

**AGENDA
PLANNING COMMISSION MEETING
CITY OF SHOREVIEW**

DATE: MARCH 25, 2014
TIME: 7:00 PM
PLACE: SHOREVIEW CITY HALL
LOCATION: 4600 NORTH VICTORIA

1. CALL TO ORDER

**ROLL CALL
APPROVAL OF AGENDA**

2. APPROVAL OF MINUTES

*February 25, 2014
Brief Description of Meeting Process – Steve Solomonson*

3. REPORT ON CITY COUNCIL ACTIONS:

Meeting Date: March 3rd, 2014 and March 17th, 2014

4. OLD BUSINESS

A. RESIDENTIAL DESIGN REVIEW / VARIANCE

*File No: 2516-14-06
Applicant: Jay Hoppe
Location: 707 Schifsky Road*

5. NEW BUSINESS

A. SITE AND BUILDING PLAN REVIEW / COMPREHENSIVE SIGN PLAN

*FILE NO: 2518-14-08
APPLICANT: Cities Edge Architects, LLC / Forstrom & Torgerson, LLP
LOCATION: 1000 Gramsie Road*

B. SITE AND BUIDLING PLAN REVIEW

*FILE NO: 2519-14-09
APPLICANT: City and County Credit Union
LOCATION: 1001 Red Fox Road – PIN 263023233001*

C. PUBLIC HEARING-TEXT AMENDMENT–HOUSING CODE

*FILE NO: 2520-14-10
APPLICANT: City Of Shoreview
LOCATION: City Wide*

6. MISCELLANEOUS

*A. City Council Assignments for April 7th, 2014 and April 21st, 2014 Commission Members
Thompson and Proud*

7. ADJOURNMENT

**SHOREVIEW PLANNING COMMISSION
MEETING MINUTES
February 25, 2014**

CALL TO ORDER

Chair Solomonson called the February 25, 2014 Shoreview Planning Commission meeting to order at 7:00 p.m.

ROLL CALL

The following Commissioners were present: Chair Solomonson, Commissioners, Ferrington,, Peterson, Proud, and Schumer.

Commissioners McCool and Thompson were absent.

Chair Solomonson welcomed newly appointed Planning Commissioner Kent Peterson who filled the vacancy created by Gerry Wenner. Chair Solomonson thanked Former Commissioner Wenner for his many years of service on the Planning Commission.

APPROVAL OF AGENDA

MOTION: by Commissioner Proud, seconded by Commissioner Schumer to approve the February 25, 2014 Planning Commission meeting agenda as submitted.

VOTE: Ayes - 5 Nays - 0

APPROVAL OF MINUTES

Commissioner Proud requested the following changes:

Page 5, last paragraph, second sentence “applicant’s economic situation” should be changed to “applicants’ economic justification.”

Page 7, third paragraph, last sentence should state... “be another six months before there could be a review of the same application,” which is to delete the word “and.”

MOTION: by Commissioner Schumer, seconded by Commissioner Ferrington to approve the January 28, 2013 Planning Commission meeting minutes, as amended.

VOTE: Ayes - 4 Nays - 0 Abstain - 1 (Peterson)

REPORT ON CITY COUNCIL ACTIONS:

Presentation by City Planner Kathleen Castle

The City Council approved the following applications forwarded by the Planning Commission:

- Planned Unit Development, Development Stage Review and Comprehensive Plan Amendment for Hummingbird Floral & Gifts
- Text Amendment for Subsurface Sewage Treatment Systems
- Wireless Telecommunication Facility Permit for Crown Castle
- United Properties for Redevelopment with Senior Housing at 4785 Hodgson and 506 Tanglewood
- Pulte Homes for a 25-Lot Subdivision at 5878 Lexington

NEW BUSINESS

RESIDENTIAL DESIGN REVIEW/VARIANCE

FILE NO.: 2516-14-06
APPLICANT: JAY HOPPE
LOCATION: 707 SCHIFSKY ROAD

Presentation by Senior Planner Rob Warwick

The applicant seeks the following variances for a house addition:

- Increase permitted foundation area from the existing 1,759 square feet(28.6%) to 2,057 sq. ft. (33.4%).
- Increase permitted impervious surface from 2,775 square feet (45.1%) to 2,969 square feet (48.3%)
- Reduce the front setback from the south lot line from 25 feet to 12 feet
- Reduce the rear setback from the north lot line from the minimum 30 feet to 1.1 feet

A Residential Design Review is required because the property does not conform to the minimum lot requirements for a riparian lot since the lot area is 6,150 square feet, less than the 15,000 sq. ft. minimum area for a standard lot. The lot has frontage on the east side of Turtle Lake and is developed with a one-story house and attached garage. Access is from the south. The existing storage shed located on the lakeside of the property would be removed. The improvements include:

- A 15- by 30.5-foot (457 sq. ft.) partial second story;
- A 2- by 14-foot (28 sq. ft.) onto the west lakeside of the house;
- A 5- by 7-foot (35 sq. ft.) front entry stoop (12 feet from the front property line); and
- A 10- by 22-foot (220 sq. ft.) garage addition (1.1 feet from the north lot line).

The property is zoned R1, Detached Residential and is in the Shoreland District for Turtle Lake. The structure setback from the Ordinary High Water (OHW) is in compliance, but variances are needed from the front (south) and rear (north) lot lines. The Building Official notes that construction less than 5 feet from the property line must use methods that retard the spread of

fire. The proposed 1.1 foot setback for the garage creates impacts for construction and stormwater management.

The applicant justifies the variance requests stating that practical difficulty exists with the lack of storage space for lake recreation equipment. The house has no basement.

The neighborhood has poor soils and a high water table, which is why houses are developed on slabs or over crawl spaces. The lake lots are small with a high percentage of impervious coverage. There are larger homes and garages on non-riparian lots to the east on Schifsky Road.

Staff believes there is practical difficulty for the front and rear setback variance requests. The required setbacks of 25 feet for the front and 30 feet for the rear would exceed the depth of the entire lot. There is no buildable area without variance relief. Any expansion would require a variance, which is a practical difficulty and unique circumstance.

Staff finds less reason for practical difficulty for the foundation area of the house and impervious surface. The existing foundation area and impervious surface exceed current regulations and can be reused. The proposed improvements seem to exceed development capacity of the site and are too intense. City standards for impervious surface coverage are stricter for riparian lots to minimize impact to water quality.

Property owners within 150 feet were notified of the application. One resident responded with concern about construction, parking and storage. No written comments were received.

Staff finds that the proposed improvements are too intense for the property and is recommending denial of the variance requests and Residential Design Review.

Commissioner Ferrington asked if the stoop would be included in the foundation area calculation. Mr. Warwick answered yes, and noted the cantilevered portion and the addition are all included in the foundation area. She further asked if the proposed pervious pavers to replace the patio are counted as impervious surface. Mr. Warwick responded that it is questionable whether the pavers will be effective because of the high water table.

Chair Solomonson asked if the existing front setback is 12 feet. Mr. Warwick stated that it is now 14 feet. Chair Solomonson noted a 15-foot driveway easement for access to 703 Schifsky. Mr. Warwick stated that only a small portion of that easement would count as impervious surface on the applicant's property since it is largely located on the property at 703 Schifsky.

Commissioner Ferrington asked the width of the easement. Mr. Warwick explained that Schifsky Road is a 40-foot right-of-way which terminates approximately 15 feet east of the corner of 707. South of 707 there is a parcel that is a 20-foot strip used as a lake access lot for a group of homeowners. It is privately owned. The parcel south of that strip is a second easement, 10-feet wide, that provides lake access to a different group of homeowners. Neither of those two parcels are buildable, which makes the property at 707 appear more open. Three houses to the south were granted variances for impervious surface using the rationale that they were encumbered with the 30-foot driveway easement.

