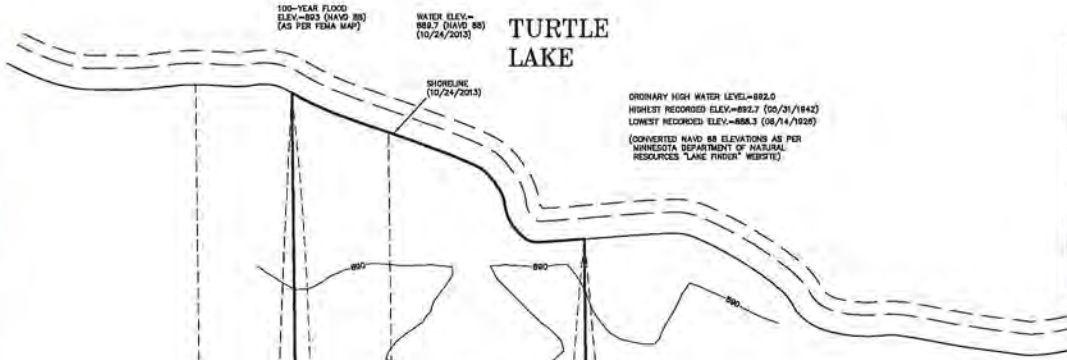
(SEE LEGAL DESCRIPTION BELOW)

1" HIGH EQUALS 20 FEET  
BASIS FOR BEARINGS:  
RAMSEY COUNTY  
COORDINATE SYSTEM  
(NAD 83, 1983)  
BASIS FOR ELEVATION:  
NAVD 88  
(NA REAL TIME GPS  
MEASUREMENTS UTILIZING  
MINNESOTA DEPARTMENT  
OF TRANSPORTATION  
VLS NETWORK)  
CONTOUR INTERVAL=1 FOOT

SECTION 14, T30N, R23W



VICINITY MAP  
(NO SCALE)



NORTH SIDE OF 919 OAKRIDGE AVENUE  
CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA



VIEW OF TURTLE LAKE FROM 919 OAKRIDGE AVENUE

**LEGAL DESCRIPTION**

WARRANTY DEED DOC. NO. 4369487  
The East 1/2 of Lot 14 and all of Lot 15,  
Oak Ridge, according to the recorded plat  
thereof on file and of record in the office  
of the County Recorder, Ramsey County,  
Minnesota

**AREA SUMMARY**

PROPERTY AREA = ±25,788 SQ. FT. OR ±0.59 ACRES  
EXISTING HOUSE FOOTPRINT = 2,237 SQ. FT.  
EXISTING SHED FOOTPRINT = 104 SQ. FT.  
REMAINING BITUMINOUS DRIVEWAY = 4,698 SQ. FT.  
EXISTING CONCRETE PATIO & WALK = 518 SQ. FT.  
EXISTING TIMBER STEPS = 101 SQ. FT.  
PROPOSED GARAGE & ENTRY ADDITION = 322 SQ. FT.  
PROPOSED WALK = 205 SQ. FT.  
TOTAL PROPOSED IMPERVIOUS SURFACE COVERAGE =  
6,196 SQ. FT. (21.7% OF PROPERTY AREA TO  
ORDINARY HIGH WATER LEVEL)

NOTE: AREA BETWEEN SIDE PROPERTY  
LINES (EXTENDED) FROM ORDINARY  
HIGH WATER LEVEL TO SHOULDERLINE OF  
TURTLE LAKE = 87,364 SQ. FT.

NOTE: EXCESS HARDWOOD TO BE  
REMOVED BY RECONFIGURING  
EXISTING BITUMINOUS DRIVEWAY

**ZONING REQUIREMENTS**

ZONED BY DETACHED RESIDENTIAL DISTRICT  
SUBJECT TO FLOOD PLAIN MANAGEMENT ORDINANCE  
SUBJECT TO SHORELAND MANAGEMENT

MINIMUM LOT AREA - 15,000 SQ. FT. (R1)  
15,000 SQ. FT. (SHORE)

MINIMUM LOT WIDTH - 75 FEET (R1)  
100 FEET (SHORE)

MINIMUM LOT DEPTH - 125 FEET (R1)

MAXIMUM LOT COVERAGE - 40% (R1)

MAXIMUM IMPERVIOUS SURFACE AREA - 25% (SHORE)

MAXIMUM HEIGHT - 35 FEET (R1)

BUILDING SETBACKS:  
FRONT - 25 FEET MINIMUM/40 FEET MAXIMUM (R1)  
SIDE - 10 FEET (R1)  
ORDINARY HIGH WATER LEVEL - 80 FEET (S)

ACCESSORY STRUCTURES:  
MAXIMUM AREA - 1,000 SQ. FT. OR ONE OF  
CHANGING UNIT FLOORING AREA, WHICHEVER IS MORE  
RESTRICTIVE (ATTACHED)  
- 750 SQ. FT. OR 75% OF TOTAL  
CHANGING UNIT FLOORING  
AREA, WHICHEVER IS MORE  
RESTRICTIVE (DETACHED)

WHEN THERE IS AN ATTACHED TWO-CAR  
GARAGE OR LARGER ON THE PROPERTY, THE  
TOTAL AREA OF ALL DETACHED ACCESSORY  
STRUCTURES SHALL NOT EXCEED 150 SQ. FT.  
(PARCELS LESS THAN 1 ACRE)

SIDE YARD SETBACK - 8 FEET

MAXIMUM HEIGHT - 18 FEET AS MEASURED FROM  
THE HIGHEST ROOF FRAK TO  
THE LOWEST FINISHED GRADE,  
HOWEVER, IF NO CASE SHALL  
THE HEIGHT OF THE  
ACCESSORY STRUCTURE  
EXCEED THE HEIGHT OF THE  
Dwelling UNIT

SIDEWALKS CANNOT EXCEED 10 FEET

STORAGE AREAS ARE PERMITTED ABOVE THE  
MAIN FLOOR PROVIDED THEY DO NOT EXCEED  
AN INTERIOR HEIGHT OF 8 FEET

MAXIMUM NUMBER OF DETACHED ACCESSORY  
STRUCTURES = 2  
(AS PER CITY OF SHOREVIEW ZONING CODE)

**LEGEND**

- EXISTING CONTOUR LINE
- KB88.84 EXISTING SPOT ELEVATION
- SSM SANITARY SEWER MAINLINE
- PP POWER POLE
- TH-C FIRE HYDRANT
- WV WATER VALVE
- EM ELECTRIC METER
- CM CAS METER
- AC AIR CONDITIONER
- MB MAIL BOX
- SL SIGN
- CL CHAIN LINK FENCE
- WF WOOD FENCE
- OU OVERHEAD UTILITY LINES
- SS SANITARY SEWER
- W WATER MAIN/SERVICE
- DEVIATED DIMENSION MEASURED DURING THE COURSE OF THIS SURVEY
- (M) DIMENSION AS PER PLAT OF CMR PLATS
- (R) DIMENSION SET SURVEY MONUMENT MARKED "KEMPER 18407"

NOTE: A PREVIOUS SURVEY OF THE  
SUBJECT PROPERTY BY WALTER  
CARLEY (PLS 800) WAS USED AS  
A REFERENCE FOR THIS SURVEY



PREPARED FOR:  
KERRY MEYER  
919 OAKRIDGE AVENUE  
SHOREVIEW, MN 55128  
651-604-0766



CERTIFICATION  
I HEREBY CERTIFY THAT THIS SURVEY, PLAN,  
OR REPORT WAS PREPARED BY ME OR  
UNDER MY DIRECT SUPERVISION AND THAT  
I AM A DULY LICENSED PROFESSIONAL LAND  
SURVEYOR UNDER THE LAWS OF THE STATE  
OF MINNESOTA.  
*Mark D. Kemper*  
MARK D. KEMPER, PLS 18407  
DATED THIS 22nd DAY OF JULY, 2014

**CERTIFICATE OF SURVEY**

13231 (1/22/12) DLR TROD HOLM REVISED FOR CITY COMMENTS 07/09/2014





**BRICK HOUSE ARCHITECTS**  
 CLAIRIDGE & FALK  
 818 W 46TH ST SUITE 204  
 MINNEAPOLIS, MN 55419  
 TEL (612) 859-7884  
 www.brickhousearchitects.com

# The Meyer Residence

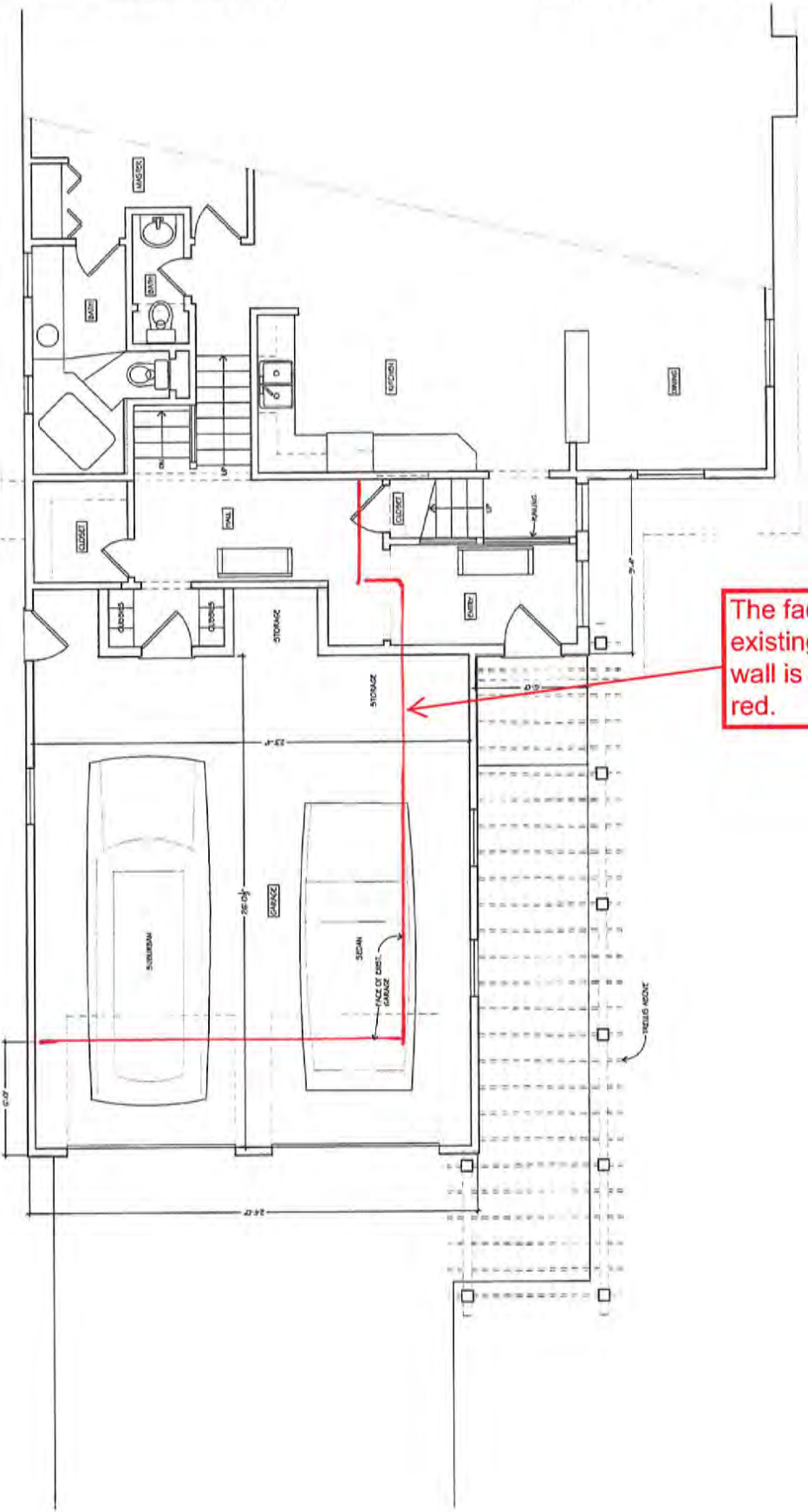
919 Oakridge Ave.  
 Shoreview, MN 55176  
 Owners: Kerry & Jim Meyer

8/12/13

Title:  
**Garage/Entry**  
**Level Plan**  
**Scheme A**

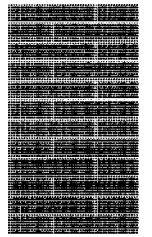
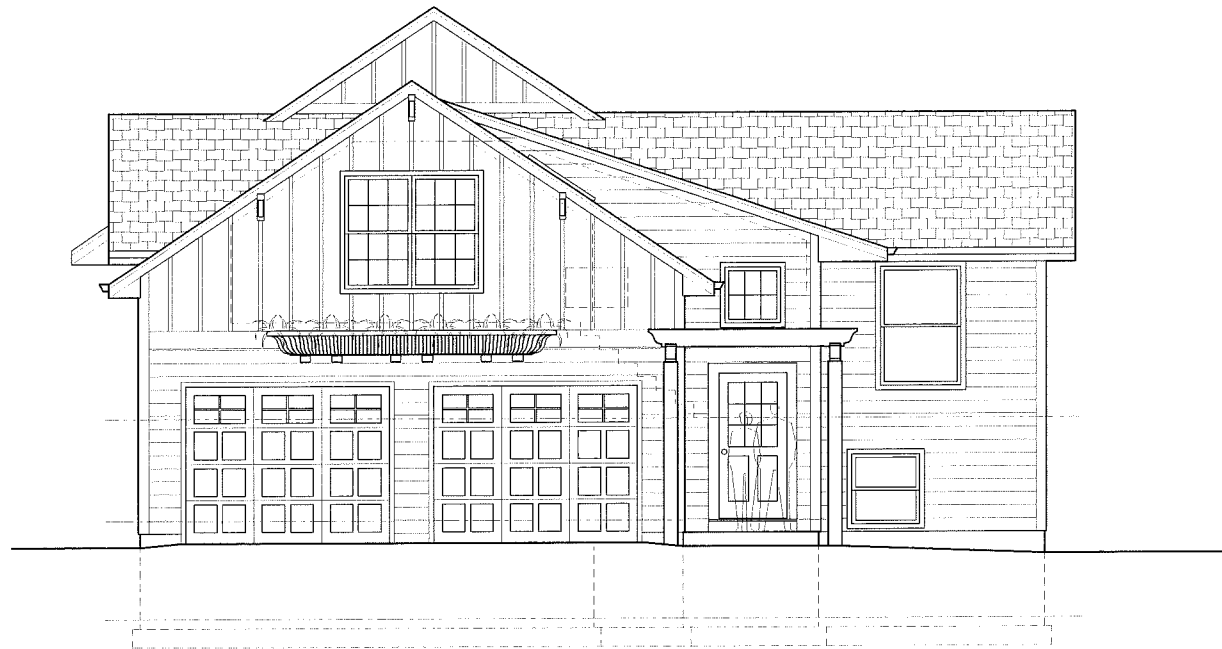
Scale: 3/16"

**A1**



The face of the existing exterior wall is shown in red.

(W)



**BRICK  
HOUSE**  
ARCHITECTS

CLARIDGE & FALK

818 W 46TH ST SUITE 204  
MINNEAPOLIS, MN 55419  
TEL (612) 259 - 7884

[www.brickhousearchitects.com](http://www.brickhousearchitects.com)

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919 Oakridge Ave.  
Shoreview, MN 55126

Owners: Kerry & Jim Meyer

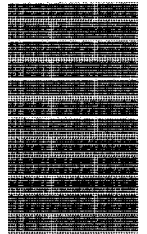
8/12/13

Title:  
South Elev.  
Scheme A

Scale: 3/16"

**A3**





**BRICK  
HOUSE**  
ARCHITECTS

CLARIDGE & FALK

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MINNEAPOLIS, MN 55419  
TEL (612) 259-7884  
[www.brickhousearchitects.com](http://www.brickhousearchitects.com)

**The  
Meyer  
Residence**

919 Oakridge Ave.  
Shoreview, MN 55126

Owners: Kerry & Jim Meyer

8/12/13

Title:  
**East Elevation  
Scheme A**

Scale: 3/16"

**A4**

## PROPOSED MOTION

**MOVED BY COMMISSION MEMBER** \_\_\_\_\_

**SECONDED BY COMMISSION MEMBER** \_\_\_\_\_

To approve residential design review application submitted by Jim and Kerry Meyer for 919 Oakridge Avenue, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Residential Design Review application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. Impervious surface coverage shall not exceed 29% of the total lot area as a result of this project. Foundation area shall not exceed 18%.
4. The design plans for the pervious sidewalk are subject to the review and approval of the City Engineer prior to installation.
5. An erosion control plan shall be submitted with the building permit application and implemented during construction of the improvements.
6. A Mitigation Affidavit shall be executed prior to the issuance of a building permit for the addition.
7. A building permit must be obtained before any grading or construction activity begins.
8. This approval is subject to a 5-day appeal period.

The approval is based on the following finding:

1. The proposal complies with the adopted standards for construction on a substandard riparian lot.

**VOTE:**

**AYES:**

**NAYS:**

**TO:** Planning Commission  
**FROM:** Niki Hill, Planning and Economic Development Technician  
**DATE:** July 17, 2014  
**SUBJECT:** File No. 2527-14-24, Variances – Bryan Swift, 4932 Turtle Lane East

## **INTRODUCTION**

Bryan Swift has submitted an application requesting a variance to enlarge the existing driveway and a variance for the height of a detached garage at 4932 Turtle Lane E. A variance is required for the driveway because the 2.6 foot side yard setback proposed for the drive is less than the 5-foot required for a driveway. A variance is required for the garage because the proposed 15' 6" height is higher than the 14' 5" height of the existing dwelling.

## **BACKGROUND AND PROJECT DESCRIPTION**

The property is located in the R1 – Detached Residential District. The surrounding properties are used for detached single family dwellings. The trapezoid shaped lot is on a curve of Turtle Lane E and has an area of 21,780 square feet. The width of the lot is 75 feet at the front lot line (the street) and expands to about 175 feet at the rear. The lot is developed with a 1032 square foot rambler and 299 sq ft attached garage that were built in 1963.

Mr. Swift would like to expand and extend the current driveway to serve the proposed detached accessory structure in the rear of the property. The existing 10'6" driveway would be expanded to 2.6 feet from the property line along the west side. The expansion includes a slope/swale to direct the runoff away from the neighboring property. The proposed detached accessory structure in the rear yard will be 608 square feet and would have a peak height of 15' 6". Please refer to the attached plans.

## **DEVELOPMENT CODE**

The property is located in the R1, Detached Residential District. In this District, the principal structure shall be setback 30 feet from the front lot line. A minimum side yard setback of 10-feet is required for living areas and 5-feet for accessory structures and driveways/parking areas. Driveways are not permitted in front of the dwelling, but must be in the area leading directly to the garage or off to the side. Driveway and parking areas cannot exceed 40% of the required front yard. Impervious surface coverage cannot exceed 40% of the are and storm water runoff cannot be directed onto adjacent properties.

Regulations pertaining to accessory structures were revised in April 2006 to address the compatibility of such structures in residential neighborhoods. Changes to the ordinance focused on the permitted area, exterior design and construction of these structures.

The maximum permitted area of a detached accessory structure located on parcels less than one acre in size with less an attached two car garage (or larger) is 750 square feet or 75% of the dwelling unit foundation. The combined area of all accessory structures is limited to the lesser of 1,200 square feet or 90% of the foundation area of the dwelling. In this case, the maximum area permitted for a detached accessory structure is 608 square feet, which is what the applicant is proposing.

Regarding height, the maximum height permitted is 18 feet, as measured from the highest roof peak to the finished grade. In no case, shall the height of the accessory structure exceed the height of the dwelling unit. The current house has a height of 14' 5" and the applicant is proposing a height of 15'6".

The exterior design and materials used in the accessory structure must be compatible with the dwelling unit and be similar in appearance from an aesthetic, building material and architectural standpoint. The proposed design, scale, massing, height and other aspects related to the accessory structure needs to be evaluated with consideration of structures and properties in the surrounding area.

### **Variance Criteria**

When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variances is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined as:

- 1. Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*
- 2. Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*
- 3. Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

For a variance to be granted, all three of the criteria need to be met.

### **APPLICANT'S JUSTIFICATION OF PRACTICAL DIFFICULTY**

The applicant states that they are requesting two variances for the detached garage on their property. The first variance is to encroach 2.4 feet on the 5 foot required side yard setback for the driveway. The second variance is for the height for the accessory structure. They would like to exceed the maximum allowable for accessory structures from 14'5" to 15'6". See applicant's statement.

### **STAFF REVIEW**

Staff reviewed the plans in accordance with the variance criteria. The characteristics of this lot and neighborhood mitigate the impact of the proposed driveway and structure. Based on the plan

revisions Staff is able to make findings that practical difficulty is present so all three criteria are met, which are discussed below.

*Reasonable Manner.* Staff reviewed the proposal in accordance with the variance criteria and concluded that hardship is present. Staff believes that the location of the house on the lot does not provide adequate space to enlarge the existing garage and an encroachment on the 5 feet is necessary in order to develop a drive with an approved surface for a vehicle to reach the rear of the property. Without a variance the applicant would be restricted to a driveway width of 7'5" alongside the current garage which would not be sufficient for the truck or boat to access the rear yard.

City Code permits detached garages as an accessory use. By establishing these provisions, the City deems that a detached garage represents a reasonable use of the property provided Code standards are met. The additional 1'1" height proposed height of the garage is reasonable for this ½ acre property due to the combination of the lot size, size and height of the home and proposed location in the rear yard. The structure location will be set back in the rear of the property with more than the required setbacks and proposed and existing vegetation will assist to screen from the view of adjacent properties. The height difference will not be discernible due to the design and distance between the house and the proposed garage.

*Unique Circumstances.* Practical difficulty for the reduction in the 5 foot minimum setback stems the location of the existing house and attached garage. The 1 story rambler house was built in 1963. The existing setback from the property line does not have room for allowable expansion of the current garage to meet the applicant's needs. Additionally, City Code permits only one curb cut for properties that have less than 120 feet of frontage on a public road in the R1 District unless approved by the Public Works director. This property has 75 feet of frontage so adding an additional curb cut on the east side of the property would require approvals. The applicant is not able to install a usable driveway for access to the rear of the property without a variance because of the 12'5" distance between the existing attached garage and the property line.

Practical difficulty for the 1'1" garage height variance stems from the 14'5" house height. The existing dwelling is a 1 story rambler home which restricts the allowable height. The spirit and intent of the ordinance is to maintain the residential character of the property by limiting the size of accessory structures so the dwelling unit remains the principal use and dominant feature of the property. With the proposed location, size, and height, the detached garage will be subordinate to the home.

*Character of Neighborhood* Staff believes that the variance will not alter the essential character of the existing neighborhood. This option had the least impacts to the property and the neighborhood. The expansion of the current driveway to 16' 2½" is well under the 24 foot maximum allowable in the right of way and keeping one curb cut minimizes the impacts to parking and snow storage needs for the neighborhood.

The proposed garage would match the architectural style of the current home and the location in the rear yard would minimize any impact the increased height may have.



## **PUBLIC COMMENT**

Property owners within 150 feet were notified of the applicant's request. One comment was received in support of the project.

## **STAFF RECOMMENDATION**

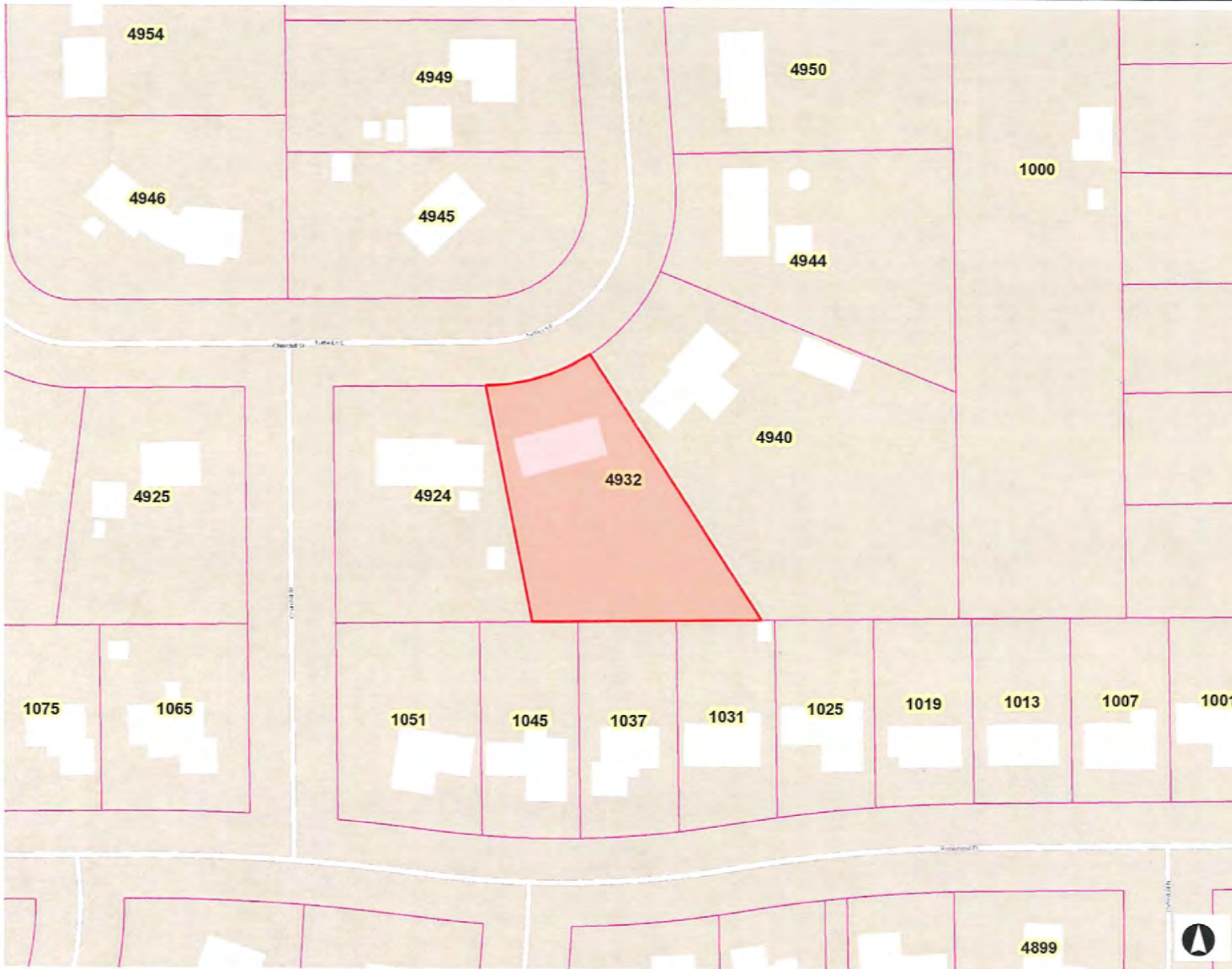
As noted above, staff is able to make affirmative findings regarding practical difficulty based on the plan revisions and so recommends approval to the Planning Commission. Staff believes that this structure complies with the spirit and the intent of the code as the house will remain the primary structure and the character of the neighborhood is not altered.

Staff recommends that the Planning Commission adopt the attached Resolution 14-53. The following conditions should be attached to an approval:

1. The project must be completed in accordance with the plans submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.
4. The exterior design and construction of the structure must comply with Section 205.082 (5e), Exterior Design and Construction.
5. Use of the accessory structure shall be for personal use only and no commercial use or commercial related storage is permitted.









### Attachments

- 1) Location Map
- 2) Aerial Map
- 3) Applicant's Statement
- 4) Submitted Plans
- 5) Public Comment
- 6) Resolution 14-53
- 7) Motion



### Legend



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  Recreational Centers
-  Parcel Points
-  Parcel Boundaries

### Notes

Enter Map Description

200.0 0 100.00 200.0 Feet

NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.









**THIS MAP IS NOT TO BE USED FOR NAVIGATION**





Legend



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  Recreational Centers
-  Parcel Points
-  Parcel Boundaries



Notes

Enter Map Description

400.0                      0                      200.00                      400.0 Feet

NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

July 10, 2014

Shoreview Planning Commission and City Council:

I am a lifelong Shoreview resident and consider Shoreview home.

Recently I got engaged and find that we will need more parking space .  
The existing attached garage is 12 feet from the property line. I understand that I am entitled to additional garage/parking space per city building code.

Enclosed are the proposed plans we would like to submit for approval for an additional two-car garage and driveway addition.

**Variiances requested:**

1. Side yard setback
2. Height of detached garage

**Practical Difficulties:**

1. Reasonable Manner:
  - a. Garage size permitted by city code.
  - b. We intend to use the driveway for typical residential vehicles and a boat trailer.
2. Unique Circumstances:
  - a. We considered several options including the following; adding a second driveway to the front yard. We felt that would be unsightly and not a readily available option per our consultation with city planning. Turning the existing garage into a drive through garage to the back yard was considered. The 8 foot wide garage door was a limitation. This would also necessitate the moving of cars routinely depending on work schedules rather than allowing one vehicle to be driven past another. Removing the current garage from the home to transfer that square footage as additional square footage to a detached garage would be very intrusive to the living space and possibly cost prohibitive due in part to a hip roof. This would also be wasteful as the current roof and garage are in good condition. The proposed detached garage would also be more visible from the street creating a negative impact on the neighbors view. We believe that the enclosed plan is the best option.
  - b. The reasoning behind the 2.6' distance from the property line is as follows; the current single car wide driveway is 10'6". That width allows for a full sized vehicle such as an SUV or pick-up truck to

park, passengers to exit both sides (between snow banks) with a minimal degree of comfort. This also allows a minimal walking path (about 1 ¾ feet) past such a vehicle on both sides in the winter. A boat trailer is also able to fit in the drive way with about one foot one to spare on each side. In order to have similar abilities on the driveway that we wish to add to the west side of the property, we are asking for a similar width next to the existing garage but have reduced the width by 6". In addition, we hope to be able to back the boat trailer down the driveway to store it in the detached garage. This is one reason why we would like to widen the current driveway so that we may be able drive or back in past the house and reduce the risk of hitting the house with vehicles or trailers. This will allow for guests to park off street as well if needed. Simply put, in order to observe the 5' set back, the driveway could only be about 7.4' wide at the N.W corner of the house. That would not allow access to a detached garage in back.

- c. The additional height of the garage is less than the first choice which included storage trusses and an attic. We are trying to best use the space by allowing ample room for shelving along the upper portion of the walls. The circumstances we are trying to overcome are the fact we are limited in the size of the accessory structure as compared to what we thought would be possible to build based on other buildings that I have observed around my neighborhood and in other areas of Shoreview. This property is unique in that it has a low pitch 5/12 roof, is one a one story, sits too close to the property line to add on to the existing garage, has a one car garage and one car wide driveway. Most other homes in the area have at least two car wide garages and driveways with room to park in additional vehicles. I am trying to overcome these circumstances to accommodate a growing household, typical everyday living, including parking and storage.

The existing impervious surface area is - 10.8%

Proposed impervious surface area (includes existing and new) - 28.3%





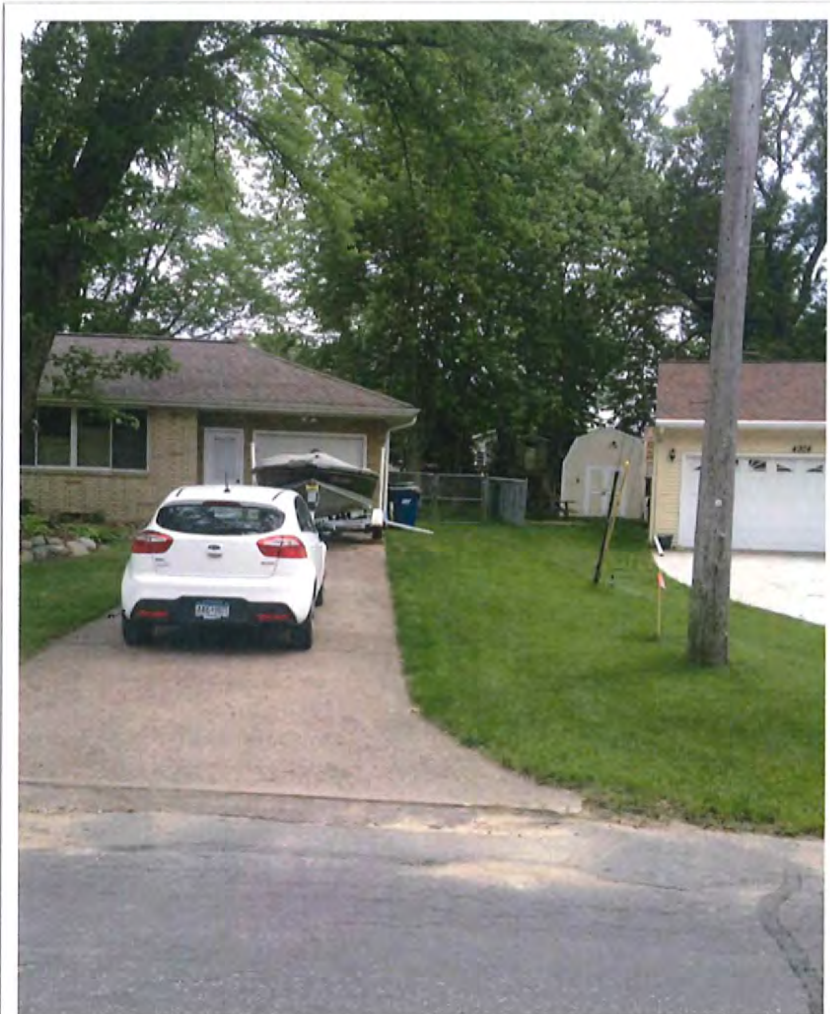
1. Character of Neighborhood:

- a. The 1'  $\frac{1}{4}$ " height difference of the garage as compared to the home should not negatively impact the character of the neighborhood. The homes to the South are all split-level homes that exceed the height of my home. The properties to the east and west both have tall detached storage buildings as shown in the photos below.
- b. The distance between these homes and the detached structures minimizes the visual impact of the height. The difference of 13'  $\frac{1}{4}$ " and my home will be negligible for the same reasons.





2. The immediate neighbors on turtle lane have approved the driveway concept. We are within 2.6 feet of property line for the driveway.
  - a. Side yard set back: we will address the water drainage by having the driveway swale to best manage the run off. We have sand soil, which is also good for drainage. We plan to keep the grass between the property lines and add shrubs for curb appeal.



6. When considering the character of the neighborhood, please consider that the neighbor to the east has two driveways and a very large garage in back.



7. The driveway two doors down (east) driveway appears to skirt cross over the property line and the garage is in back.



8. My immediate neighbors on Turtle Lane have given their consent to build this proposed garage.

Sincerely,  
Bryan Swift



**ADVANCE SURVEYING & ENGINEERING CO.**

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 www.advsur.com

SURVEY FOR: **BRIAN SWIFT**

SURVEYED: June 12, 2014

DRAFTED: June 13, 2014

**LEGAL DESCRIPTION:**

Lot 28, Block 6, Lexicon Plat No. 2, Ramsey County, Minnesota.

**SCOPE OF WORK:**

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.

**STANDARD SYMBOLS & CONVENTIONS:**

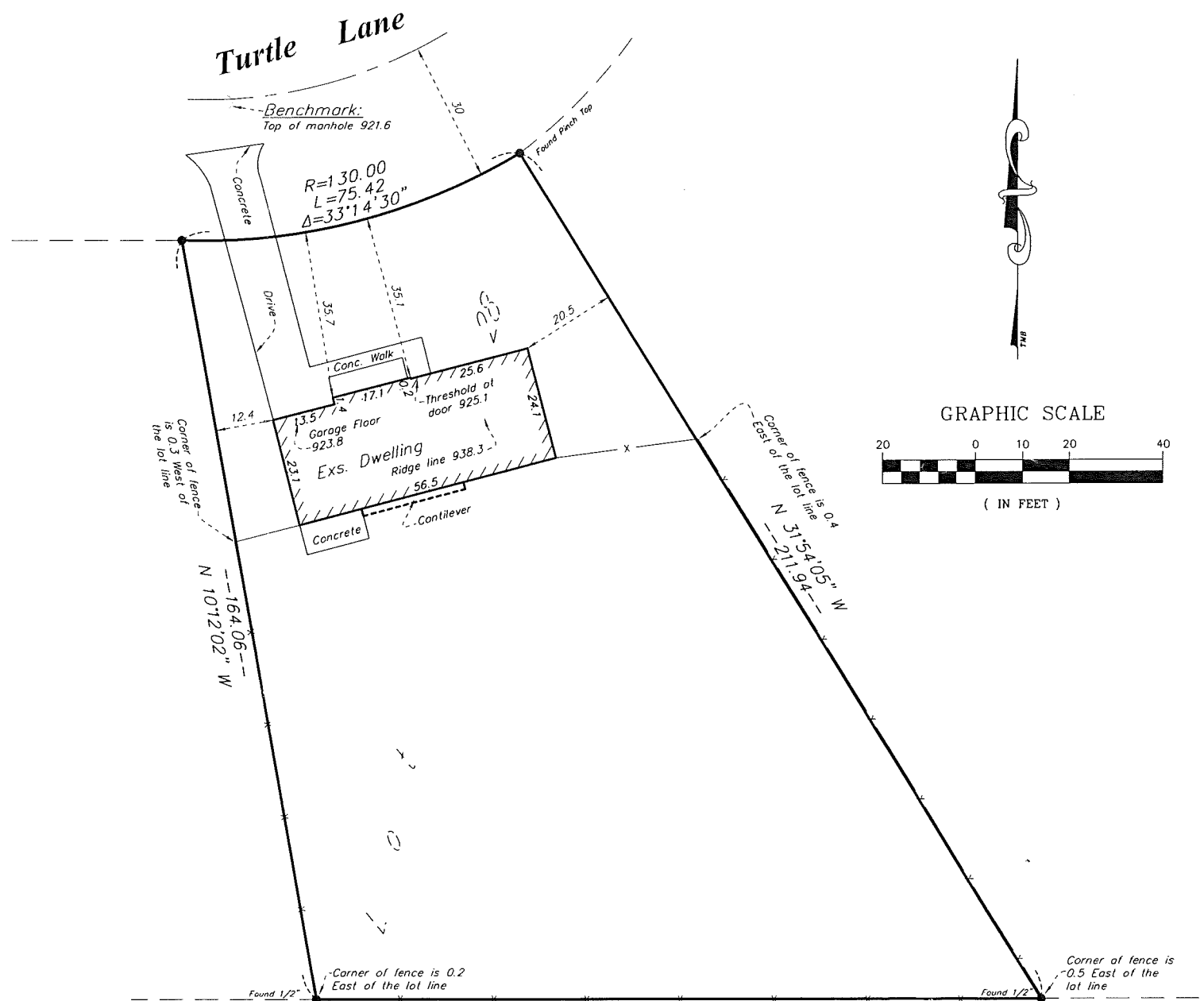
"●" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted.