Commissioner Ferrington asked how this proposal would be impacted by future planned road improvements. Mr. Warwick stated that any rights the City has would unlikely extend past the pavement already installed. Even if improved, the street will not be through. It will be for private use, not public use. Curb and gutter will be added, but he does not anticipate the road becoming much wider.

Commissioner Schumer asked if the driveway at 707 is on the easement. Mr. Warwick stated that it is on the private easement.

Chair Solomonson asked if the proposed second story would have to comply with the Building Official's fire wall requirements. Mr. Warwick answered that the second story would have greater than a 5-foot setback and would not need to comply with the stipulations of the Building Official. Chair Solomonson noted the unique circumstance of the front of 707 being oriented north/south while the front of neighboring homes are oriented east/west.

Mr. Tim Sullivan, RDC Architects, stated that he represents the applicant. Commissioner Ferrington asked him to further explain the 2 foot by 14 foot addition to the living room. **Mr. Sullivan** stated that space was sacrificed to add a front entry. That is the reason for the expansion. He stated that 704 and 708 have similar circumstances, and their variances were approved. There is 200 square foot patio on the southwest corner of 707. He asked if the impervious surface problem would be solved if the shed, patio and sidewalk to the patio were removed. Ms. Castle stated that applicant can maintain the current amount of impervious surface. Anything above that would need a variance.

Mr. Sullivan stated that 707 is the smallest lot on the lake. Access from the side is the reason for needing the variances for setbacks. Front and rear setbacks are being applied to what would otherwise be side setbacks. He is trying to understand why the shed is not considered part of the foundation area, but the cantilever and a roof overhang would be considered part of the foundation area. Mr. Warwick stated that sheds are included in foundation area only when it exceeds 150 square feet. Overhangs are not considered part of the foundation, but cantilevers are part of the foundation.

Mr. Sullivan stated that because of the unique circumstances of this lot, he believes variance relief is warranted for adequate storage space.

Chair Solomonson stated that he agrees there are unique circumstances for this property. He likes the plan and would support it except for the third stall garage, which is too much for this property. The lot is not a standard size. Further expansion on a non-standard small lot does not make sense.

Commissioner Ferrington agreed and added that lot coverage may be taken care of by the architect's suggestion to remove the patio. A nice improvement is the stoop, but she would prefer to not have the 2 foot by 14 foot extension on the lake side. The third stall garage overbuilds the lot. The size of the lot cannot be changed, and some things may need to be stored off-site. She noted that although variances would be needed for a second story addition because

of the existing nonconforming setbacks, if there is no cantilever with the second story, foundation area would not be impacted.

Commissioner Proud stated that one way to solve many problems of this property would be to explore the purchase of additional property to the south, which is only used for ingress and egress. It is a good plan, but he cannot support the variances.

Commissioner Schumer agreed that the third stall garage is too much for the property. He has no problem with the 2 foot by 14 foot extension on the lake side. He cannot support the proposal as it is presented.

Commissioner Peterson stated that he understands the reason to update the home on this nice location, but as presented, it is contrary to Code and does not conform.

Mr. Jay Hoppe, 1010 Sherwood Road, asked if the plan would be acceptable if he were to eliminate the third car stall and would like the opportunity to present such a revised plan.

MOTION: by Commissioner Ferrington, seconded by Commissioner Proud to table this proposal to the next Planning Commission meeting and extend the review period to 120 days.

VOTE: Ayes - 5 Nays - 0

MISCELLANEOUS

City Council Meetings

Commissioners McCool and Chair Solomonson will respectively attend the March 3rd and March 17th City Council meetings.

Workshop

The Planning Commission held a workshop meeting immediately following this meeting.

ADJOURNMENT

MOTION: by Commissioner Schumer, seconded by Commissioner Ferrington to adjourn the meeting at 8:15 p.m.

VOTE: Ayes - 5 Nays - 0

ATTEST:

Kathleen Castle
City Planner

TO: Planning Commission
FROM: Rob Warwick, Senior Planner
DATE: March 20, 2014
SUBJECT: Variance and Residential Design Review Request, Jay Hoppe, 707 Schifsky Road, File No. 2516-14-06

INTRODUCTION AND BACKGROUND

At the February 25th Planning Commission meeting, the Commission tabled variance and residential design review applications submitted by Jay Hoppe for the property located at 707 Schifsky Road. This request was tabled due to concerns regarding the proposed increased impervious coverage and the proposed foundation area. The Commission also extended the review period to 120-days.

In response to comments made by Commissioners, the applicant has revised the plans for the project by reducing the size of the garage addition, adding a storage area above the garage and slightly increasing the living room addition. The proposal no longer requires a variance for impervious surface coverage and the proposed foundation area variance has also been reduced. The proposal requires the following variances:

1. To increase the permitted foundation area by 194 sq. ft., from the existing 1,759 sq. ft. (28.6%) to 1,953 sq. ft. (31.7%).
2. To reduce the front setback from the south lot line from the 25-foot minimum to 12 feet
3. To reduce the rear setback from the north lot line from the 30-foot minimum to 3.1 feet

Residential design review is required because the property does not conform to the minimum lot requirements for a riparian lot. The application was complete January 31, 2014.

PROJECT DESCRIPTION

The subject property is a small riparian lot located at the west end of the public portion of Schifsky Road. The lot has an area of 6,150 sq. ft. and is developed with an 1,760 square foot single-story house, constructed on a slab, and with a 528 square foot two-car attached garage. The house was originally constructed in 1950 and while there have been several additions, there is only one bedroom.

The applicant proposes to remodel and expand the existing structure in order to improve the livability of the structure. The following improvements are proposed:

1. A 15- by 30.5-foot (457 sq. ft.) partial second story which includes two bedrooms and a bathroom
2. A 4- by 14-foot (56 sq. ft.) onto the west lakeside of the house expanding the living room. *Note that the previous plan proposed a 2-foot by 14-foot (28 square foot) addition.;*
3. A 9.5- by 14-foot at-grade deck next to this addition on the lakeside. *Note that the patio previously proposed in the same location has been removed and is being replaced with this deck which does not add impervious surface coverage.*

4. A 5- by 7-foot (35 sq. ft.) front entry stoop;
5. A 4- by 22-foot (88 sq. ft.) garage addition with a storage area above. *Note that the area of the garage addition has been reduced from the 220 square feet previously proposed.*
6. Removal of a 104-square foot storage shed located in the Shore Impact Zone.
7. Removal of a 12-foot by 12-foot patio located on the south side of the home.

The applicant identifies that runoff generated by the house will be managed using gutters with downspouts draining into underground pipes, which will convey and discharge the runoff towards the lakeshore.

Please see the attached plans.

RESIDENTIAL DESIGN REVIEW

The property is located in the R-1 Detached Residential District. The lot has dimensions of 50 feet by about 125 feet, and is a substandard riparian lot due to the small lot area. Staff has determined the south lot line is the front property line, based on access to the property. The dedicated portion of the Schifsky Road ends just east of the subject property. However, the pavement used for access to this parcel and parcels to the south extends about 30 feet along the south lot line. City records do not indicate that other designations have been used in the past.

Design Standards

The Development Ordinance requires residential construction on substandard riparian lots to comply with certain design standards. The standards are summarized in the table below.

STANDARD	ALLOWED	PROPOSED
Lot Coverage	Existing: 2,919 sq. ft. (47.5%)	2,850 square feet (46.3%)
Building Height	35 feet	21.5 feet
Foundation Area	Existing 1,759 sq. ft. (28.6%)	1,953 square feet (31.7%)*
Setbacks:		
OHW (West)	51.85 feet	51.9 feet
Front (South)	25 feet	12 feet*
Side (East)	5 feet for garage	11 feet for garage
Rear (North)	30 feet	3.1 feet*
Architectural Mass	Natural colors	Brown and tan

***Variance required**

The existing lot coverage exceeds the 30% maximum impervious permitted. The Development Code limits impervious surface coverage area to a maximum of 25% of lot area if there is a water oriented structure, 30% of lot area if there is no water oriented structure, or to the existing impervious area, whichever is greater. The removal of the existing water oriented structure, and existing concrete patio offset the added impervious of the proposed additions resulting in a net reduction (69 sq. ft.) in impervious coverage, and so in compliance with Code.