**CERTIFICATION:**

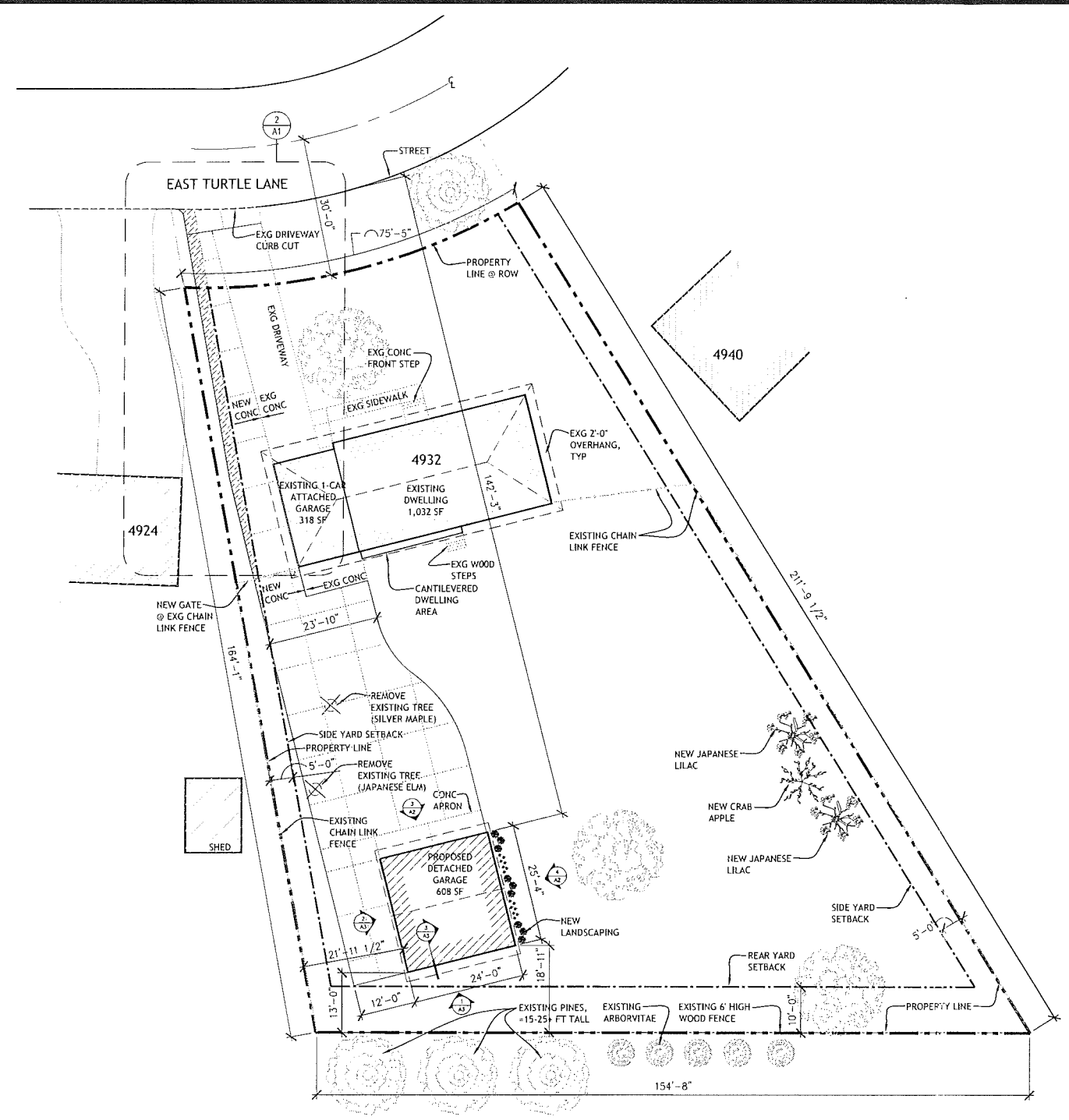
I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a licensed Professional Engineer and Professional Surveyor under the laws of the State of Minnesota.

Signature: *James H. Parker* Typed Name: James H. Parker

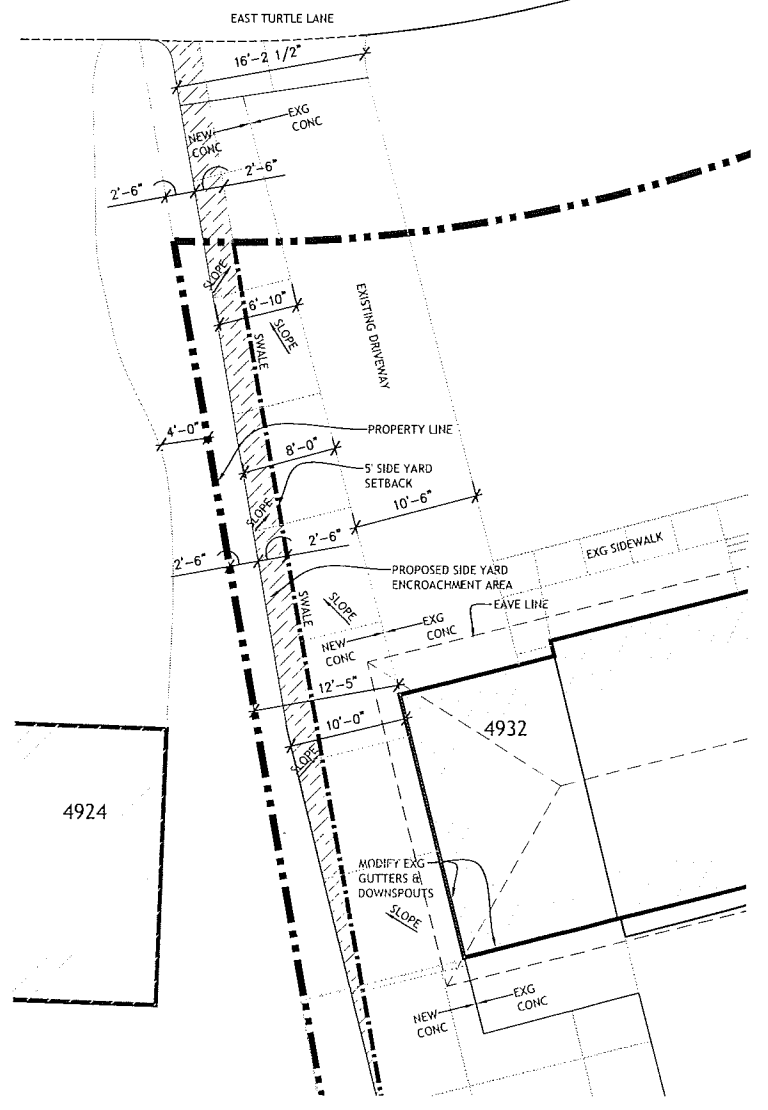
Date: June 13, 2014 Reg. No. 9235



Drw. No. 140360 TB



1 SITE PLAN  
SCALE: 1"=20'-0"



2 ENLARGED SITE PLAN  
SCALE: 1"=10'-0"

SITE SUMMARY (GROSS SITE AREA: .45 ACRES)	
EXISTING BUILDING FOOTPRINT	1,350 SF
EXISTING DWELLING FDN AREA	1,032 SF
EXISTING ATTACHED GARAGE	318 SF
ALLOWED AREA OF ACCESSORY STRUCTURES (90% OF DWELLING FDN AREA)	928 SF
ALLOWABLE AREA OF DETACHED GARAGE (928 SF - 320 SF = 608 SF)	608 SF
ACTUAL AREA OF DETACHED GARAGE	608 SF
HEIGHT OF EXISTING DWELLING	14'-5"
HEIGHT OF PROPOSED DETACHED GARAGE	*15'-6 1/4"
HEIGHT DIFFERENCE	1'-1 1/4"
PROPOSED LOT COVERAGE (MAX. 40%)	9.8%
PROPOSED SIDE YARD ENCROACHMENT AREA (WITHIN 5' OF SIDE YARD SETBACK)	*194 SF

SITE PLAN LEGEND	
PROPERTY LINE	---
SETBACK	- - - -
PROPOSED ENCROACHMENT AREA (VARIANCE REQUEST)	▨

\*INDICATES VARIANCE REQUEST

**ah**  
A2H ATELIER, LLC  
ARCHITECTURE & DRAFTING SERVICES  
1175 AMBLE DR  
ARDEN HILLS, MN 55112  
TEL: 651.343.9602

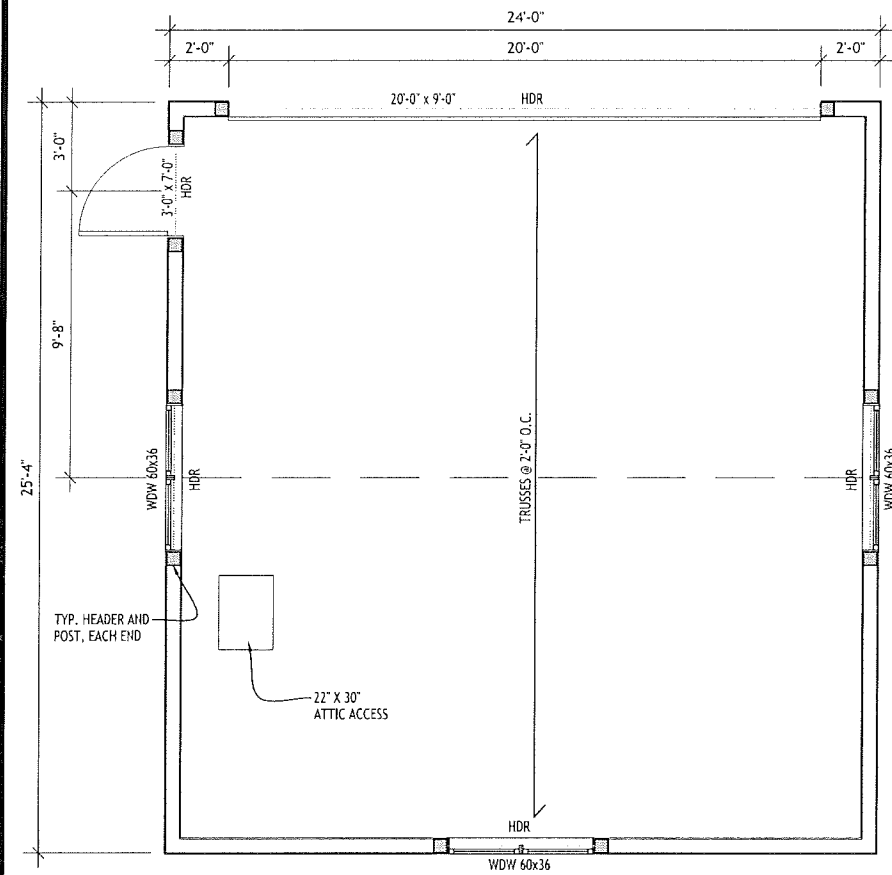
**SWIFT RESIDENCE**  
NEW DETACHED GARAGE  
4932 EAST TURTLE LANE  
PLANNING COMMISSION REVIEW - NOT FOR CONSTRUCTION

OWNER:  
BRYAN SWIFT  
4932 EAST TURTLE LANE  
SHOREVIEW, MN 55126  
651.238.4362

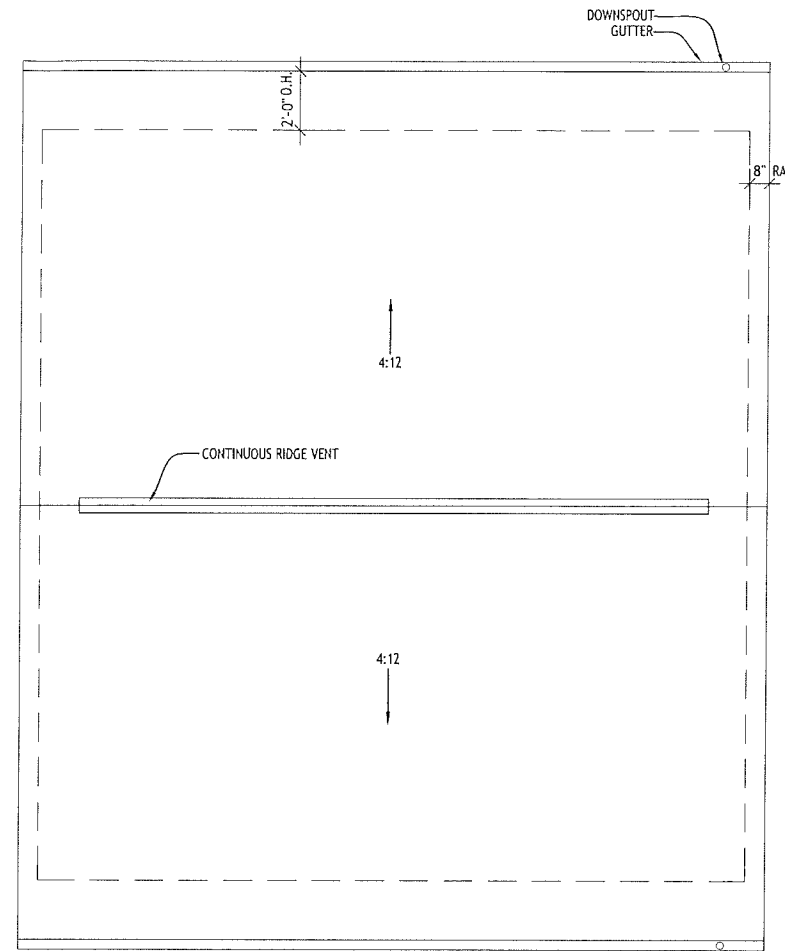
PROJECT:  
NEW DETACHED GARAGE  
DATE:  
JUNE 23rd, 2014  
REVISION #:

DRAWN BY:  
AAH

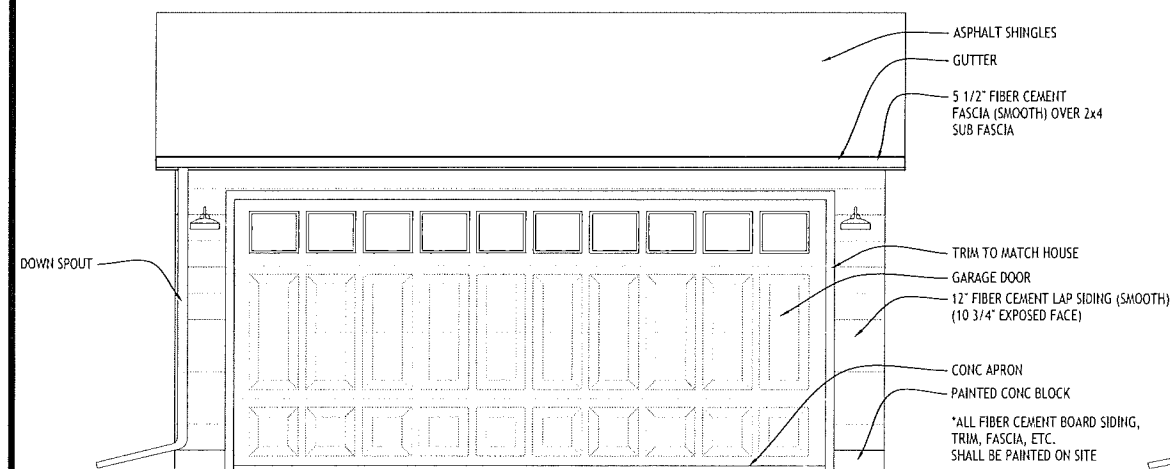
SHEET:  
**A1**  
SITE PLAN



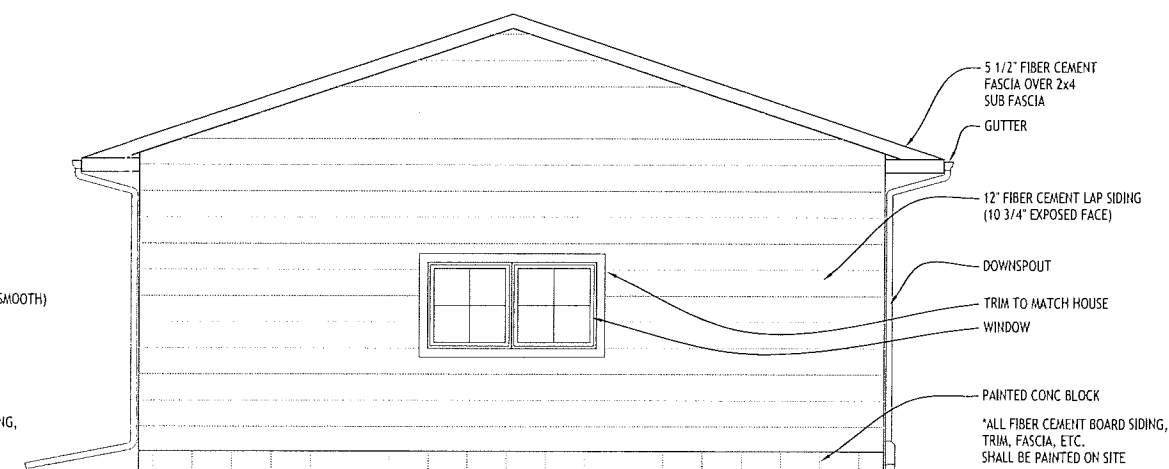
1 DETACHED GARAGE FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 DETACHED GARAGE ROOF PLAN  
SCALE: 1/4"=1'-0"



3 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



4 EAST ELEVATION  
SCALE: 1/4"=1'-0"

ah

A2H ATELIER, LLC  
ARCHITECTURE & DRAFTING SERVICES  
1175 AMBLE DR.  
ARDEN HILLS, MN 55112  
TEL. 651.343.9602

**SWIFT RESIDENCE**

NEW DETACHED GARAGE  
4932 EAST TURTLE LANE

PLANNING COMMISSION REVIEW-NOT FOR CONSTRUCTION

OWNER:  
BRYAN SWIFT  
4932 EAST TURTLE LANE  
SHOREVIEW, MN 55126  
651.238.4362

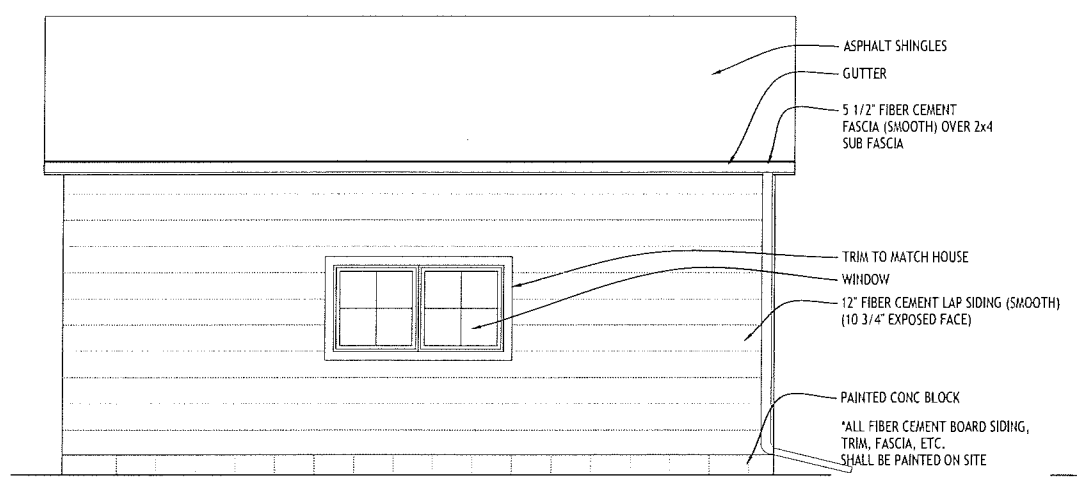
PROJECT:  
NEW DETACHED GARAGE  
DATE:  
JUNE 23rd, 2014  
REVISION #:

DRAWN BY:  
AAH

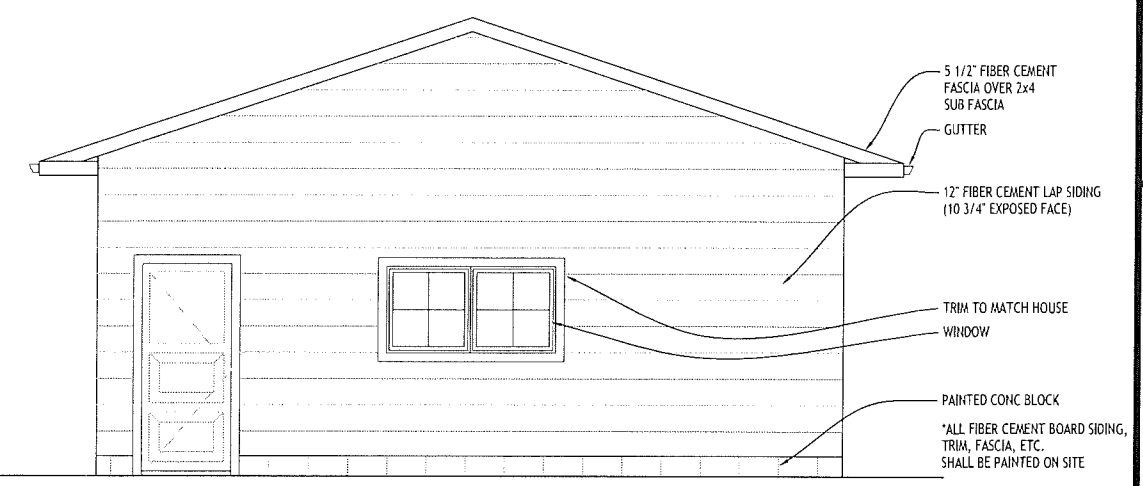
SHEET:

A2

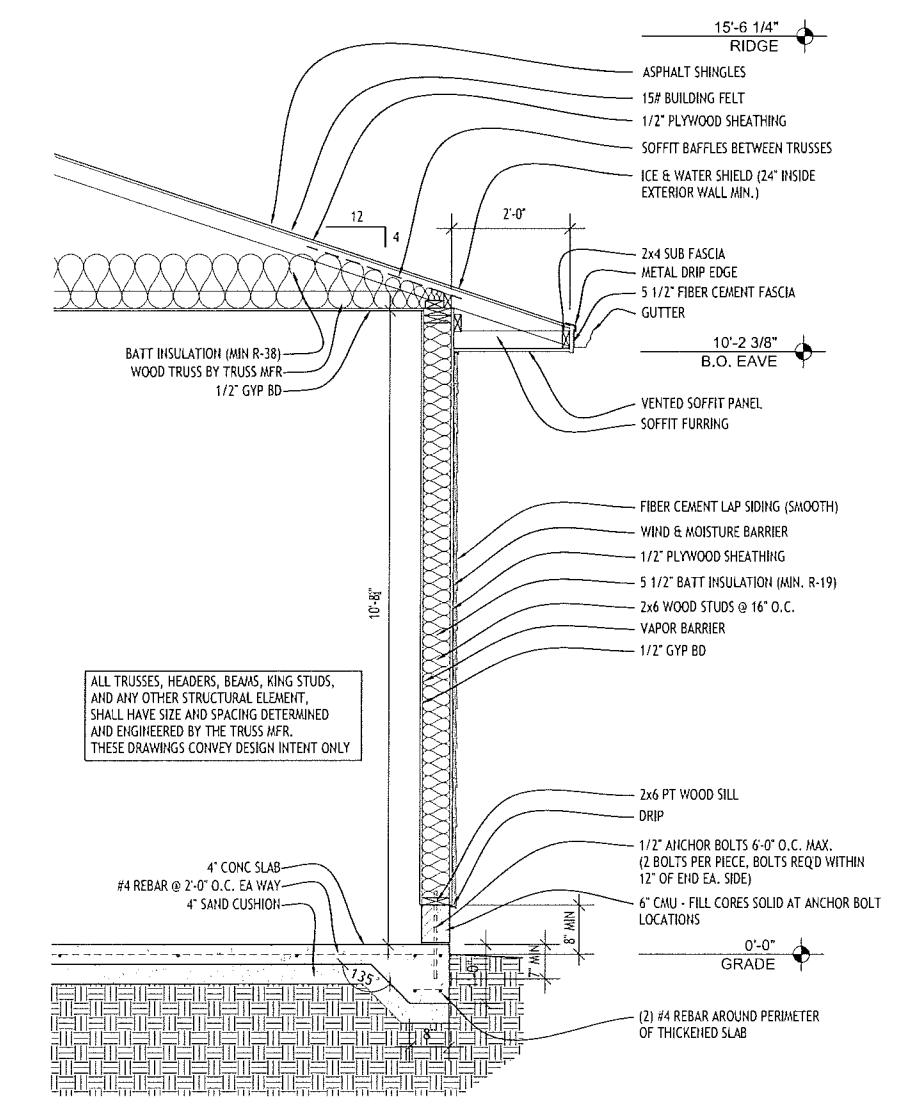
PLANS & ELEVATIONS



1 SOUTH ELEVATION  
SCALE: 1/2"=1'-0"



2 WEST ELEVATION  
SCALE: 1/2"=1'-0"



3 SECTION THRU SOUTH WALL LOOKING EAST  
SCALE: 1/2"=1'-0"

**SWIFT RESIDENCE**  
NEW DETACHED GARAGE  
4932 EAST TURTLE LANE  
PLANNING COMMISSION REVIEW-NOT FOR CONSTRUCTION

OWNER:  
BRYAN SWIFT  
4932 EAST TURTLE LANE  
SHOREVIEW, MN 55126  
651.238.4362

PROJECT:  
NEW DETACHED GARAGE  
DATE:  
JUNE 23rd, 2014  
REVISION #:  
DRAWN BY:  
AAH

SHEET:  
**A3**  
ELEVATIONS & SECTIONS





Nicole Hill <nhill@shoreviewmn.gov>

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## 932 Turtle Lane E

---

Tom Wesolowski <twesolowski@shoreviewmn.gov>

Wed, Jul 9, 2014 at 11:24 AM

To: Nicole Hill <NHill@shoreviewmn.gov>

Niki,

I do not see an issue with proposed garage and driveway, but the narrow set back does not allow much room for stormwater runoff. The detail for the driveway by the house does show a swale that would direct runoff away from the neighbor, which is good. There is no detail for the grading of the driveway behind the house, but recommend that it is also graded to direct runoff away from the neighbor.

Please contact me if you have questions.

Thanks, Tom

—  
Tom Wesolowski, P.E.  
City Engineer  
City of Shoreview  
twesolowski@shoreviewmn.gov  
Direct Tel: 651-490-4652  
Fax: 651-490-4696



Michael Hill <nhill@shoreviewmn.gov>

---

## Comments for property at 4932 Turtle Lane E

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**Virgil J Sauve** <dorvi3@msn.com>  
To: nhill@shoreviewmn.gov

Mon, Jul 7, 2014 at 8:47 AM

I have no objections to the property improvements next door. A variance should be made for the improvements to the property.

Virgil J Sauve  
4940 Turtle Lane E

**EXTRACT OF MINUTES OF MEETING OF THE  
PLANNING COMMISSION OF SHOREVIEW, MINNESOTA  
HELD JULY 22, 2014**

\* \* \* \* \*

Pursuant to due call and notice thereof, a meeting of the Planning Commission of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 PM.

The following members were present:

And the following members were absent:

Member \_\_\_\_\_ introduced the following resolution and moved its adoption.

**RESOLUTION NO. 14-53 FOR A VARIANCE RELATED TO SIDE-YARD  
SETBACK FOR A DRIVEWAY  
AND MAXIMUM ACCESSORY STRUCTURE HEIGHT**

WHEREAS, Kenneth and Chrisann Junker, submitted a variance application for the following described property:

*LOT 28, BLOCK 6, LEXICON PLAT 2,*

*(This property is more commonly known as 4932 Turtle Lane East)*

WHEREAS, the Development Regulations establish a minimum required side yard setback of 5-feet for accessory structures and driveways/parking areas; and

WHEREAS, the Development Regulations state that in no case shall the height of the accessory structure exceed the height of the dwelling unit; and

WHEREAS, the applicants are proposing to enlarge and expand their driveway 2.6 feet from the side property line; and

WHEREAS, the applicants are proposing to build a detached garage with a height of 15'6"; and



WHEREAS, the applicant has requested the following variances

- 1) To reduce the minimum 5-foot setback required from a side property line, 2.6 feet is proposed; and
- 2) To exceed the maximum 14'5" height of any accessory structure on the property, 15'6" proposed; and

WHEREAS, the Shoreview Planning Commission is authorized by State Law and the City of Shoreview Development Regulations to make final decisions on variance requests.

WHEREAS, on July 22, 2014 the Shoreview Planning Commission made the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

Expansion of the existing driveway along the side of the house is reasonable. The encroachment on the minimum 5-foot setback from the side property line is needed to develop a driveway with a suitable surface width for a vehicle to reach the rear of the property.

The additional 1'1" height proposed height of the garage is reasonable for this ½ acre property due to the combination of the lot size, size of the home, landscape screening and proposed location in the rear yard. The height difference will not be discernible due to the design and distance between the house and the proposed garage.

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*

Practical difficulty for the reduction in the 5 foot minimum side yard setback for the driveway stems the location of the existing house and single-car attached garage. Alternatives are not present due to the limit of one curb cut on the property, lot width and location of the home and existing garage. The applicant is not able to install a usable driveway for access to the rear of the property without a variance because of the 12'5" distance between the existing attached garage and the property line.

Practical difficulty for the 1'1" garage height variance stems from the 14'5" house height of the one-story home. The spirit and intent of the ordinance is to maintain the residential character of the property by limiting the size of accessory structures so the dwelling unit remains the principal use and dominant feature of the property. With the proposed location, size, and height, the detached garage will be subordinate to the home.

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

The variance will not alter the essential character of the existing neighborhood. The proposed garage would match the architectural style of the current home and the location in the rear yard and existing vegetation minimize the impact of the increased height may have.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance request for property described above, 5110 Lexington Avenue, be approved, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.
4. The exterior design and construction of the structure must comply with Section 205.082 (5e), Exterior Design and Construction.
5. Use of the accessory structure shall be for personal use only and no commercial use or commercial related storage is permitted.

The motion was duly seconded by Member \_\_\_\_\_ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 22<sup>nd</sup> day of July, 2014

\_\_\_\_\_  
Steve Solomonson, Chair  
Shoreview Planning Commission

ATTEST:

\_\_\_\_\_  
Kathleen Castle, City Planner

ACCEPTANCE OF CONDITIONS:

\_\_\_\_\_  
Bryan Swift, 4932 Turtle Lane E

STATE OF MINNESOTA)  
 )  
COUNTY OF RAMSEY )  
 )  
CITY OF SHOREVIEW )

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview Planning Commission held on the 22<sup>nd</sup> day of July, 2014 with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates to adopting Resolution 14-53.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 22<sup>nd</sup> day of July, 2014.

\_\_\_\_\_  
Terry C. Schwerm  
City Manager

SEAL



## MOTION TO APPROVE

**MOVED BY COMMISSION MEMBER:** \_\_\_\_\_

**SECONDED BY COMMISSION MEMBER:** \_\_\_\_\_

To adopt the attached Resolution 14-53, permitting the expansion of the current drive to 2.6 feet from the property line and an accessory structure height of 15'6", for Bryan Swift, 4932 Turtle Lane E.

Said approval is subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.
4. The exterior design and construction of the structure must comply with Section 205.082 (5e), Exterior Design and Construction.
5. Use of the accessory structure shall be for personal use only and no commercial use or commercial related storage is permitted.

Said approval is based on the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

Expansion of the existing driveway along the side of the house is reasonable. The encroachment on the minimum 5-foot setback from the side property line is needed to develop a driveway with a suitable surface width for a vehicle to reach the rear of the property.

The additional 1'1" height proposed height of the garage is reasonable for this ½ acre property due to the combination of the lot size, size of the home, landscape screening and proposed location in the rear yard. The height difference will not be discernible due to the design and distance between the house and the proposed garage.

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*

Practical difficulty for the reduction in the 5 foot minimum side yard setback for the driveway stems the location of the existing house and single-car attached garage. Alternatives are not present due to the limit of one curb cut on the property, lot width and location of the home and existing garage. The applicant is not able to install a usable driveway for access to the rear of the property without a variance because of the 12'5" distance between the existing attached garage and the property line.

Practical difficulty for the 1'1" garage height variance stems from the 14'5" house height of the one-story home. The spirit and intent of the ordinance is to maintain the residential character of the property by limiting the size of accessory structures so the dwelling unit remains the principal use and dominant feature of the property. With the proposed location, size, and height, the detached garage will be subordinate to the home.

3. *Character of Neighborhood.* The variance, if granted, will not alter the essential character of the neighborhood.

The variance will not alter the essential character of the existing neighborhood. The proposed garage would match the architectural style of the current home and the location in the rear yard and existing vegetation minimize the impact of the increased height may have.

**VOTE:**

**AYES:**

**NAYS:**

Regular Planning Commission Meeting  
July 22<sup>nd</sup>, 2014

**TO:** PLANNING COMMISSION

**FROM:** Rob Warwick, Senior Planner

**DATE:** July 18, 2014

**SUBJECT:** WIRELESS TELECOMMUNICATIONS FACILITY PERMIT  
APPLICATIONS, NEW CINGULAR WIRELESS PCS LLC (AT&T), 5880  
LEXINGTON AVENUE (FILE NO. 2528-14-18) AND 745 COUNTY ROAD E  
(FILE NO. 2526-14-16)

### **Introduction**

SAC Wireless, on behalf of New Cingular Wireless PCS LLC, has submitted applications for two Wireless Telecommunications Facility (WTF) Permits to permit the collocation of wireless telecommunications facilities at the City water towers located at 5880 Lexington Avenue, and 745 County Road E. The permits will allow the installation of antennas on the water towers and an equipment shelter. The two applications are reviewed together due to the similarities of the applications and the applicable City regulations and review process.

#### ***North Tower***

Currently, Sprint, T-Mobile, and Clearwire have wireless facilities at the north water tower at 5880 Lexington Avenue. Verizon received approvals in 2013 and their installation is currently being constructed. The AT&T antennas are proposed to be attached 145 feet above ground level, just above the elevation of the existing Sprint and Verizon antennas.

#### ***South Tower***

Currently, Sprint, T-Mobile, and Verizon have facilities at the south water tower at 745 County Road E. The AT&T antennas are proposed to be attached at an elevation of 102 feet above the ground, at the top of the tower pedestal.

Concurrent with consideration of the WTF permit, the City Council will consider approval of a ground lease. At the north tower, the lease area is 26 by 40 foot area within the existing fenced area, and 20 by 40 feet at the south tower that is located along the west side of the fenced compound parallel to Victoria Street. A 12 by 28 foot pre-fabricated equipment shelter will be located within the leased area at each tower. The shelters will house equipment cabinets and an emergency generator to provide back-up electricity in the event of a power outage. The applications were complete on June 27, 2014.

### **Development Code Requirements - Wireless Telecommunications Facility Permit**

The Development Code requirements include review and recommendation of the Planning Commission to the City Council, prior to approval of the permit request. The review is based on specified standards and approval is contingent upon execution of a Wireless Telecommunications Tower/Antenna Agreement.