The proposal requests an increase in the foundation area from the existing 1,759 square feet to 1,953 square feet. The Development Code limits foundation area to a maximum of 18% of lot area, 1,600 square feet or the existing foundation area, whichever is greater. A variance is requested to permit the proposed increase of 194 square feet as it represents an increase from the existing area. Again, the proposed foundation area has been reduced from the previous 2,057 square feet proposed.

Regarding structure setbacks, the home currently encroaches upon the required structure setbacks from the front and rear property lines. The existing dwelling is setback 14 feet from the front (south) lot line, less than the 25-foot minimum requirement. Covered landings may encroach 5-feet into this required setback. The proposed covered landing will be setback 12 feet from the front lot line. The second story addition also encroaches on the minimum setbacks required and is included in this variance request.

The proposed garage addition will be setback about 25 feet from the front lot line, 11 feet from the east side lot line, and 3.1 feet from the rear (north) lot line. The existing garage is located 1.1 feet from the rear lot line, while the house is setback just over 5 feet from the north lot line. When a structure is setback less than 5-feet from a property line, there are implications for construction (see comment of the Building Official), and stormwater management. With the increased setback of the garage to 3.1 feet and use of gutters, concerns regarding stormwater management have been addressed.

Finally, the northwest corner of the house is 65.4 feet from the OHW, and the living addition and deck will lower that to 51.9 feet, complying with the 51.85 foot minimum OHW setback.

VARIANCE

Variance Criteria

When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variance is in keeping with the spirit and intent of the Development Code. Practical difficulty is defined as:

- 1. Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*
- 2. Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*
- 3. Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

Applicant's Statement of Justification

The applicant states that practical difficulty is justified due to the lack of storage space present on this property, which makes it difficult to store equipment for lake recreation. The house does not have a basement. The proposed garage addition will aid in remedying that practical difficulty. The additions are intended to modernize the living area and conform to the norms of the neighborhood. See the attached statement.

Staff Review

The proposal to improve the dwelling here is in staff opinion, consistent with the Land Use and Housing Chapters of the Comprehensive Plan., and represents a reasonable use of the property, a residential use in the R-1 District.

Staff believes that practical difficulty is present for the variances requested. The applicant is proposing to use the property in a reasonable manner, unique circumstances are present and the proposed improvements will not adversely affect the character of the neighborhood.

The proposal to expand the living space and storage area of the home is reasonable. The existing home is constrained as it is designed with one bedroom and no basement. The second floor living space addition has been designed within the existing building footprint with the exception of the cantilevered area which not only adds living space but architectural interest to the structure. The overall area of the second floor is modest and not overbearing for the structure or parcel. The front covered landing distinguishes the entry for the home. The proposed living space addition on the main floor is not large and complies with the required setback from the OHW. Last, the garage addition is reasonable as it replaces storage area lost by the removal of the storage shed.

For staff, practical difficulty for the structure setbacks and foundation area stems from a unique combination of circumstances that exist. The lot is small, the house has no basement, only a single bedroom, and no discernible front when viewed from the street. The need for the front and rear setback variance requests stems from the 50-foot lot depth which is due to how the front and rear lot lines are defined by code, and by the location of the existing home on the property. Together the minimum front and rear required setbacks total 55-feet, leaving no buildable area on this lot. The existing house is a legal non-conforming structure, and as such can be repaired or replaced provided there is no expansion. Any expansion requires a variance due to the shallow lot depth, and that is a unique circumstance.

The existing foundation area is 29% of the lot area, and exceeds the 1600 sq. ft. specified in Code for small lots such as this. An existing non-conforming structure, the shed, is proposed for removal, which improvement affects lot coverage, but not foundation area. While the foundation area will be increased to 31.7%, this increase is modest (194 sq. ft.). In Staff's opinion, the applicant has minimized the need for a variance by working within the existing foundation area to the extent possible while resolving design issues with the home, including the need for a front entryway.

The property adjoining the subject property to the south are two parcels that provide lake access to nearby properties. These two parcels total 30 feet in width. The open space resulting from these easements is uncommon around lake lots and a unique circumstance. These vacant strips are not buildable and will help provide the appearance of open area south of the proposed improvements, and will aid in the property not appearing overbuilt.

If approved, it is Staff's opinion that the variances will not negatively impact the character of the neighborhood. The lakeshore neighborhood is characterized by areas of poor soils and a high water table, and as a result lake lots are developed with dwellings constructed on slabs and crawl spaces, as is the case for the subject property. The lake lots are small, most with high impervious surface lot coverage, and are characterized by small side setbacks. Typically, the houses on lake lots have two-car garages. The non-

riparian lots east of the subject property are developed with larger homes and three-car garages are typical especially on the north side of Schifsky Road. Given these conditions staff believes approval of the requested variances will not have an adverse affect on the neighborhood.

MITIGATION

Mitigation practices are required when land-use approvals are granted for riparian property. Two mitigation practices are necessary. The applicant will remove an existing non-conforming structure, the shed, and employ techniques of architectural mass. An affidavit is required (see attached).

REQUEST FOR COMMENT

Property owners within 150 feet were notified of the applicant's request in February and again in March. In February, one concern about construction parking was discussed with staff. In March, the neighbor to the north commented that the increased runoff did not seem to be a problem and the improvement would be nice. Staff has included a condition addressing parking and material storage during construction.