The applicable standards for a WTF are listed below. *Staff comments are italicized.*

- 1) Siting. Antennas located on or attached to existing structures are regulated by the provisions of the zoning district for each parcel. New towers shall only be located on parcels that fall within the Telecommunications Overlay District. New towers are not permitted in public rights-of-way. *Both of the existing water towers are located in the R-1 District and the TOD-2 Overlay District. Both of the towers conform to the District regulations.*
- 2) Color, Camouflage and Architecture. All WTFs shall be camouflaged and use architectural design, materials, colors, textures, screening, and landscaping to blend in with the surrounding natural setting and built environment. If a WTF is proposed on any part of a building or structure, it must blend with the building or structure's design, architecture and color, including exterior finish. *Staff recommends a condition that the antennas match the exterior finish of the existing tower. The site lease will also include this provision.*
- 3) Landscaping. WTFs shall be landscaped with a buffer of plant materials as determined appropriate for the site by the City. Existing mature trees and other vegetation at the site shall be preserved to the maximum extent possible. *At the Lexington Avenue tower, the lease area and shelter location will be revised to immediately east of the Clearwire equipment, just west of the entry gate. As such, the existing tower will aid in screening the shelter from the adjacent residential properties. Staff recommends a landscape plan be prepared to show plantings along Lexington Ave. at the north tower, and several black hills spruce at the south tower site to aid in screening the view from Victoria St.*
- 4) Signs. The use of any portion of a WTF for signs or advertising other than warning or equipment information signs is prohibited. *Small signs will be displayed on the two shelter doors that face Lexington Ave. and Victoria St. These will display required warnings.*
- 5) Lighting. Wireless telecommunication antennas or towers shall not be illuminated by artificial means and shall not display strobe lights unless such lighting is specifically required by the Federal Aviation Administration or other federal or state authority. When incorporated into the approved design of the WTF, light fixtures used to illuminate ball fields, parking lots or similar areas may be attached to the tower. *No new lights are proposed.*
- 6) Setbacks. WTFs shall comply with the principal structure setbacks of the underlying zoning district and the following additional standards:
  - a) WTFs shall not encroach upon any easements unless permission is obtained from the underlying property owner and holder of the easement. *No encroachments are proposed. The lease areas and all easements are entirely located on City property and subject to the terms of the site leases.*
  - b) WTFs shall not be located between a principal structure and a public street. *The equipment shelter is located within the existing fenced area of the water tower, between*



*the principal structure, the water tower, and the street. See the discussion immediately below.*

- c) The required setbacks may be reduced or the location in relation to a public street modified, at the sole discretion of the City, when the WTF is integrated into an existing or proposed structure such as a building, light or utility pole. *The shelter location at each site is based on criteria of Public Works staff and intended to provide access to AT&T whenever needed, while minimizing operational impacts for the City. At the north tower, the AT&T shelter is recommended east of the existing Clearwire compound. At the south tower, the shelter will be oriented parallel to Victoria St. on the west side of the tower compound.*

7) Height.

- a) Antennas located on an existing structure taller than the limit established by the Telecommunication Overlay District may extend up to 5 feet above the height of the structure. *The proposed antenna arrays will be located at the 145-foot level on the 200-foot north water tower, and at the 102 foot level on the 145-foot south water tower. The antennas will be on the tower pedestal below the bowl at each location.*

8) Safety/Environmental Standards.

- a) Unauthorized Climbing. WTFs shall be designed to discourage unauthorized climbing. *The existing towers are enclosed with a 7-foot chain link fence, and the AT&T shelters will be fenced using 6-foot chain link fencing.*
- b) Noise. If the proposed WTF includes a back-up generator or otherwise results in significant increased sound levels, sound buffers may be required including, but not limited to, baffling, barriers, enclosures, walls, and plantings. *The generator is located within the shelter and muffled to reduce noise when it operates. The generator must operate in compliance with the noise limitations specified in City Code, and will be used only during power outages and for routine testing on a weekly basis. Staff suggest a condition that testing occur between 4 and 6 PM, Monday – Friday, coinciding with peak afternoon traffic when any generator noise will be less noticeable.*
- c) Radio Frequency (RF) Emissions and Interference. WTFs must comply with Federal Communication Commission standards for RF emissions and interference. *As noted above, AT&T is licensed and regulated by the FCC. The height of the antennas exceeds the height specified by the FCC for 'Categorical Exclusion', facilities that are unlikely to cause RF emissions exposures in excess of FCC guidelines. Staff recommends a condition of approval requiring AT&T to notify the City as soon as the wireless facility is operational. The City, through its RF consultant, will test RF emissions at the site to verify compliance with FCC RF emissions guidelines.*

- 9) Maintenance. All commercial towers or WTFs shall at all times be kept and maintained in good condition, order, and repair so that the same shall not menace or endanger the life or property of any person. *Site maintenance is required as one of the terms of the ground lease.*
- 10) Occupational Safety. WTFs shall comply with applicable State of Minnesota and Federal regulations for occupational exposure to non-ionizing radiation. *Staff recommends a condition requiring display of notices that identify radiation potential for employees working on the sites.*
- 11) Collocation Requirements. Except as herein and after provided, WTFs within the City shall comply with the following collocation requirements: *These are collocations, and so comply with these provisions.*
- 12) Equipment Enclosures. Equipment enclosures accessory to a commercial antenna or WTF shall comply with the following standards:
  - a) Equipment enclosures shall be of the smallest size necessary. *The proposed equipment shelters are standard size for New Cingular Wireless PCS LLC equipment. A hip or gable roof will help to provide a more residential appearance to the structure for both of the proposed collocations.*
  - b) To the extent possible, equipment enclosures shall be located where existing trees, structures, and/or other site features screen them from view. *Staff suggests adding black hills spruce trees at each location to screen the shelters from the adjacent street. At the north tower, the revised location will aid to screen the shelter from the view of adjacent residences.*
  - c) All equipment enclosures shall be screened from view by suitable vegetation, except where non-vegetative screening (e.g., a decorative wall) better reflects and complements the character of the neighborhood. *See comment above.*

### Coverage

The purpose of the two wireless sites is to fill gaps in coverage that currently exist. The applicant has submitted maps showing existing and proposed coverage for the areas. The coverage maps are attached.

### Public Comments

Mailed notice was sent to property owners within 350 feet of each subject property. No comments were submitted for 745 County Road E, and three comments have been received for 5880 Lexington Avenue. One comment identifies a number of concerns, including that generators used during previous installations were noisy, that there is not screening when viewed from the houses on the north side of the tower and that the proposed shelter would be better located further to the west. Two comments expressed concerns about the health impact from antenna use.

### **Public Works Review**

The applications have been reviewed by the Director of Public Works who recommended the proposal for approval. At the north tower, the access easement and lease area shown on the site plan shall be revised as noted above. AT&T staff has indicated that this revision is acceptable and the site plan will be revised accordingly.

The proposed ground lease area will not reduce space used for maintenance activities and will not cause any operational problems.

### **Consultant Review**

OWL Engineering and EMC Test Labs, the City's RF consultant, performed an interference study and reviewed RF emissions. The radio frequencies employed by AT&T are not expected to interfere with those used by the existing wireless tenants, the City radio used to monitor water system operations, or the frequencies used by public service agencies that may pass by near the water tower. RF emissions comply with the FCC categorically excluded class of antennas, that is the height and power of the antennas indicates that they will not generate emissions that are harmful to those on the ground.

### **Engineering Review**

SEH, Inc, the City's engineering consultant, has reviewed the proposed plans and determined that the installations will not interfere with the use of either water tower from a structural or operational perspective, although there are details which must be revised prior to approval of construction plans.

### **Staff Recommendation**

The applications have been reviewed in accordance with the Development Code. Staff finds that the proposals comply with the standards specified for WTF. Staff recommends that the Planning Commission recommend approval to the City Council and has prepared a motion for each application, subject to conditions.

For the north water tower at 5880 Lexington Avenue:

1. The project must be completed in accordance with the plans submitted as part of the Wireless Telecommunications Facility Permit application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval is contingent upon the City Council authorizing the lease with New Cingular Wireless PCS LLC, including the 26 by 40 foot equipment site and an easement for ingress and egress.

3. The site plan, lease area and access/utility easements shall be revised to use the area east of the existing Clearwire equipment area for the AT&T lease area and shelter location.
4. The construction plans shall be revised in accordance with the comments of the City's engineering consultant, SEH.
5. A landscape plan shall be submitted for approval by the City Planner. The landscaping shall be planted to provide visual screening of the equipment structure from Lexington Avenue.
6. The site is subject to confirmation that RF emissions conform to FCC requirements. New Cingular Wireless PCS LLC shall notify the City when the system is installed, prior to operation. A City selected RF engineer shall be provided access to the site to test RF emissions.
7. The site shall bear necessary OSHA required warnings regarding RF emissions.
8. A permanent emergency power generator may be installed within the equipment shelter. The emergency power generator shall be used for emergency power only, except the times it is being run for routine maintenance, which shall not exceed thirty (30) minutes once a week between the hours of 4:00PM and 6:00PM CST, Monday through Friday, holidays excluded. The operation of the emergency generator shall comply with City regulations pertaining to Noise (Section 209.020 of the Municipal Code).
9. The applicant shall enter into a Wireless Telecommunications Tower/Antenna Agreement with the City, as required.

For the south water tower at 745 County Road E:

1. The project must be completed in accordance with the plans submitted as part of the Wireless Telecommunications Facility Permit application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval is contingent upon the City Council authorizing the lease with New Cingular Wireless PCS LLC, including the 20 by 40 foot equipment site and an easement for ingress and egress.
3. The construction plans shall be revised in accordance with the comments of the City's engineering consultant, SEH.
4. A landscape plan shall be submitted for approval by the City Planner. The landscaping shall be planted to provide visual screening of the equipment structure from Victoria Street.



5. The site is subject to confirmation that RF emissions conform to FCC requirements. New Cingular Wireless PCS LLC shall notify the City when the system is installed, prior to operation. A City selected RF engineer shall be provided access to the site to test RF emissions.
6. The site shall bear necessary OSHA required warnings regarding RF emissions.
7. A permanent emergency power generator may be installed within the equipment shelter. The emergency power generator shall be used for emergency power only, except the times it is being run for routine maintenance, which shall not exceed thirty (30) minutes once a week between the hours of 4:00PM and 6:00PM CST, Monday through Friday, holidays excluded. The operation of the emergency generator shall comply with City regulations pertaining to Noise (Section 209.020 of the Municipal Code).
8. The applicant shall enter into a Wireless Telecommunications Tower/Antenna Agreement with the City, as required.

Attachments:

1. 5880 Lexington Avenue, North water tower
  - a. Location Map
  - b. Submitted Plans
  - c. Existing and Proposed RF coverage maps
  - d. Comments
2. 745 County Road E
  - a. Location Map
  - b. Submitted Plans
  - c. Existing and proposed RF coverage maps
  - d. Comments
3. Proposed Motions
  - a. 5880 Lexington Ave.
  - b. 745 County Road E

ATTACHMENTS FOR

FILE NO. 2528-14-18

SAC WIRELESS/NEW CINGULAR WIRELESSPCS LLC

5880 LEXINGTON AVENUE



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

300.0 0 150.00 300.0 Feet

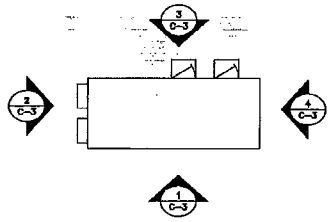
NAD\_1983\_HARN\_Adj\_MN\_Ramsey\_Feet  
© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

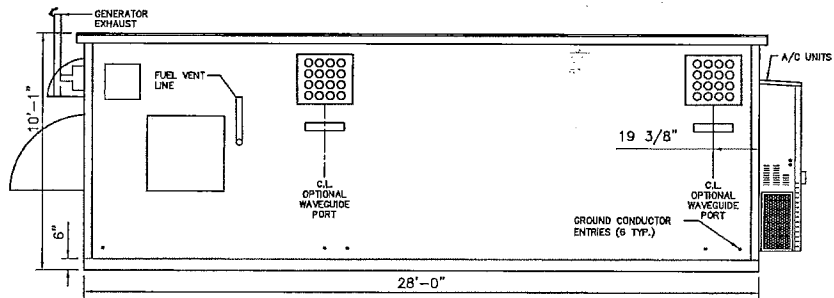
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

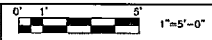
City of Shoreview North Water Tower



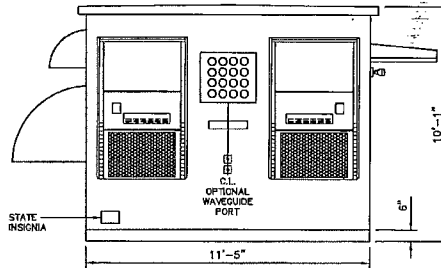
KEY



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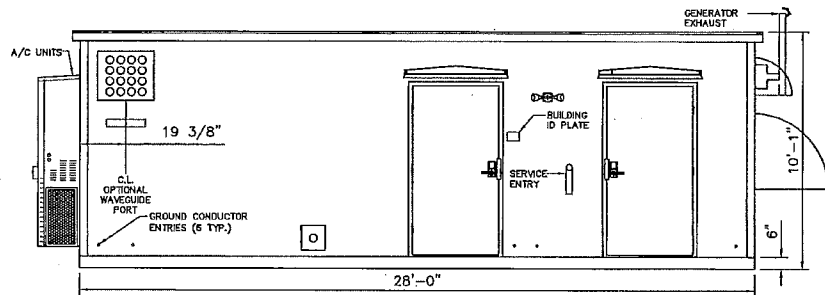
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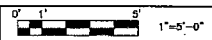
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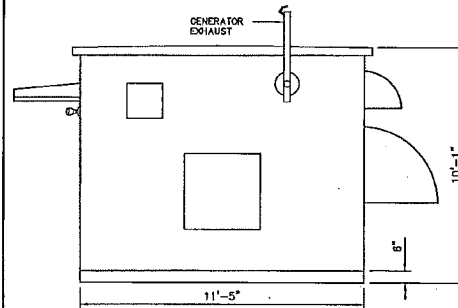
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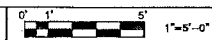
ELEVATION "3"



3



ELEVATION "4"



4

NOTES

1. ALL HATCH PORTS ARE SHIPPED WITH BLANK COVER PLATES. COAK HATCH PLATE IS SHIPPED LOOSE WITH SHELTER AND INSTALLED BY GENERAL CONTRACTOR.
2. GROUND BAR AND CANOPY ARE SHIPPED LOOSE WITH SHELTER AND INSTALLED BY GENERAL CONTRACTOR.
3. PROPOSED SHELTER TO MATCH EXISTING Z BRICK ON EXISTING SMOKE STACK AND SCHOOL.



LANDLORD/PROPERTY OWNER SIGNATURE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION AND CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF ILLINOIS.

PRINT NAME: JOHN M. BANKS  
SIGNATURE: *[Signature]*  
DATE: 04/07/14 LICENSE # 25379  
EXP. 06/30/14

IF IN A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER THIS DOCUMENT.

REV	DATE	DESCRIPTION
0	04/07/14	PERMIT/CONSTRUCTION

PROJECT LOCATION:  
BALDWIN LAKE  
MPLSMNU1425  
5880 LEXINGTON AVE N  
SHOREVIEW, MN 55126

DRAWING DESCRIPTION  
SHELTER DETAILS

DRAWING NUMBER  
C-3



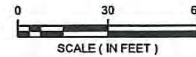
# SITE SURVEY

### SURVEYOR NOTE:

Utilities are per observed evidence and from markings per GOPHER STATE ONE CALL request Ticket No. 13239211, dated 8/27/13.

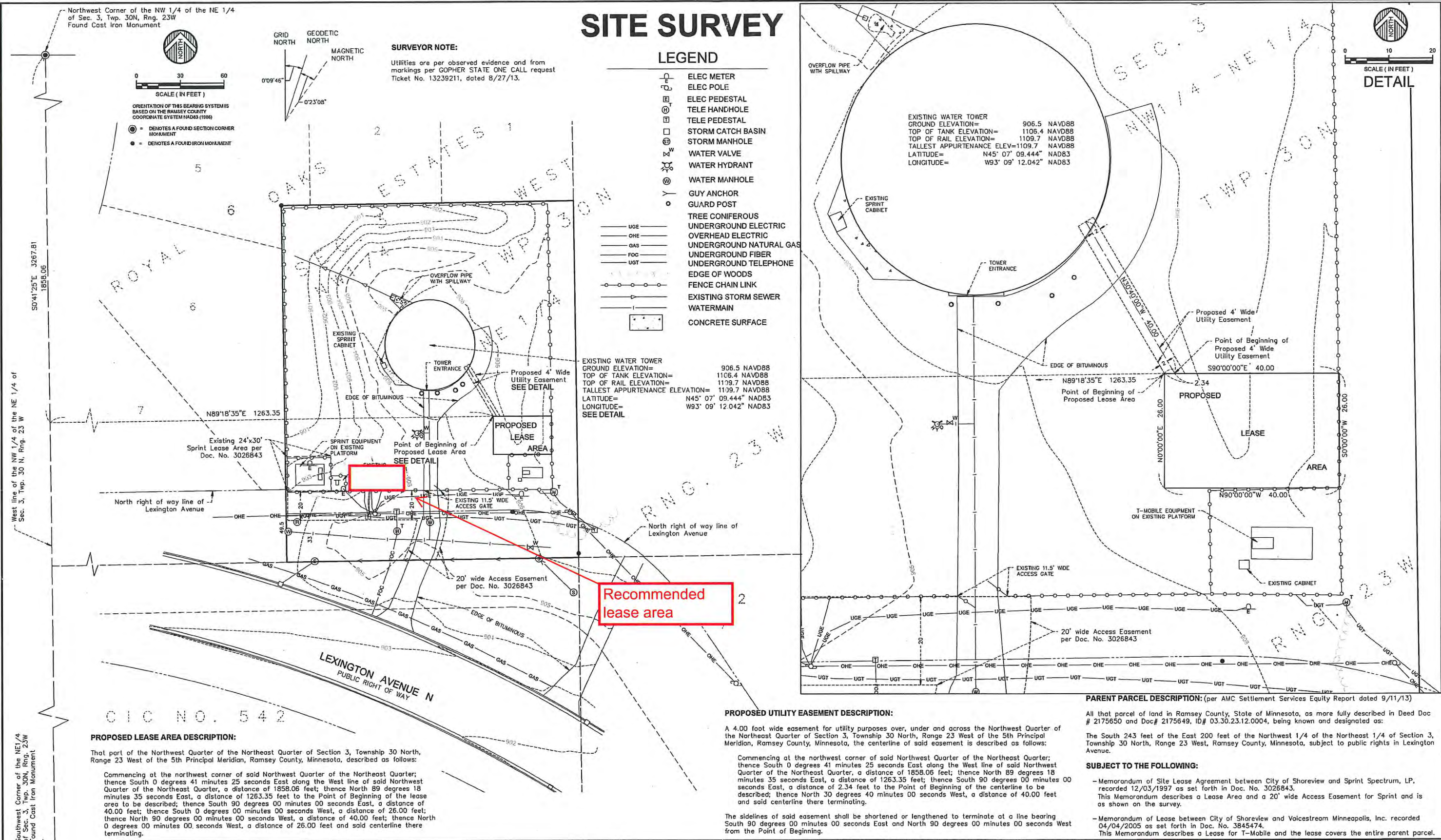
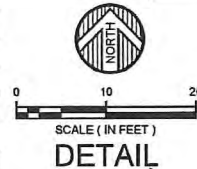
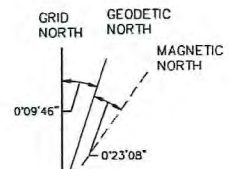
### LEGEND

- ELEC METER
- ELEC POLE
- ELEC PEDESTAL
- TELE HANDHOLE
- TELE PEDESTAL
- STORM CATCH BASIN
- STORM MANHOLE
- WATER VALVE
- WATER HYDRANT
- WATER MANHOLE
- GUY ANCHOR
- GUARD POST
- TREE CONIFEROUS
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- UNDERGROUND NATURAL GAS
- UNDERGROUND FIBER
- UNDERGROUND TELEPHONE
- EDGE OF WOODS
- FENCE CHAIN LINK
- EXISTING STORM SEWER
- WATERMAIN
- CONCRETE SURFACE



ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE RAMSEY COUNTY COORDINATE SYSTEM (NAD83 1196)

- DENOTES A FOUND SECTION CORNER MONUMENT
- DENOTES A FOUND IRON MONUMENT



**PROPOSED LEASE AREA DESCRIPTION:**  
That part of the Northwest Quarter of the Northeast Quarter of Section 3, Township 30 North, Range 23 West of the 5th Principal Meridian, Ramsey County, Minnesota, described as follows:  
Commencing at the northwest corner of said Northwest Quarter of the Northeast Quarter; thence South 0 degrees 41 minutes 25 seconds East along the West line of said Northwest Quarter of the Northeast Quarter, a distance of 1858.06 feet; thence North 89 degrees 18 minutes 35 seconds East, a distance of 1263.35 feet to the Point of Beginning of the lease area to be described; thence South 90 degrees 00 minutes 00 seconds East, a distance of 40.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 26.00 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 40.00 feet; thence North 0 degrees 00 minutes 00 seconds West, a distance of 26.00 feet and said centerline there terminating.

Recommended lease area

**PROPOSED UTILITY EASEMENT DESCRIPTION:**  
A 4.00 foot wide easement for utility purposes over, under and across the Northwest Quarter of the Northeast Quarter of Section 3, Township 30 North, Range 23 West of the 5th Principal Meridian, Ramsey County, Minnesota, the centerline of said easement is described as follows:  
Commencing at the northwest corner of said Northwest Quarter of the Northeast Quarter; thence South 0 degrees 41 minutes 25 seconds East along the West line of said Northwest Quarter of the Northeast Quarter, a distance of 1858.06 feet; thence North 89 degrees 18 minutes 35 seconds East, a distance of 1263.35 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 2.34 feet to the Point of Beginning of the centerline to be described; thence North 30 degrees 40 minutes 00 seconds West, a distance of 40.00 feet and said centerline there terminating.  
The sidelines of said easement shall be shortened or lengthened to terminate at a line bearing South 90 degrees 00 minutes 00 seconds East and North 90 degrees 00 minutes 00 seconds West from the Point of Beginning.

**PARENT PARCEL DESCRIPTION:** (per AMC Settlement Services Equity Report dated 9/11/13)  
All that parcel of land in Ramsey County, State of Minnesota, as more fully described in Deed Doc # 2175650 and Doc# 2175649, ID# 03.30.23.12.0004, being known and designated as:  
The South 243 feet of the East 200 feet of the Northwest 1/4 of the Northeast 1/4 of Section 3, Township 30 North, Range 23 West, Ramsey County, Minnesota, subject to public rights in Lexington Avenue.  
**SUBJECT TO THE FOLLOWING:**  
- Memorandum of Site Lease Agreement between City of Shoreview and Sprint Spectrum, LP, recorded 12/03/1997 as set forth in Doc. No. 3026843.  
This Memorandum describes a Lease Area and a 20' wide Access Easement for Sprint and is as shown on the survey.  
- Memorandum of Lease between City of Shoreview and Voicestream Minneapolis, Inc. recorded 04/04/2005 as set forth in Doc. No. 3845474.  
This Memorandum describes a Lease for T-Mobile and the lease covers the entire parent parcel.



**SITE NAME: BALDWIN LAKE**  
**SITE NUMBER: MPLSMNU1425**  
5880 Lexington Avenue N.  
Shoreview, MN 55126

No.	Date	REVISIONS	By	CHK	APPD

FIELD WORK: 9/3/13    CHECKED BY: BTB    DRAWN BY: JMB/SMK

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.  
SIGNATURE: *Bryan T. Balcome*  
BRYAN T. BALCOME, L.S.  
DATE: 3/31/14    LICENSE # 42594

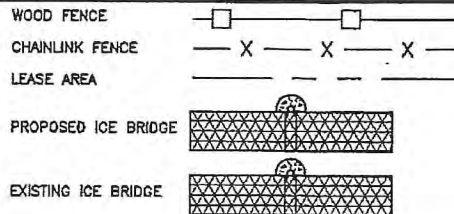
FULL SCALE ON 22x34"  
HALF SCALE ON 11x17"  
0494A0854.001



Engineering  
Architecture  
Surveying  
Environmental



1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED LTE GPS ANTENNA AND TRANSMITTING ANTENNAS.
3. PROPERTY LINES ARE APPROXIMATIONS ONLY.
4. ANTENNAS & MOUNTS OMITTED FOR CLARITY.
5. FOR FIBER TRUNK REF AT&T LTE GUIDE LINES REV. 1.9 PAGE 13 TABLE 2.1.2.
6. FOR DC POWER CABLE TRUNK REF AT&T LTE GUIDE LINES REV 1.9 PAGE 14 TABLE 2.1.3



**NOTES**

**LEGEND**

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE.

THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

**PROPOSED-SITE**

- INSTALL (1) 11'-5"x28'-0" FIBERBOND EQUIPMENT SHELTER
- INSTALL UNDERGROUND CONDUITS FOR CABLING

**PROPOSED-TOWER**

- INSTALL (3) UMTS 850 RRH, 1 PER SECTOR
- INSTALL (3) UMTS 1900 RRH, 1 PER SECTOR
- INSTALL (3) ALCATEL-LUCENT RRH AWS
- INSTALL (3) ALCATEL-LUCENT RRH WCS
- INSTALL (6) ALCATEL-LUCENT RRH LTE 700L P2, 2 PER SECTOR
- INSTALL (6) KMW ET-X-UW-70-15-18-IR-AT ANTENNAS, 2 PER SECTOR
- INSTALL (3) CCL HPA-65R-BUU-H6K ANTENNAS, 1 PER SECTOR
- INSTALL (1) RAYCAP DC6-48-60-0-8F SURGE PROTECTION UNIT
- INSTALL (2) RAYCAP DC6-48-60-18-8F SURGE PROTECTION UNIT
- INSTALL (6) ANDREW P/N MT-537 ANTENNA MOUNTING PIPES
- INSTALL (6) DC POWER CABLES
- INSTALL (3) FIBER CABLE

**PROPOSED-SHELTER**

- INSTALL (1) EMERSON POWER BAY
- INSTALL (1) PROPOSED EMERSON BATTERY STACK
- INSTALL (2) 23" FF RACK(S)



4300 MARKET POINTE DRIVE  
BLOOMINGTON, MN 55435



**WIRELESS**  
ENGINEERING GROUP  
1501 E. WOODFIELD ROAD  
SUITE 300 EAST  
SCHAUMBURG, IL 60173



604 FOX GLEN  
BARRINGTON, IL 60010  
TELEPHONE: 847-277-0070  
FAX : 847-277-0080  
AE@westchesterservices.com



604 FOX GLEN  
BARRINGTON, IL 60010  
TELEPHONE: 847-277-0070  
FAX : 847-277-0080

**LANDLORD/PROPERTY OWNER SIGNATURE**

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: JOHN M. BANKS

SIGNATURE: *[Signature]*

DATE: 04/07/14 LICENSE # 26378

EXP. 06/30/14

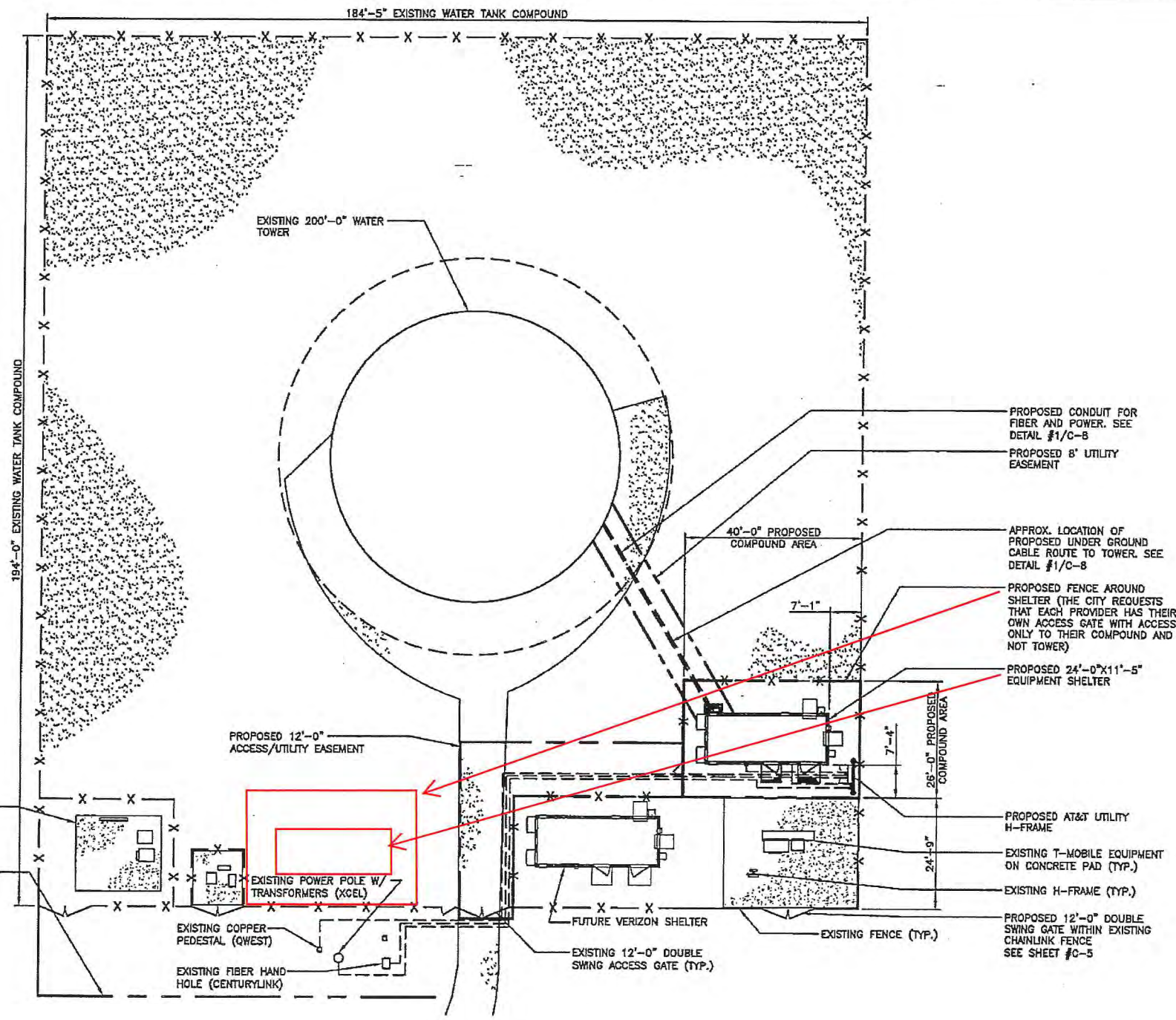
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REV	DATE	DESCRIPTION
0	04/07/14	PERMIT/CONSTRUCTION

**PROJECT LOCATION:**  
BALDWIN LAKE  
MPLSMNU1425  
5880 LEXINGTON AVE N  
SHOREVIEW, MN 55126

**DRAWING DESCRIPTION**  
COMPOUND PLANS

**DRAWING NUMBER**  
C-1



**COMPOUND PLAN**



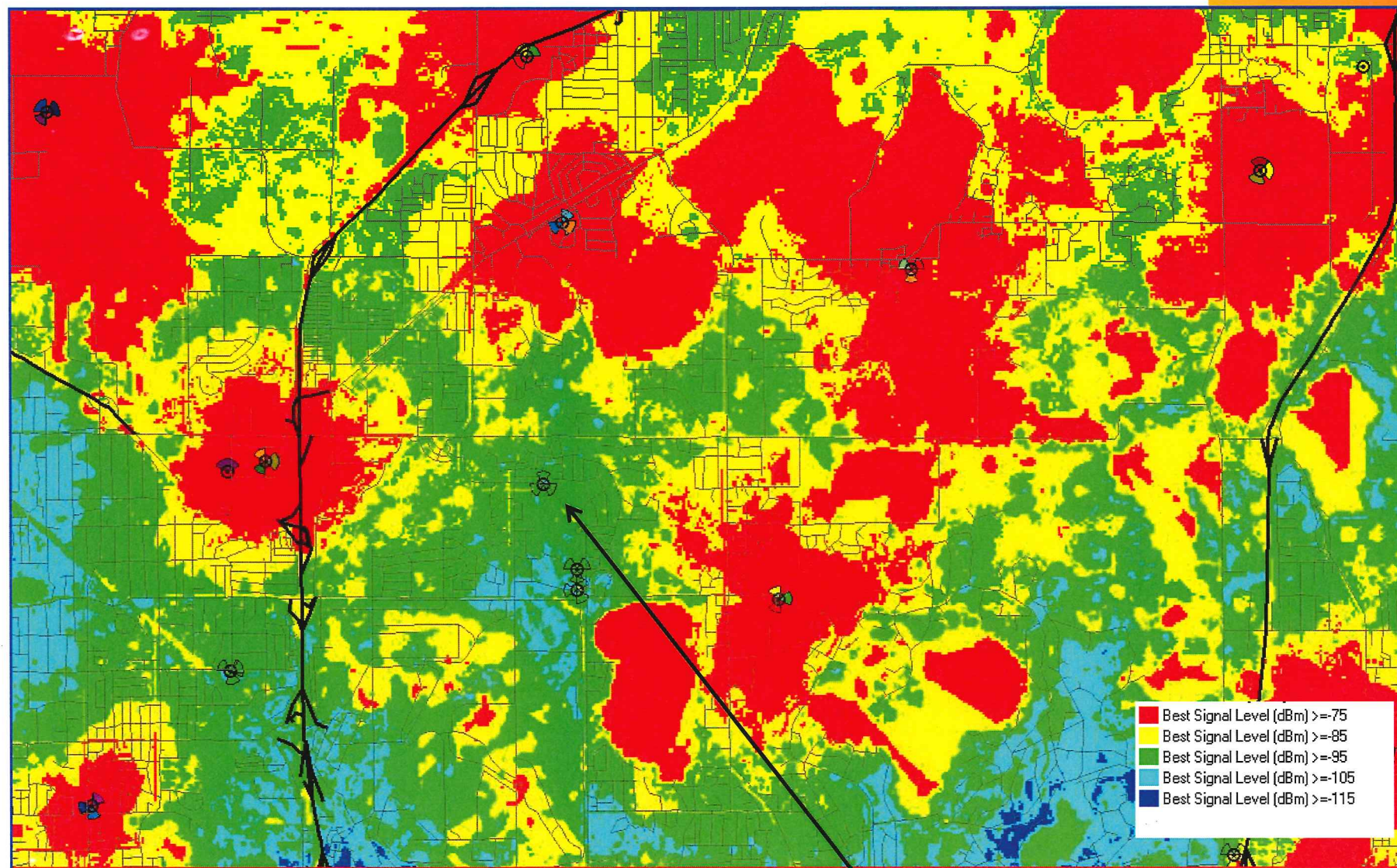
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**PROJECT DESCRIPTION**





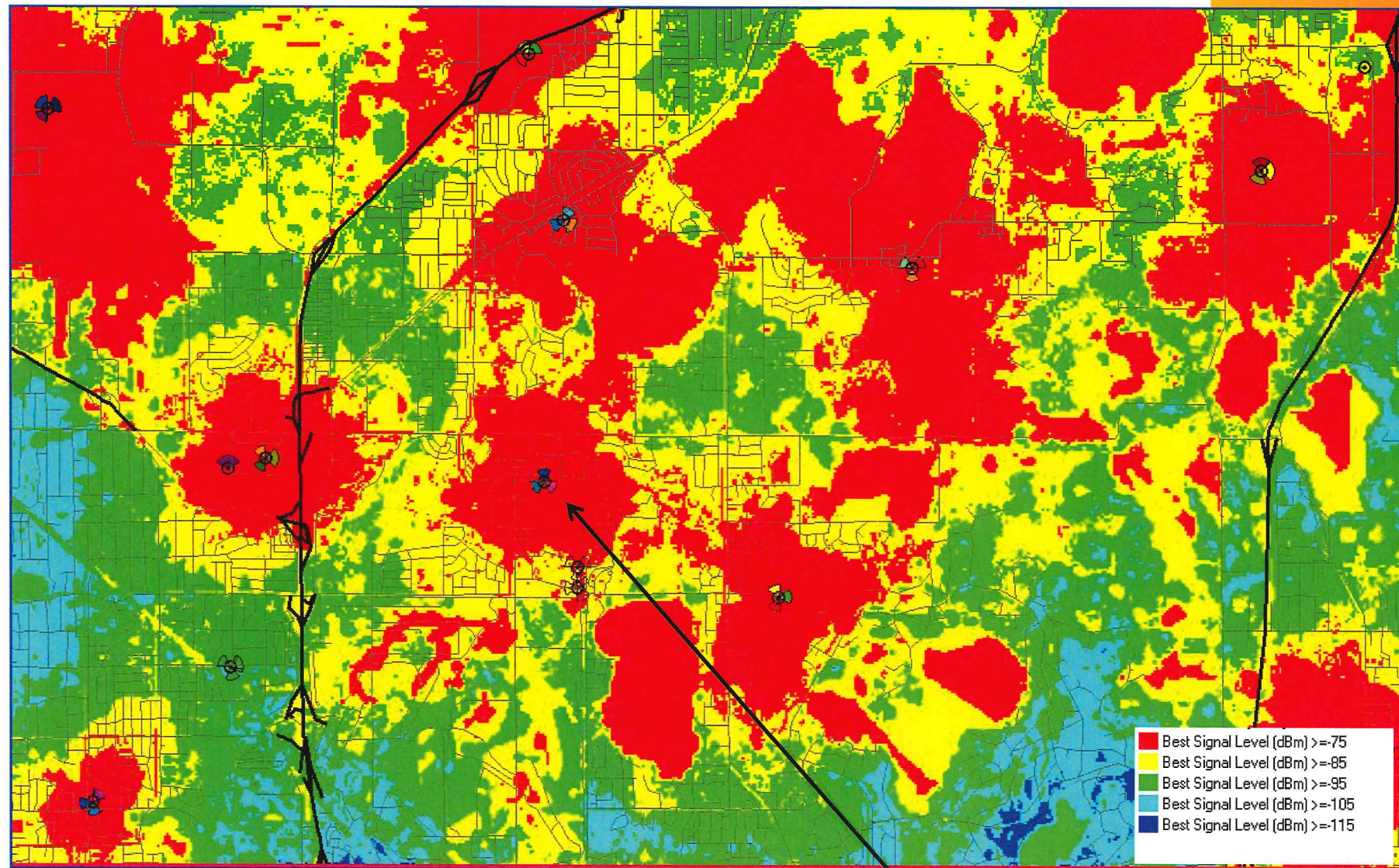
## Existing Coverage



5880 Lexington Ave.



# CANDIDATE A WT 145 FT RAD



5880 Lexington Ave.



City Council:  
Sandy Martin, Mayor  
Emy Johnson  
Terry Quigley  
Ady Wickstrom  
Ben Withhart



City of Shoreview  
4600 Victoria Street North  
Shoreview, MN 55126  
651-490-4600 phone  
651-490-4699 fax  
www.shoreviewmn.gov

July 9, 2014

REQUEST FOR COMMENT

Dear Shoreview Property Owner:

Please be advised that on **Tuesday, July 22, 2014 at 7:00 p.m.**, the Shoreview Planning Commission will review an application submitted by SAC Wireless on behalf of New Cingular Wireless PCS, LLC (AT&T) for a Wireless Telecommunications Facilities (WTF) permit proposed to be located on the **City of Shoreview north water tower, 5880 Lexington Avenue**. AT&T provides wireless telecommunications services throughout the US, including the Twin Cities Metropolitan area.