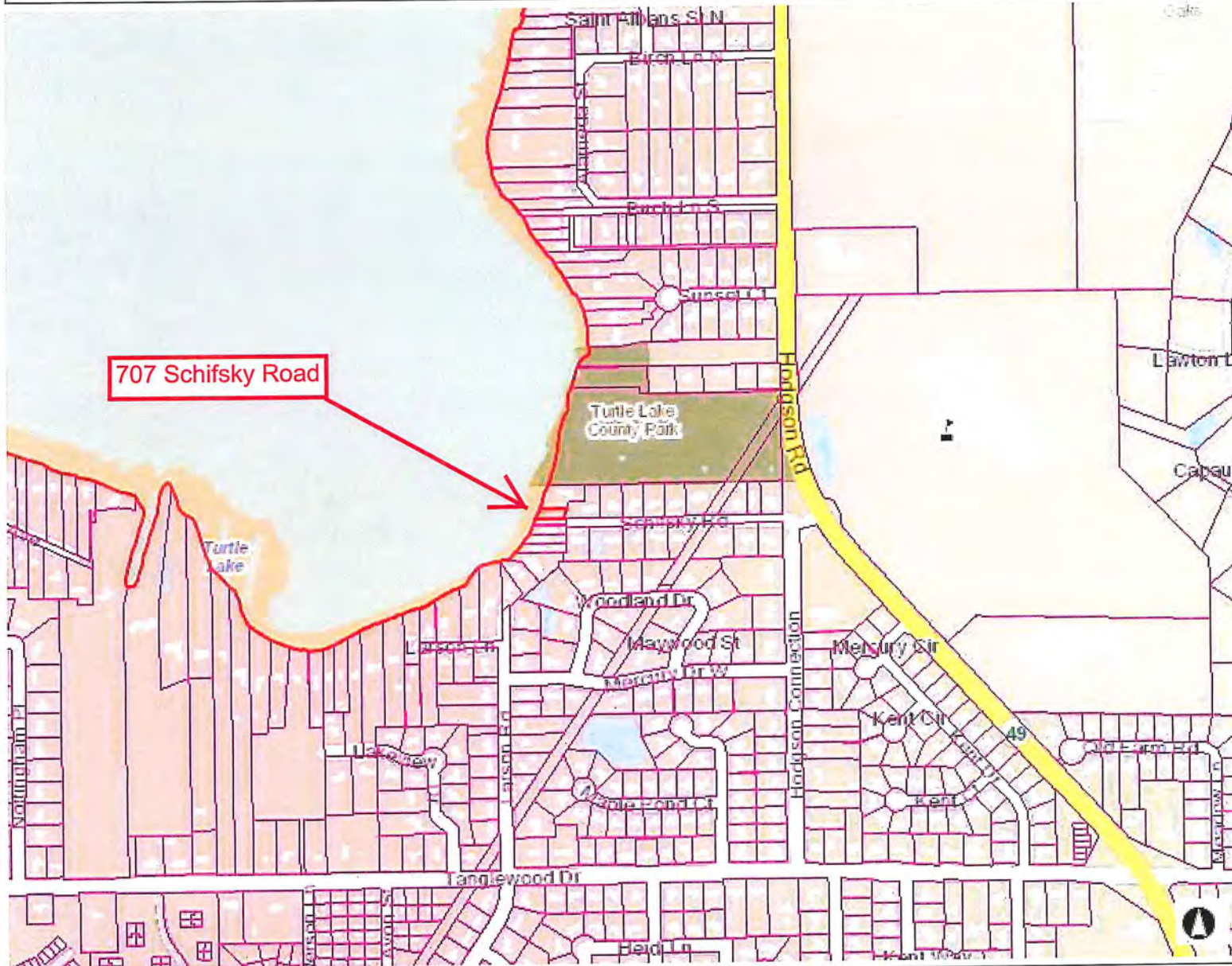
RECOMMENDATION

Staff believes that proposed improvements represent a reasonable use for this lake lot, and that practical difficulty is due to the size and configuration of the lot, and the location, size, and design of the existing house. As such, staff recommends the Planning Commission adopt Resolution No. 14-15, approving the requested variances and the Residential Design Review application, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Variance application.
2. This approval will expire after one year if a building permit has not been issued and construction commenced.
3. The deck shall be located a minimum of 51.85 feet from the OHW of Turtle Lake.
4. Gutters shall be installed and maintained on the north and south sides of the house. The downspouts shall direct stormwater to the lakeshore through an underground pipe. Energy dissipation shall be installed in a manner approved by the City Engineer at the pipe discharge point.
5. Material storage and construction vehicle parking shall be limited to the subject property. No construction parking or storage is permitted within the public right-of-way or on nearby private property without the written consent of the affected property owner.
6. This approval is subject to a 5-day appeal period.

Attachments:

- 1) Location Map
- 2) Applicant's Statement and Submitted Plans
- 3) Response to Request for Comment
- 4) Resolution No. 14-15
- 5) Mitigation Affidavit
- 6) Motion



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

Location Map

1,333.3 0 666.67 1,333.3 Feet



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

238.1 0 119.03 238.1 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet
© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION









Notes

Enter Map Description



Legend



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  Recreational Centers
-  Parcel Points
-  Parcel Boundaries

Notes

Enter Map Description

47.6 0 23.81 47.6 Feet



3303 EMMERT ST. SHOREVIEW, MN 55126 PHONE: 651-483-1090

E-MAIL: RDCARCH@COMCAST.NET

January 27, 2014

Re: 707 Schifsky Road Shoreview, MN

Variance Request: Garage / Living Space Expansion

One of the practical and unique challenges of water front properties are storage of boats, gear and equipment for lake recreation and to keep these items from becoming an eyesore by storing them inside when not being used.

Built in the 1950's the house at 707 Schifsky does not have a basement , has a minimal two car garage (22'x24') and a small detached shed.

Therefore, we believe that this house has a significant storage problem not only for lake related items, but also for general storage of lawn and garden equipment, trash and recycling containers, snow blowers etc. In order to resolve this hardship the owner is requesting an 11'x 22' garage addition that will not extend beyond the existing front or rear setbacks and will respect the required 5' side yard setback.

Secondly, because of the lack of basement storage space, the owner is proposing a modest addition of 56 square feet of space to the main floor on the lakeside. This addition is well within the OHW setback requirement and does not reduce the existing minimum foundation setback at any point.

In summary, the added storage space is requested to bring the house in line with the practical and unique requirements of a typical Turtle Lake property. In addition, the owner plans to update the home by improving the exterior and revising the floor plan to provide typical present day features, such as a front entry, a mudroom, a third bedroom and a second bathroom that will more closely conform to the norms of the neighboring houses and improve the overall aesthetic of the community.

Tim Sullivan
RDC Architects



SOUTH IMAGE



EXISTING LAKESIDE



EXISTING STREETSIDE



3303 EMMERT ST
SHOREVIEW, MN 55126
651-483-1090

E-MAIL: rdcarch@comcast.net

**HOPPE RESIDENCE 707 SCHIFSKY RD
SHOREVIEW, MN**

Date:
REV.1/22/14
REV.2/14/14
REV.2/19/14
REV.3/5/14
REV.3/8/14

Sheet:

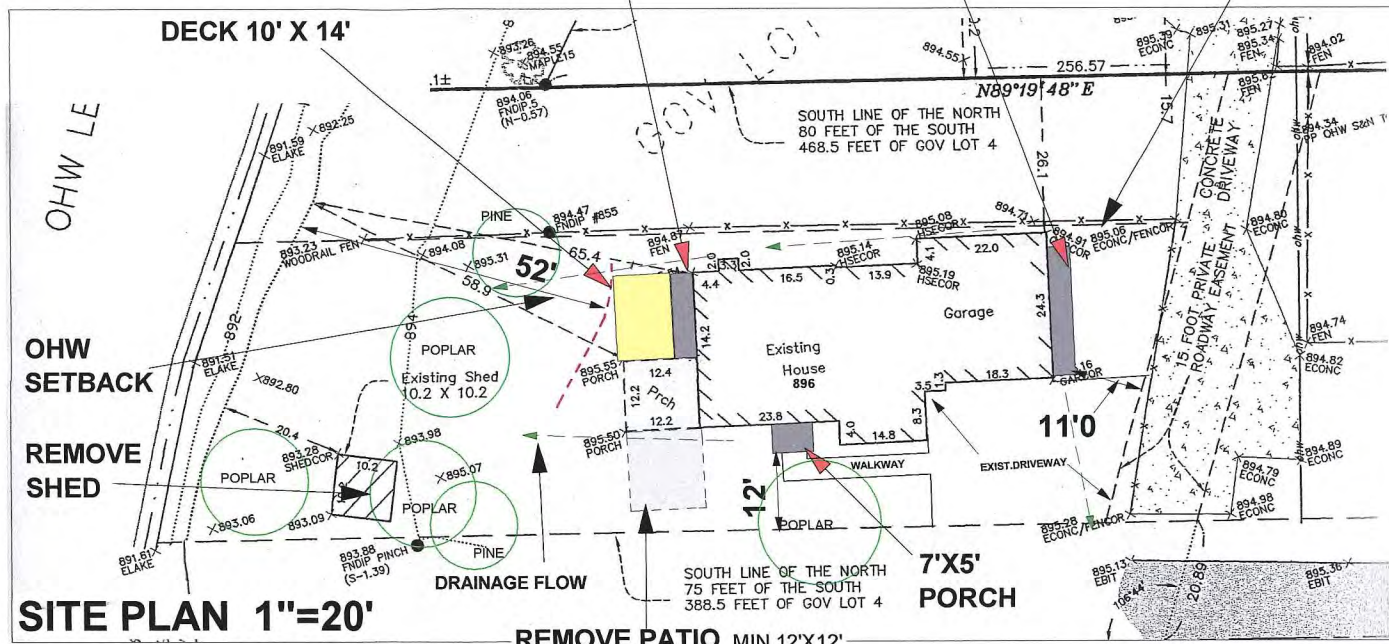
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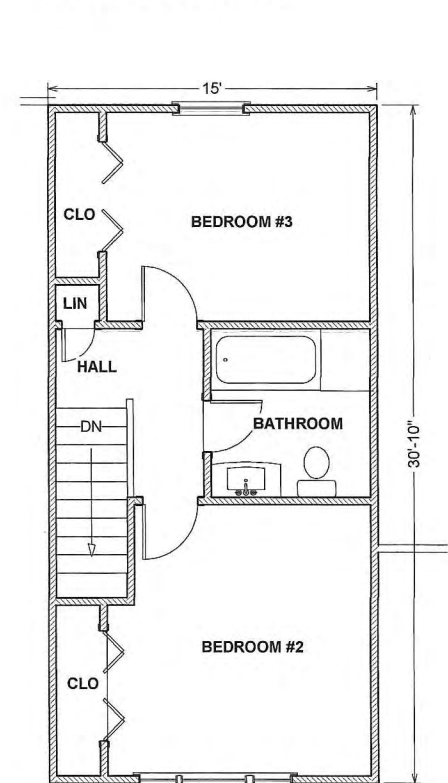
EAST IMAGE