AT&T proposes placing antennas on the exterior of the water tower, with associated radio equipment and cables mounted inside the water tower pedestal. A 12 by 28 foot prefabricated shelter will be installed to house equipment cabinets and an emergency power generator. Please see the attached location map and proposed plans.

You are encouraged to fill out the bottom portion of this form and return it if you have any comments or concerns. Your comments should be submitted by **Thursday, July 17th** to be included in the Planning Commission agenda packet. Comments received after that date but before the meeting date will be distributed at the Planning Commission meeting. You are also welcome to attend the meeting. The meeting is held at City Hall, 4600 N. Victoria Street in the City Council Chambers.

If you would like more information or have any questions, please call me at 651-490-4681 between 8:00 a.m. and 4:30 p.m., Monday through Friday. You may leave a voice mail message at any time. I can also be reached via e-mail at [rwarwick@shoreviewmn.gov](mailto:rwarwick@shoreviewmn.gov).

Sincerely,  
  
Rob Warwick  
Senior Planner

VED  
JUL 16 2014

Comments:

We live very close to the water tower. We are very concerned about the health impact of additional antennas ~~to be~~ placed on the ~~water tower~~ tower. I think the applicant has to show evidence that the antennas have ~~no~~ no safety ~~and~~ and health impact to people living nearby.

Secondly, the antennas placement on the tower could potentially

t:\surveys\2528-14-18 AT&T north tower.doc

impact the ~~the~~ market value of houses near the water tower.

Name: Wei Cao

Address: 1265 Bucher Ave

City Council:  
Sandy Martin, Mayor  
Emy Johnson  
Terry Quigley  
Ady Wickstrom  
Ben Withhart



City of Shoreview  
4600 Victoria Street North  
Shoreview, MN 55126  
651-490-4600 phone  
651-490-4699 fax  
www.shoreviewmn.gov

July 9, 2014

REQUEST FOR COMMENT

Dear Shoreview Property Owner:

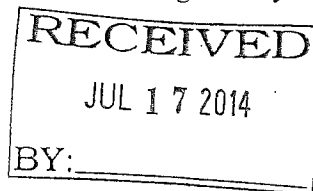
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Sincerely,  
  
Rob Warwick  
Senior Planner



Comments:

what is negative impact on public health?  
my house is only about 100 meters away from the  
water tower.

t:\surveys\2528-14-18 AT&T north tower.doc

Name: Lillian Ceri

Address: 1244 Bacher Ave, Shoreview, MN 55126



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## Re: Request for Comment - AT&T Wireless Installation

---

Tom Skwarek <trskwarek@comcast.net>  
To: rwarwick@shoreviewmn.gov

Wed, Jul 16, 2014 at 8:49 PM

Mr. Warwick,

My name is Tom Skwarek, and I live at 1224 Woodcrest Ave.

I have received the Request for Comment and would like to offer the following comments regarding the AT&T Wireless Installation to be located at the north Shoreview water tower.

1. Please do not use power generators during the construction and installation of the antennas. In the past power generators were used creating a large noise profile while they constructed the equipment cage and placed the antennas. Backup power should be battery packs. Power generators for emergency backup should not be allowed.

2. There has been an insufficient amount of landscaping around the ground structures, leaving an eyesore of equipment to look at. With the adjacent property about to be developed, more neighbors will have to look at the equipment cages without any landscaping, shrubs, evergreens to hide the equipment. I believe in the past, some evergreens were placed on the Lexington side of the equipment and were not properly watered and subsequently either died or have shriveled in size. Landscaping was promised but in the past was insufficient and the landscaping installed was neglected and died.

3. The Verizon equipment building that has been erected (Brick look prefab building) is a visual eyesore. For the Verizon request for comments, no information was provided on the building look and or the visual sight lines we now have from our house. Just planting vine does not cover the building from our upstairs view points and we no idea of how bad this was going to be prior to the installation. Like the original t-mobile installation we had no idea of how bad the sightlines will be, until after we are stuck with the installation. This needs to stop.

4. The planned installation location of the AT&T building is closer to our house. From our conversation today, you mentioned the building has air conditioning units on the building. The water tower structure acts like a megaphone and noise from these air conditioning units will be an unwanted part of our backyard experience. The water tower amplifies all sound in and around the tower. We hear everything.

be. Additionally the location of the building requires access from the easement on the Pulte side of the property. While this is city property, I can speak for myself and one of the new neighbors, we don't want maintenance workers in our backyards. We would demand that they stay out on the Lexington side of the water tower in plain view of the public. This will help prevent unauthorized individuals from accessing this are of the property.



5. The planned AT&T building location will be closer to our house and with no input on the visual aesthetics, the eye-sore created by the Verizon building will now be even worse.
6. The building will be visited by AT&T maintenance personal creating more noise events and or future upgrades will be on our side of the water tower creating more commotion and noise. With three sets of wireless installations on "our side" and closest to my house and the new Pulte dwellings, this will be an unnecessary burden.
7. This building should be put on the other side of the tower nearest the gate and not in the planned location. It will bring additional noise, maintenance, and be a visual eye-sore, resulting in a lesser backyard quality of life for my home and future adjacent Pulte homeowners.

Regards,

Tom Skwarek  
1224 Woodcrest Ave

ATTACHMENTS FOR









FILE NO. 2526-14-16

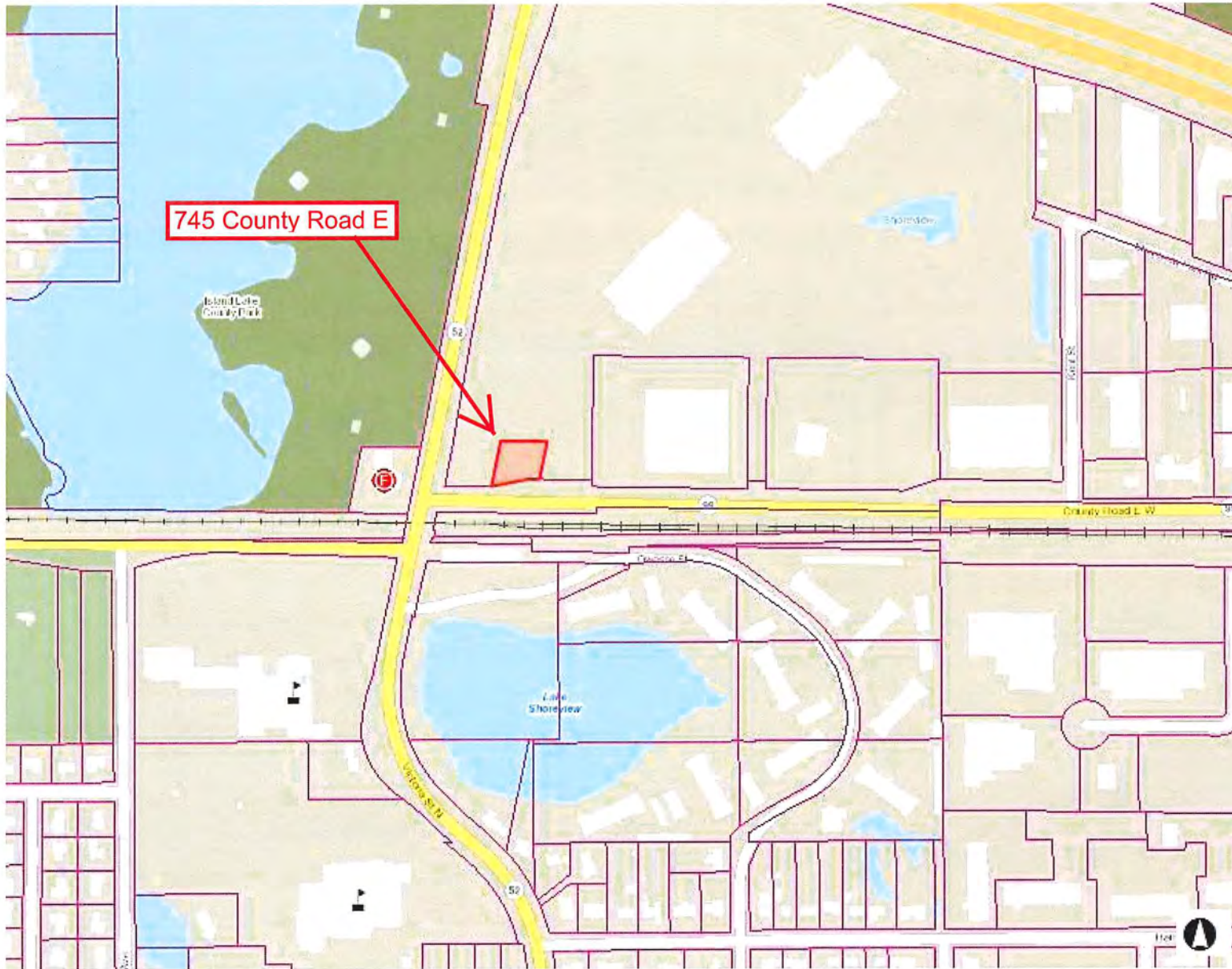
SAC WIRELESS/NEW CINGULAR WIRELESSPCS LLC

745 COUNTY ROAD E

## Legend



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  Recreational Centers
-  Parcel Points
-  Parcel Boundaries

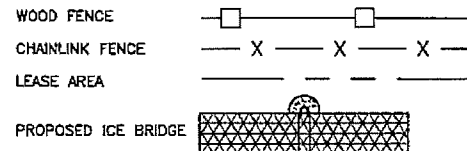


## Notes

Enter Map Description

952.2 0 476.12 952.2 Feet

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED LTE GPS ANTENNA AND TRANSMITTING ANTENNAS.
3. PROPERTY LINES ARE APPROXIMATIONS ONLY.
4. ANTENNAS & MOUNTS OMITTED FOR CLARITY.
5. FOR FIBER TRUNK REF AT&T LTE GUIDE LINES REV. 1.9 PAGE 13 TABLE 2.1.2.
6. FOR DC POWER CABLE TRUNK REF AT&T LTE GUIDE LINES REV 1.9 PAGE 14 TABLE 2.1.3



**NOTES**

**LEGEND**

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE.

THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

PROPOSED-SITE

INSTALL (1) 11'-5"x28'-0" FIBERBOND EQUIPMENT SHELTER  
 INSTALL (1) H-FRAME W/ (1) SINGLE METER PANEL & (1) HOFFMAN BOX

PROPOSED-TOWER

INSTALL (3) UMTS 850 RRH, 1 PER SECTOR  
 INSTALL (3) UMTS 1900 RRH, 1 PER SECTOR  
 INSTALL (3) ALCATEL-LUCENT RRH AWS (1 PER SECTOR)  
 INSTALL (3) ALCATEL-LUCENT RRH WCS (1 PER SECTOR)  
 INSTALL (6) ALCATEL-LUCENT RRH LTE 700L P2, 2 PER SECTOR  
 INSTALL (9) ANDREW SBNHH-1D65C ANTENNAS, 3 PER SECTOR  
 INSTALL (1) RAYCAP DCS-48-60-0-BF SURGE PROTECTION UNIT  
 INSTALL (2) RAYCAP DCS-48-60-18-BF SURGE PROTECTION UNIT  
 INSTALL (8) P1000 UNISRUTS  
 INSTALL (6) DC POWER CABLES  
 INSTALL (3) FIBER CABLE

PROPOSED-SHELTER

INSTALL (1) EMERSON POWER BAY  
 INSTALL (1) PROPOSED EMERSON BATTERY STACK  
 INSTALL (2) 23" RIF RACK(S)



4300 MARKET POINTE DRIVE  
 BLOOMINGTON, MN 55435



**WIRELESS**  
 ENGINEERING GROUP  
 1501 E. WOODFIELD ROAD  
 SUITE 300 EAST  
 SCHAUMBURG, IL 60173



604 FOX GLEN  
 BARRINGTON, IL 60010  
 TELEPHONE: 847-277-0070  
 FAX : 847-277-0080  
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LANDLORD/PROPERTY OWNER SIGNATURE

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PRINT NAME: JOHN M. BANKS

SIGNATURE: *[Signature]*

DATE: 05/02/14 LICENSE # 26379

EXP. 05/30/14

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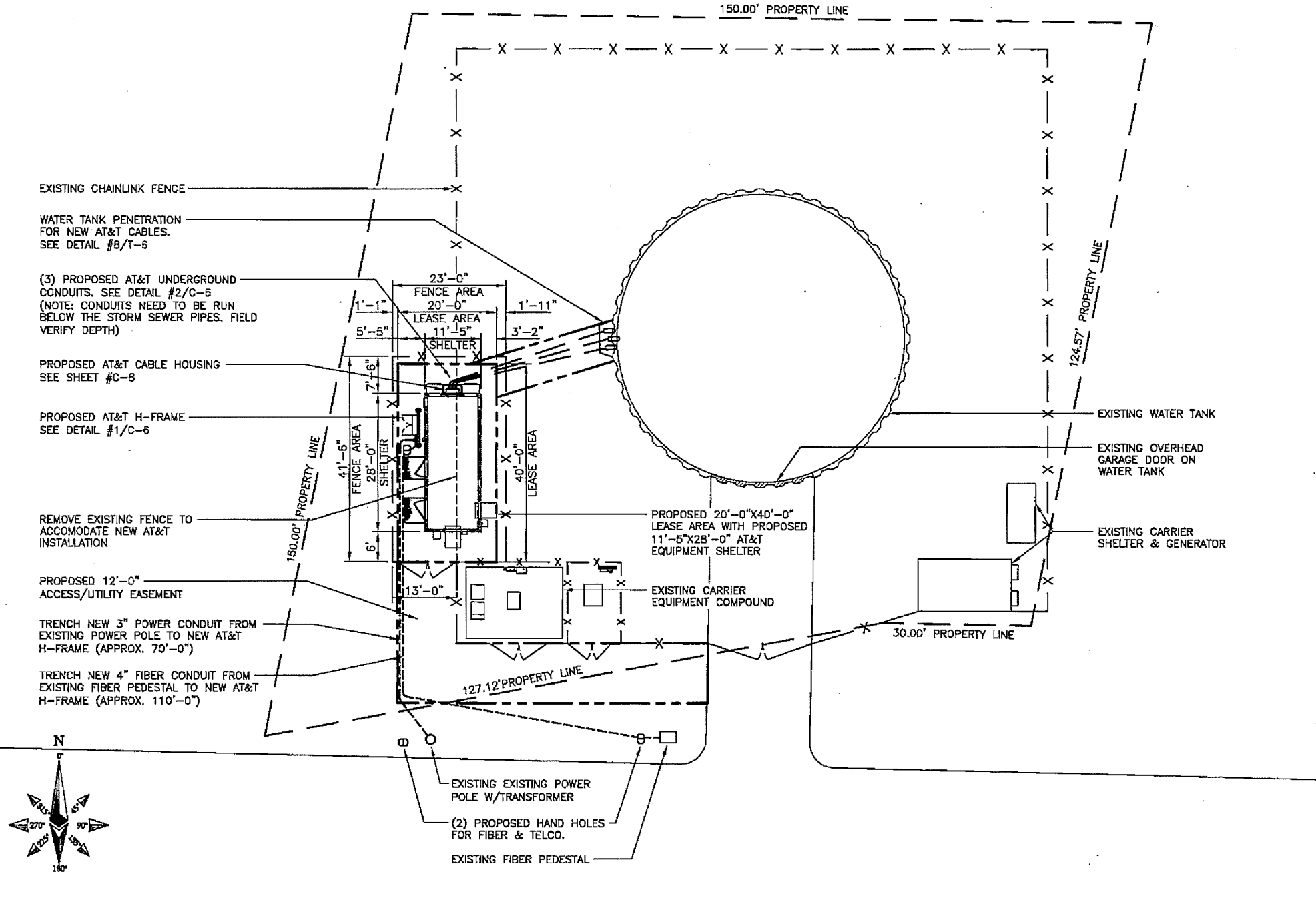
REV	DATE	DESCRIPTION
1	05/02/14	REVISED PERMIT/CONSTRUCTION
0	04/03/14	PERMIT/CONSTRUCTION

**PROJECT LOCATION:**  
 LAKE SHOREVIEW  
 MPLSMNU3280  
 745 COUNTY ROAD E  
 SHOREVIEW, MN 55126

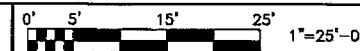
**DRAWING DESCRIPTION**  
 OVERALL SITE PLAN

**DRAWING NUMBER**

C-1



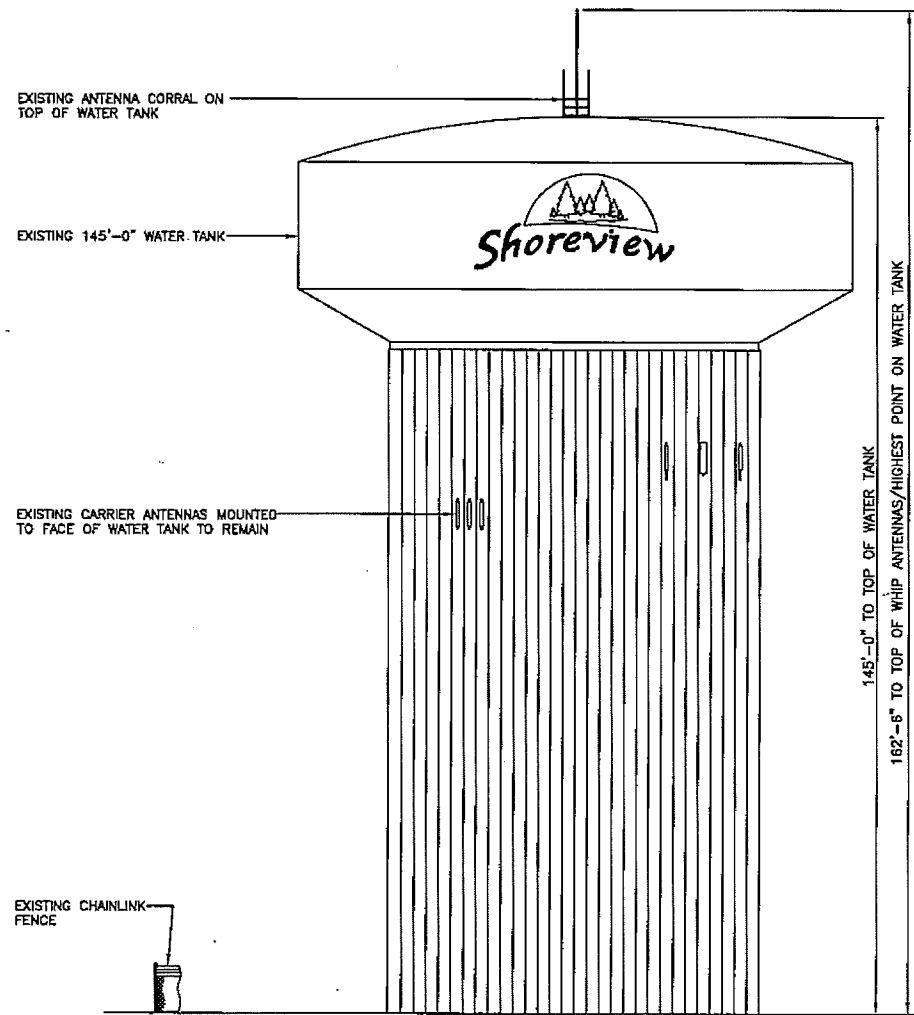
OVERALL SITE PLAN



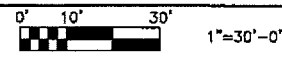
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PROJECT DESCRIPTION

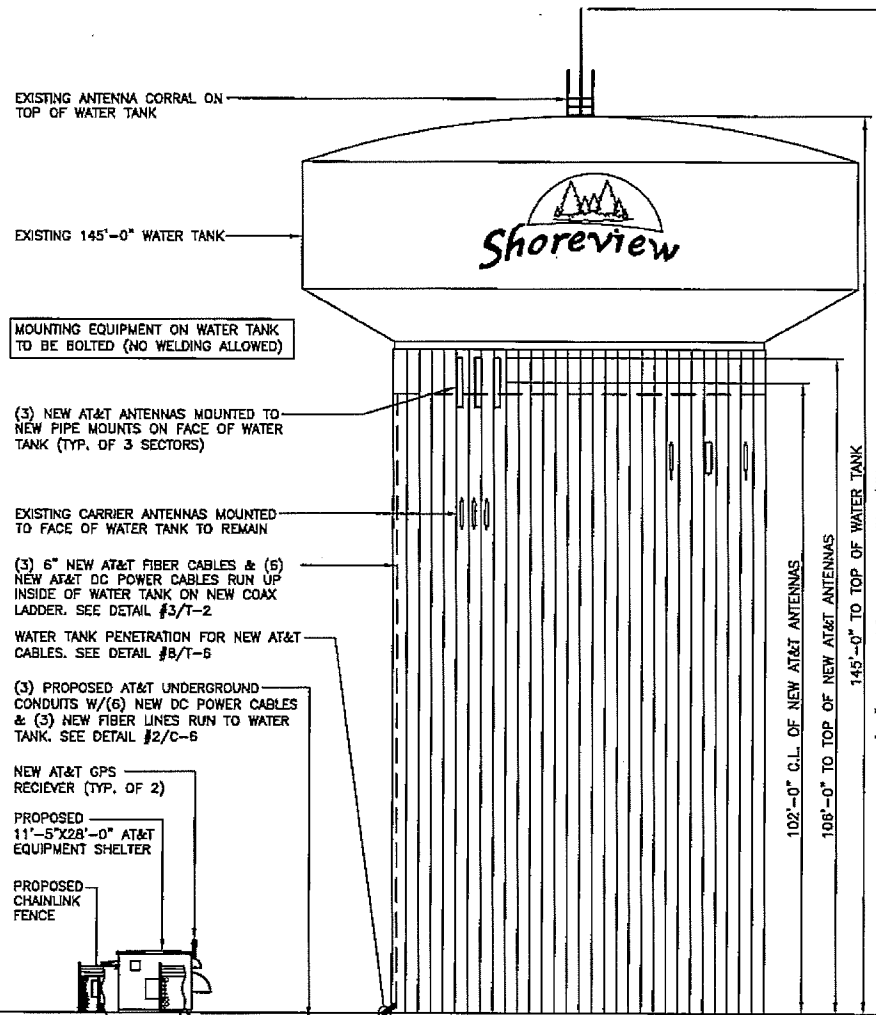




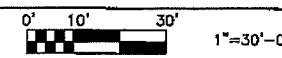
EXISTING WATER TANK ELEVATION



1



PROPOSED WATER TANK ELEVATION



2

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PROPOSED-SITE

INSTALL (1) 11'-5"x28'-0" FIBERBOND EQUIPMENT SHELTER  
 INSTALL (1) H-FRAME W/ (1) SINGLE METER PANEL & (1) HOFFMAN BOX

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INSTALL (3) UNITS 850 RRH, 1 PER SECTOR  
 INSTALL (3) UNITS 1900 RRH, 1 PER SECTOR  
 INSTALL (3) ALCATEL-LUCENT RRH AWS (1 PER SECTOR)  
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 INSTALL (3) FIBER CABLE

PROPOSED-SHELTER

INSTALL (1) EMERSON POWER BAY  
 INSTALL (1) PROPOSED EMERSON BATTERY STACK  
 INSTALL (2) 23" FIB RACK(S)

PROJECT DESCRIPTION

THESE DRAWINGS HAVE BEEN CREATED BASED ON THE ASSUMPTION THE STRUCTURAL ANALYSIS WILL SHOW THAT THE TOWER HAS SUFFICIENT CAPACITY TO SUPPORT THE PROPOSED NEW LOADS. INSTALLATION OF THE COAX AND ANTENNAS SHALL COMMENCE AFTER A PASSING STRUCTURAL ANALYSIS HAS BEEN RECEIVED BY THE OWNER OR AT&T HAS REVIEWED AND APPROVED A STRUCTURAL ANALYSIS BY THE DESIGN ENGINEER.

STRUCTURAL NOTE



4300 MARKET POINTE DRIVE  
 BLOOMINGTON, MN 55435



WIRELESS  
 ENGINEERING GROUP  
 1501 E. WOODFIELD ROAD  
 SUITE 300 EAST  
 SCHAUMBURG, IL 60173



604 FOX GLEN  
 BARRINGTON, IL 60010  
 TELEPHONE: 847-277-0070  
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PRINT NAME: JOHN M. BANKS  
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REV	DATE	DESCRIPTION
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0	04/03/14	PERMIT/CONSTRUCTION

PROJECT LOCATION:  
 LAKE SHOREVIEW  
 MPLSMNU3280  
 745 COUNTY ROAD E  
 SHOREVIEW, MN 55126

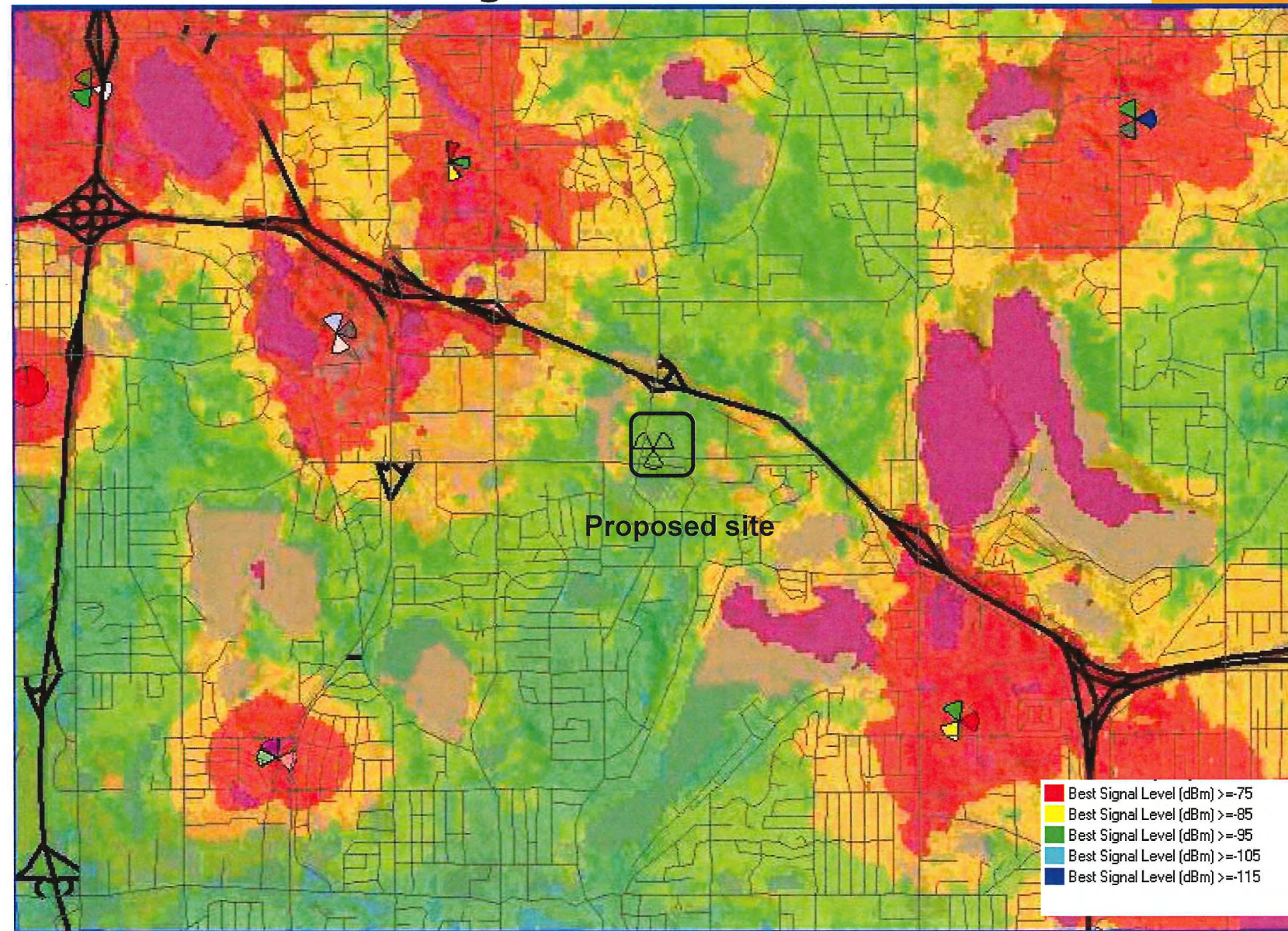
DRAWING DESCRIPTION

WATER TANK ELEVATION

DRAWING NUMBER

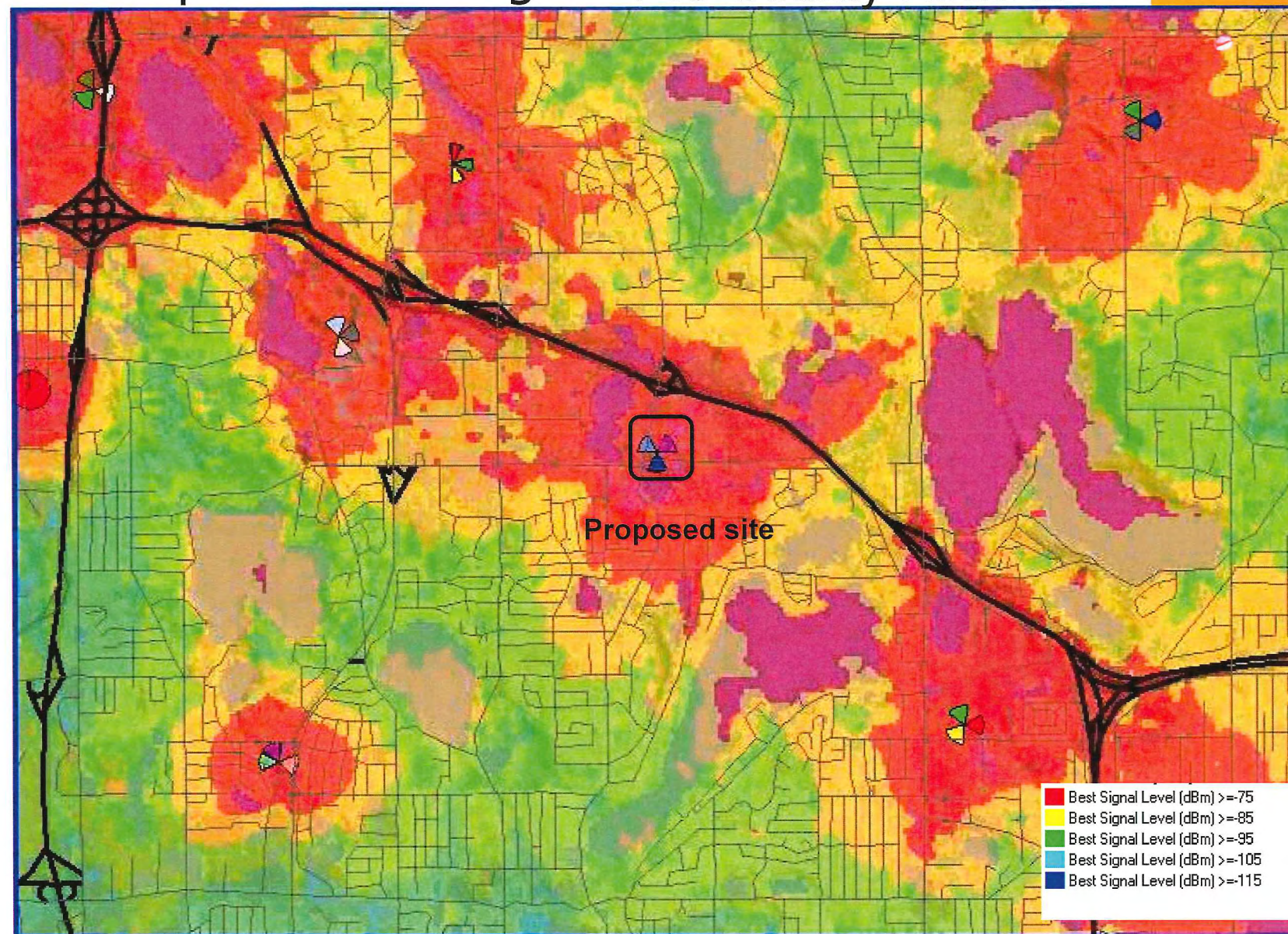
T-1

## Current Coverage 745 County Road E





# Proposed coverage. 745 County Road E



PROPOSED MOTIONS FOR

FILE NO. 2528-14-18

SAC WIRELESS/NEW CINGULAR WIRELESSPCS LLC

5880 LEXINGTON AVENUE

FILE NO. 2526-14-16

SAC WIRELESS/NEW CINGULAR WIRELESSPCS LLC

745 COUNTY ROAD E



## PROPOSED MOTION

MOVED BY COMMISSIONMEMBER \_\_\_\_\_

SECONDED BY COMMISSIONMEMBER \_\_\_\_\_

To recommend to the City Council approval of the Wireless Telecommunications Facility Permit application for SAC Wireless/New Cingular Wireless PCS LLC to collocate antenna on the existing City-owned water tower located at 5880 Lexington Avenue, and to install an equipment shelter within a 26 by 40 leased area, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Wireless Telecommunications Facility Permit application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval is contingent upon the City Council authorizing the lease with New Cingular Wireless PCS LLC, including the 26 by 40 foot equipment site and an easement for ingress and egress.
3. The site plan, lease area and access/utility easements shall be revised to use the area east of the existing Clearwire equipment area for the AT&T lease area and shelter location.
4. The construction plans shall be revised in accordance with the comments of the City's engineering consultant, SEH.
5. A landscape plan shall be submitted for approval by the City Planner. The landscaping shall be planted to provide visual screening of the equipment structure from Lexington Avenue.
6. The site is subject to confirmation that RF emissions conform to FCC requirements. New Cingular Wireless PCS LLC shall notify the City when the system is installed, prior to operation. A City selected RF engineer shall be provided access to the site to test RF emissions.
7. The site shall bear necessary OSHA required warnings regarding RF emissions.
8. A permanent emergency power generator may be installed within the equipment shelter. The emergency power generator shall be used for emergency power only, except the times it is being run for routine maintenance, which shall not exceed thirty (30) minutes once a week between the hours of 4:00PM and 6:00PM CST, Monday through Friday, holidays excluded. The operation of the emergency generator shall comply with City regulations pertaining to Noise (Section 209.020 of the Municipal Code).
9. The applicant shall enter into a Wireless Telecommunications Tower/Antenna Agreement with the City, as required.

Approval is based on the following findings of fact:

1. The site is located in the TOD-2 where wireless telecommunications facilities collocated on an existing tower is a permitted use.
2. The proposal complies with the adopted City standards for Wireless Telecommunications Facilities, as specified in Section 207.040 of the Municipal Code.

**VOTE:**      **AYE** \_\_\_\_\_  
                  **NAY** \_\_\_\_\_

Regular Planning Commission Meeting, July 22, 2014

## PROPOSED MOTION

MOVED BY COMMISSIONMEMBER \_\_\_\_\_

SECONDED BY COMMISSIONMEMBER \_\_\_\_\_

To recommend to the City Council approval of the Wireless Telecommunications Facility Permit application for New Cingular Wireless PCS LLC to collocate antenna on the existing City-owned water tower located at 745 County Road E, and to install an equipment shelter within a 20 by 40 leased area, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Wireless Telecommunications Facility Permit application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval is contingent upon the City Council authorizing the lease with New Cingular Wireless PCS LLC, including the 20 by 40 foot equipment site and an easement for ingress and egress.
3. The construction plans shall be revised in accordance with the comments of the City's engineering consultant, SEH.
4. A landscape plan shall be submitted for approval by the City Planner. The landscaping shall be planted to provide visual screening of the equipment structure from Victoria Street.
5. The site is subject to confirmation that RF emissions conform to FCC requirements. New Cingular Wireless PCS LLC shall notify the City when the system is installed, prior to operation. A City selected RF engineer shall be provided access to the site to test RF emissions.
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**VOTE:**      **AYE** \_\_\_\_\_  
                  **NAY** \_\_\_\_\_

Regular Planning Commission Meeting, July 22, 2014