SITE AND PLAN ANALYSIS:

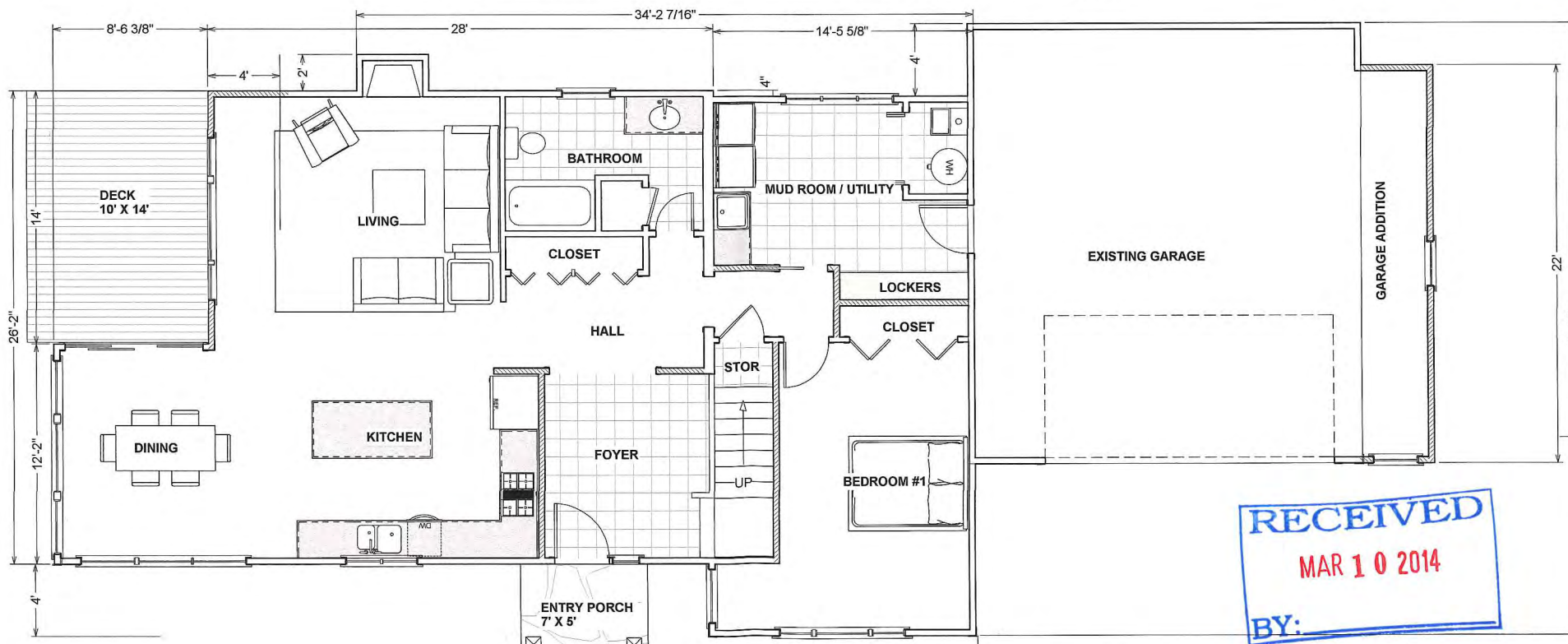
	SQ.FT.
1. EXISTING BUILDING:	
HOUSE / GARAGE :	1,759
SHED	104
TOTAL:	1,863
2. PROPOSED BUILDING:	
HOUSE / GARAGE:	1,938
3. HARDCOVER:	
LOT SQUARE FOOTAGE: 6,150	
EXISTING BUILDING PERCENTAGE:	29 %
BUILDING (W/ SHED):	30 %
HARDCOVER (2,919):	47.5 %
PROPOSED BUILDING:	31.5 %
HARDCOVER: (2,850):	46.3 %



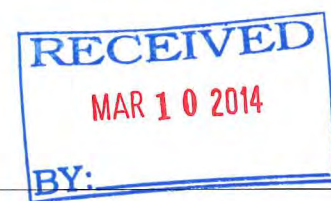
SITE PLAN 1"=20'



2ND FLOOR PLAN 3/16"=1'0



1ST FLOOR PLAN 3/16"=1'0





Robert Warwick <rwarwick@shoreviewmn.gov>

707 Schifsky Road Variance

Steve Nelson <snelson@shoreviewmn.gov>
To: "WARWICK, ROBERT" <rwarwick@shoreviewmn.gov>

Mon, Feb 10, 2014 at 10:11 AM

Rob:

The garage addition appears to be close to the property line. If closer than 5 feet, building code requires the walls to be constructed for 1 hour fire-resistive construction with exposure from both sides. Projections (eaves) would be limited to 4 inches and would be required to be protected with 1 hour fire-resistive construction on the underside of the eave. No opening would be permitted..

Steve Nelson

*Building Official
City of Shoreview
4600 N Victoria Street
Shoreview, MN 55126
651-490-4691*

RECEIVED

MAR 18 2014

Comments:

707 SCHIFFSKY DRIVE:

ALL 7 530 IS REUSE EXTRA WATER
RUN OFF ON TO OUR PROPERTY BECAUSE OF
THE NEW ROOF LINE. SHOULD NOT BE A
PROBLEM. THE REST WILL BE A NICE
UP GRADE TO THE NEIGHBORHOOD.

Name: CHARLES MILLER

Address: 701 SCHIFFSKY RD

- b. Architectural Mass. Pursuant to Section 209.080 (M1c), the use of natural color(s) and/or materials on the exterior surface of the addition on the Affiants dwelling shall be used to reduce the visual impact. Natural colors are shades of brown, gray, and green. Natural materials include wood or stone that complement the setting of the structure. The exterior surface of the home shall be finished materials using natural shades of brown.
3. The mitigation practices identified in item #2 above shall be completed by March 26, 2015 unless an extension is administratively approved by the City of Shoreview. The mitigation practices shall be maintained unless said requirement is rescinded by the City of Shoreview.

Dated this _____ day of _____, 2014.

Jay A. Hoppe

STATE OF MINNESOTA)
)SS
COUNTY OF RAMSEY)

The foregoing instrument was acknowledged before me this _____ day of _____, 2014.

Notary Public

Drafted by: Robert Warwick
City of Shoreview
4600 N. Victoria Street
Shoreview MN 55126

**EXTRACT OF MINUTES OF MEETING OF THE
PLANNING COMMISSION OF SHOREVIEW, MINNESOTA
HELD MARCH 25, 2014**

* * * * *

Pursuant to due call and notice thereof, a meeting of the Planning Commission of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 PM.

The following members were present:

And the following members were absent:

Member _____ introduced the following resolution and moved its adoption.

**RESOLUTION NO. 14-15 APPROVING A VARIANCE TO REDUCE THE FRONT AND
REAR SETBACKS AND TO INCREASE THE ALLOWED FOUNDATION AREA**

WHEREAS, Jay Hoppe submitted a variance application for the following described property:

The North 50 feet of the South 363.5 feet of Government Lot 4, Northwesterly of a line run Southeasterly at an angular of 106 degrees 44 minutes with the North line of the South 293.5 feet of said lot and from a point thereon 1028.56 feet West of the East line of said lot in Section 14, Township 30, Range 23, Ramsey County, Minnesota
(commonly known as 707 Schifsky Road)

WHEREAS, the Development Regulations establish a setback of 25 feet from the front property line and 30 feet from the rear property line for residential dwellings; and

WHEREAS, the applicant has requested a variance to reduce the front setback requirement to 12 feet and the rear setback requirement to 3.1 feet; and

WHEREAS, the Development Regulations establish a maximum foundation area on substandard riparian lots of 18% of lot area, 1,600 square feet, or the existing foundation area, whichever is larger; and

WHEREAS, the applicant has requested a variance to increase the foundation area from the existing 1,759 square feet (28.6% of lot area) to 1,953 square feet (31.7 square feet); and

WHEREAS, the Shoreview Planning Commission is authorized by state law and the City of Shoreview Development Regulations to make final decisions on variance requests.

WHEREAS, on March 25, 2014 the Shoreview Planning Commission made the following findings of fact:

1. The proposed improvement is consistent with the policies of the Comprehensive Plan, including the Land Use and Housing Chapters.
2. **Reasonable Manner.** The proposed expansion of the living area of this residence makes it more livable with a defined front entry, foyer, second and third bedrooms, and a staircase. These are common features in detached single-family residences and so a reasonable use of the property.
3. **Unique Circumstances.** The 50-foot lot depth is less than the sum of the required 25-foot front and 30-foot rear setbacks, leaving no buildable area. The existing house has no basement, one bedroom and no discernable front when viewed from the street, and these conditions create unique circumstances. The living area of the house is currently setback about 5-feet from the rear lot line, and the garage area is setback 1.1 feet from the rear lot line. The proposed additions will not encroach nearer the rear lot line than the existing house and garage.
4. **Character of the Neighborhood.** Lakeshore houses in the neighborhood include various styles and designs, and many of these dwellings on riparian lots do not conform to the current setback requirements of City Code. By approving the variance, the essential character of the neighborhood should not be affected.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance request for property described above, 707 Schifsky Road, be approved, subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Variance application.
2. This approval will expire after one year if a building permit has not been issued and construction commenced.

3. The deck shall be located a minimum of 51.85 feet from the OHW of Turtle Lake.
4. Gutters shall be installed and maintained on the north and south sides of the house. The downspouts shall direct stormwater to the lakeshore through an underground pipe. Energy dissipation shall be installed in a manner approved by the City Engineer at the pipe discharge point.
5. Material storage and all vehicles shall be parked on the subject property. No construction parking or storage is permitted within the public right-of-way or on nearby private property without the written consent of the affected property owner.
6. This approval is subject to a 5-day appeal period.

The motion was duly seconded by Member _____ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 25th day of March, 2014

Steve Solomonson, Chair
Shoreview Planning Commission

ATTEST:

Rob Warwick, Senior Planner

ACCEPTANCE OF CONDITIONS:

Jay A. Hoppe, 707 Schifsky Road

STATE OF MINNESOTA)
)
COUNTY OF RAMSEY)
)
CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview Planning Commission held on the 25th day of March, 2014 with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates to adopting Resolution 14-15.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 25th day of March, 2014.

Terry C. Schwerm
City Manager

SEAL

PROPOSED MOTION

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To adopt Resolution No. 14-15, approving the requested variances, and to approve the Residential Design Review application submitted by Jay Hoppe for the property located at 707 Schifsky Road, to reduce the front and rear setbacks, and to increase the permitted foundation area. This approval is subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the Variance application.
2. This approval will expire after one year if a building permit has not been issued and construction commenced.
3. The deck shall be located a minimum of 51.85 feet from the OHW of Turtle Lake.
4. Gutters shall be installed and maintained on the north and south sides of the house. The downspouts shall direct stormwater to the lakeshore through an underground pipe. Energy dissipation shall be installed in a manner approved by the City Engineer at the pipe discharge point.
5. Material storage and construction vehicle parking shall be limited to the subject property. No construction parking or storage is permitted within the public right-of-way or on nearby private property without the written consent of the affected property owner.
6. This approval is subject to a 5-day appeal period.

This approval is based on the following findings:

1. The proposed improvements are consistent with the Housing and Land Use Chapters of the Comprehensive Plan.
2. The proposed expansion makes the house more livable with a defined front entry, foyer, second and third bedrooms, and a staircase. These are common features in detached residential single-family residences and so a reasonable use of the property.
3. The 50-foot lot depth is less than the sum of the required 25-foot front and 30-foot rear setbacks, leaving no buildable area. The existing house has no basement, one bedroom and no discernable front when viewed from the street, and these conditions create unique circumstances. The living area of the house is currently setback about 5-feet from the rear lot line, and the garage area is setback 1.1 feet from the rear lot line. The proposed additions will not encroach nearer the rear lot line than the existing house and garage.
4. The character of the neighborhood should not be affected with approval of these variances.

VOTE:

AYES:

NAYS:

Regular Planning Commission Meeting
March 25, 2014

TO: Planning Commission
FROM: Rob Warwick, Senior Planner
DATE: March 20, 2014

SUBJECT: File No. 2518-14-08; Site and Building Plan Review and Comprehensive Sign Plan Amendment, 1000 Gramsie Road, Cities Edge Architects/Forstrom and Torgerson, LLP (Hampton Inn and Green Mill Restaurant)

Introduction

Cities Edge Architects, on behalf of Forstrom and Torgerson, LLP the owners of the Green Mill Restaurant and the Hampton Inn, has submitted applications to make improvements to the building, and install new wall and freestanding signs for the hotel, meeting center, and restaurant located at 1000 Gramsie Road. The Green Mill Restaurant is located in the same building as the Hampton Inn Hotel.

The owners intend to change the hotel franchise from the current Hampton Inn to a Best Western Plus, and propose alterations to improve the facility to the standards of the new franchise and alter the signage for the facility. Site and Building Plan Review is required for the exterior alterations, and the existing sign plan must be amended for the proposed signage alterations.

Project Description

The property is located on the south side of Gramsie Road, east of Lexington Avenue and north of Interstate 694. The property is approximately 6.85 acres in size and has approximately 471 feet of frontage on Gramsie Road and 415 feet of frontage on Interstate 694. The property is developed with the 120-room Hampton Inn Hotel and includes the attached Green Mill Restaurant. The Green Mill is a full-service restaurant and bar. The property is developed with the hotel/restaurant building and an off-street parking area with access from two entry driveways off of Gramsie Road. The parking area is shared with the Hilton Garden Inn Hotel located immediately to the west.

Exterior

Exterior alterations are proposed to the building façade, using EFIS and stone accents. The existing gable-roofline will be altered to a flat-roof with cornices over entrances and at corners to add visual interest to the building. The canopy and entry vestibule will be replaced using the same footprint. A pergola and fireplace will be added to the existing outdoor seating for the Green Mill, and 6 parking stalls immediately north of the patio will be removed and replaced with a sidewalk and turf. An existing berm along exterior of the hotel building (on the west, south and east) will be removed and replaced with a retaining wall.

Interior

Interior alterations include adding two new guest elevators and one exit on the south side of the hotel. These improvements will reduce the number of guest rooms from the existing 120 to 115 rooms. The hotel has an indoor pool and the deck for the pool will be replaced. Meeting areas and guest rooms will be re-furnished. A portion of the existing Green Mill will be converted to meeting and banquet space, and several new restrooms will be added for the meeting and pool areas. Upgrades to the HVAC, electrical and fire alarm systems are also proposed.

A Comprehensive Sign Plan amendment is needed because the signs vary in number, location and area from those previously approved by the City. Wall signs are proposed on two building elevations (north and south). Currently wall signs are displayed on two differing elevations (north and west). Three freestanding signs are proposed and these are cabinet style signs, the style which have been approved and used here, although not permitted for a building of this size by Code. There are currently two freestanding signs, and both of these are cabinet style pylon signs.

Development Code Requirements

The property is zoned PUD, Planned Unit Development with an underlying C-2 – General Commercial designation. The hotel and restaurant uses are permitted in this PUD. The Site and Building Plan review process enables the City to review the proposal in accordance with the standards of the Development Code and to determine the use is in harmony with the Comprehensive Plan.

The City's sign regulations are found in Section 208 of the Municipal Code. Each principal structure, with the exception of individual residential buildings, is entitled to one freestanding sign. Sites that adjoin two or more arterial roadways may have two each freestanding and wall signs, subject to approval of a Comprehensive Sign Plan. Cabinet style monument signs are not permitted for structures greater than 50,000 square feet. Monument signs for buildings of this size (75,000 square feet) are restricted to individual letter style signs to a maximum 20-foot height and 100-square foot area. The sign area for highway commercial development sites that abut 1-694 or 1-35W may be increased up to two times and the sign height may be increased up to 50 percent in a Planned Unit Development, as has here been the case.

A Comprehensive Sign Plan is required if two or more signs of a single type that require a permit are proposed for an existing property or structure, or when deviations . Sign permits shall not be issued for multiple signs of a single type until a Comprehensive Sign Plan has been approved. The Comprehensive Sign Plan review shall consider five elements that shall govern all signs within the development: location, materials, size, color and illumination.

Staff Review

Site and Building Plan Review

Staff has reviewed the submitted plans in accordance with previous approvals and the Development Code.

Architectural Design

The proposal consists of architectural enhancement of the building facades. The proposed cornices and upgraded materials will improve the appearance of the building.

Comprehensive Plan

The Comprehensive Plan designates the Planned Land Use of this property as C, Commercial. The existing hotel, meeting facility, and restaurant use of this property is consistent with this

designation. The proposed improvements to the hotel campus, interior and exterior, will enhance the use and appearance of the property and promote the wider community.

Parking

As noted above, the area immediately north of the Green Mill patio will be altered, removing 6 parking stalls and replacing with a sidewalk and turf. The required parking for the campus will decrease by 5 stalls since 5 guest rooms will be removed. So there is a net reduction of provided parking of 1 stall. The parking requirements are based on the sum of the separate uses, the hotel (calculated as one per guest room plus one per employee), meeting rooms/banquet facility (one stall per three seats), and restaurant (one stall per three seats plus one per employee). The parking required totals 353 stalls and 342 stalls are provided. The two hotels here are in common ownership and management, and have entered into a shared parking agreement. Parking appears to meet the needs of the businesses, as noted in the attached statement from the operations managers. Staff is comfortable that parking provided will meet the continued needs of the three business operations.

Comprehensive Sign Plan

Staff reviewed the proposal in accordance with the previous approved comprehensive sign plans and the five elements considered for plan approval. In 2010 the City approved a third monument sign on Gramsie Road, but that sign was not constructed and the approval expired. The current plan will again allow a monument sign to aid in identifying the three business services offered on the property. Again, the applicant is seeking a deviation from the City's sign regulations regarding the number of free-standing signs permitted and to continue use of the monument sign style (cabinet). The proposed sign materials, color and illumination is consistent throughout the property. The applicant has identified that each of the proposed signs is a standard corporate style. Existing and proposed signage for the Hotel campus include:

Wall Signs

Sign Location	Sign Area		Wall Area	Total Wall Coverage	
	Existing	Proposed		Existing	Proposed
North Elevation Hotel Green Mill	75 sq. ft. 133 sq. ft.	60 sq. ft. 84 sq. ft.	4,329 sq. ft.	4.8%	3.3%
South Elevation Hotel	None	60 sq. ft.	4,905 sq. ft.	No Sign	1.2%
West Elevation Hotel Green Mill Green Mill	75 sq. ft. 48 sq. ft. 140 sq. ft.	None	4,378 sq. ft.	6%	No Sign

Free-standing Signs

Sign Location	Area/Height	
	Existing	Proposed
Lexington Avenue Hampton Inn (Existing –cabinet style) Joint (Proposed - cabinet style)*	280 sq. ft./30 ft.	270.5 sq. ft./51 ft.
Interstate 694 Green Mill (existing – cabinet style) Joint (Proposed – cabinet style)*	75 sq. ft./30	355.5 sq. ft./35 ft.
Gramsie Road Joint (Proposed –cabinet style)*	None	92.4 sq. ft./18 ft.

*‘Joint’ signs include a cabinet for each of the hotel, restaurant and meeting center. The sign area is the area of a rectangle encompassing all three of these cabinets.

The proposed monument signs facing I-694 and Gramsie use the same design, with a separate copy area for each of the three facets of the business operated at the facility. The monument sign facing Gramsie has an overall sign area of 92.4 square feet with a height of 18 feet. The monument sign facing I-694 has an overall sign area of 358 square feet with a height of 35 feet.

As noted above, cabinet style monument signs are not permitted for buildings with floor areas exceeding 50,000 square feet, but have been allowed at this site since its construction. Staff referenced the maximum 20-foot height and 100-square foot area specified for individual letter style monument signs to evaluate those characteristics of the proposal. The small monument sign on Gramsie meets these guidelines, while the large monument facing I-694 exceeds these, including the added allowance due to its freeway frontage. The applicant states that the larger sign is due to the visibility from I-694, and the size and re-location further west of the current sign are intended to remedy this problem. Staff reviewed nearby signs, many of which are cabinet style pylon signs for businesses with smaller floor areas. These pylons typically are 30-feet high, and located at a higher topographic grade along the south side of I-694.

Staff do not have significant concerns over the proposed monument signs, which will aid in identifying the facilities offered at the campus, and the added sign on Gramsie helps to direct guests and visitors to the facility.

The height of the off-premises sign is proposed to increase from the existing 30-feet to 51-feet. Much of the increase is attributable to the addition of the Green Mill cabinet to this sign, which now announces only the Hampton Inn. The applicant states the increase in height is intended to improve wayfinding for visitors approaching from the west on I-694.

Public Comment and Agency Review

The City notified property owners within 350 feet of development site of the applications submitted and proposed development. No written comments have been received. The property is located within the Rice Creek Watershed District (RCWD), and RCWD staff has commented that an RCWD permit is

not required for the proposed improvements. The Fire Marshall commented that the fireplace on the patio must be installed according to the manufacturer's guidelines.

Recommendation

Staff believes the improvements will be an enhancement to this property. The proposal is consistent with the Development Code and the use is consistent with the Comprehensive Plan.

The Comprehensive Sign Plan provides signage that is reasonable for this type of commercial development, and the proposed sign will improve visibility for the three uses from the adjacent arterial roads as well as Gramsie Road. Staff recommends the Planning Commission forward both applications to the City Council with a recommendation to approve, subject to the following:

Site and Building Plan Review:

- 1) This approval permits exterior modification of the existing building, in accordance with the preliminary plans dated 2014. Significant changes, as determined by the City Planner, shall require review by the Planning Commission and approval of the City Council.
- 2) The project shall comply with the requirements of the Fire Marshall.
- 3) The Building Official is authorized to issue a building permit for this project.
- 4) Construction parking and materials storage shall be confined to the subject property. No construction parking or material storage is permitted within the Gramsie Road or I-694 rights-of-way.

Comprehensive Sign Plan:

1. The signs on the property shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.
2. The applicant shall obtain a sign permit prior to the installation of the new signs on the property.
3. The signs shall be setback a minimum of 5-feet from the any property line, including along Gramsie Road and I-694, and shall be located so as not to interfere with traffic visibility.

Attachments:

1. Location Map
2. Aerial Photo
3. Submitted Plans and Statement
4. Comments
5. Motion



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries



Notes

Enter Map Description

1,333.3 0 666.67 1,333.3 Feet

PLANNING COMMISSION SUBMITTAL
For Best Western Plus, Shoreview, MN

February 21, 2014

COMPONENTS OF SUBMITTAL (for existing property remodel)

The following list indicates submittal components provided per instruction of Kathleen Castle, City Planner.

- a. Certificate of Survey: *Not applicable for this submittal.*
- b. Proposed Land Use and Phasing Plan: *Not applicable for this submittal.*
- c. **Site Plan: Provided existing site plan and proposed changes.**
- d. Public Facilities Plan: *Not applicable for this submittal.*
- e. Grading Plan and Drainage Plan: *Not applicable for this submittal.*
- f. Erosion Control Plan: *Not applicable for this submittal.*
- g. **Proposed Building Elevations: Provided all elevations with signage.**
- h. Landscape Plan: *Not applicable for this submittal.*
- i. Vegetation and Woodlands Plan: *Not applicable for this submittal.*
- j. Natural Features Plan: *Not applicable for this submittal.*
- k. **Sign Plan: Provided along with Comprehensive Sign Application.**
- l. Exterior Lighting Plan: *Not applicable for this submittal.*
- m. Subdivision Component: *Not applicable for this submittal.*

SUMMARY OF CHANGES TO EXISTING SITE/PROPERTY

The existing Hampton Inn located at 1000 Gramsie Road, Shoreview, MN will not be re-licensed as a Hampton Inn. Forstrom and Torgerson, LLP intends to reposition this asset as a BEST WESTERN PLUS. In order to upgrade the property to meet BEST WESTERN PLUS Standards a number of changes are needed.

EXTERIOR:

The exterior grass berms around the guest room tower shall be replaced with landscape block retaining wall and decorative rock bed.

Remove some of sidewalks as shown on the attached site plan.

Add stone look to entry/exit/ stair towers and change roof line from gable to a horizontal projected cornice.

Change colors of exterior walls similar to color renderings.

Remove existing main hotel entry vestibule and replace with a new vestibule and automatic sliding doors.

Replace existing solarium glass and framing with new windows and roof structure/roofing.

Replace existing outdoor patio with new covered patio and outdoor fireplace.

Change exterior signage to accommodate the change to BEST WESTERN PLUS and increase the signage visibility.

Improve courtyard landscaping.

Replace and upgrade exterior directional sign package.

GUEST ROOM TOWER:

Eliminate a total of five guest rooms (120 to 115) to accommodate two passenger elevators and an additional exit from the south side.

Upgrade existing accessible rooms to comply with current accessibility requirements and add one additional accessible room.

Upgrade guest room decorating, beds, TVs, and furnishings.

GREEN MILL RESTAURANT AND MEETING ROOMS:

Reduce the floor area of the restaurant to accommodate additional meeting/banquet room space.

Remodel a portion of the existing pool/recreation area into a Pre-Function space serving the meeting/banquet rooms.

Add Men's and Women's restrooms adjacent to the new Pre-Function space.

POOL /AQUATICS ROOM:

Replace the current deck with new tile floor.

Add a unisex toilet room for pool patrons.

HVAC:

Provide new HVAC unit to serve the new Pre-Function area.

Evaluate and upgrade current roof top heating and cooling units to accommodate interior changes.

ELECTRICAL:

Update exit lighting for safety (down light to light door at stairwells).

Provide additional power as required to accommodate interior changes.

Upgrade interior lighting throughout the Green Mill.

Provide upgraded lighting throughout the Hotel.

Provide new fire alarm system throughout the Hotel and Green Mill.

END OF DOCUMENT

Prepared by Delbert N. Sheets, Project Manager, Cities Edge Architects LLC

COMPREHENSIVE SIGN REVIEW APPLICATION
PLANNING COMMISSION SUBMITTAL

For Best Western Plus, Shoreview, MN

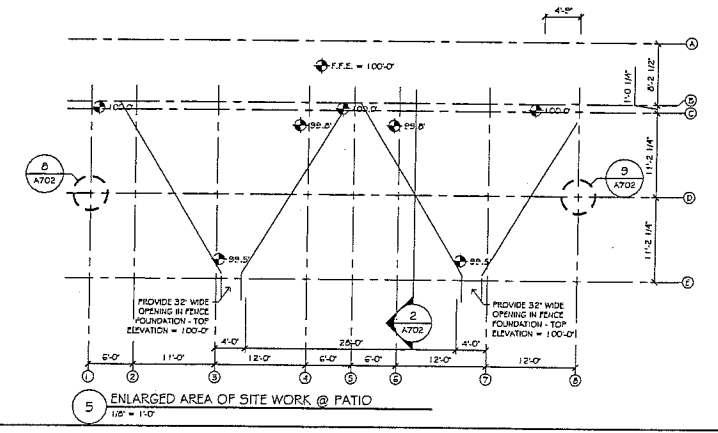
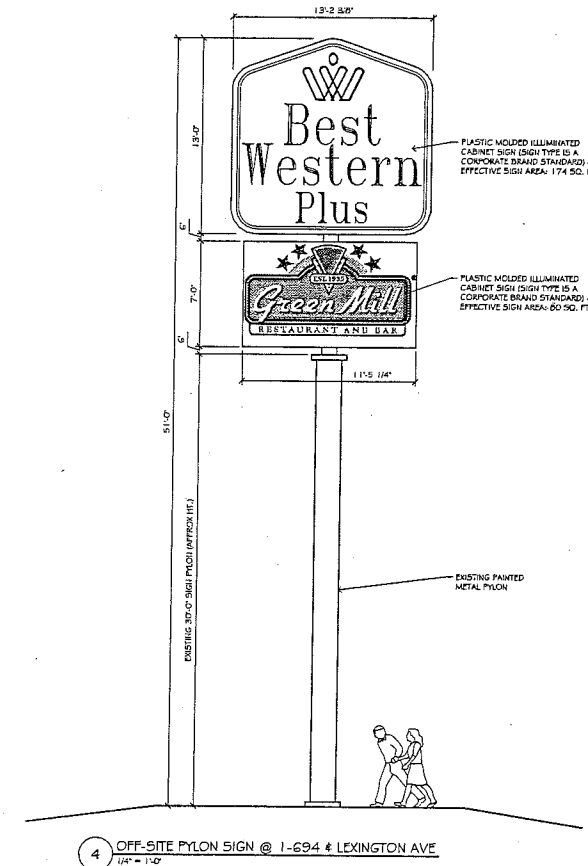
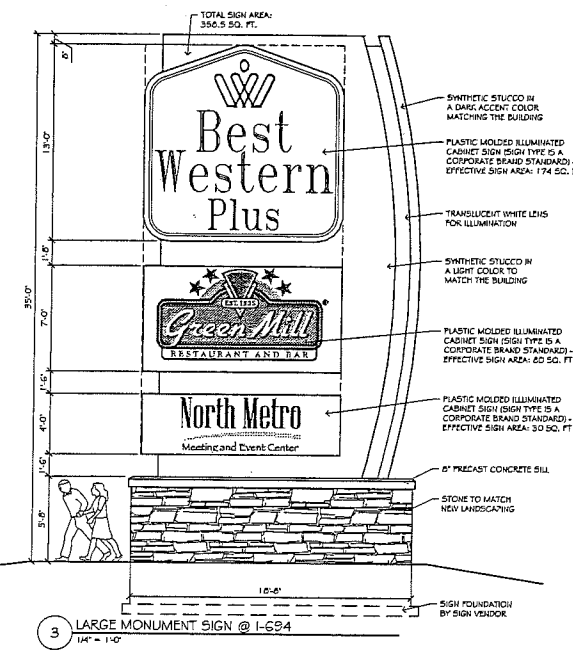
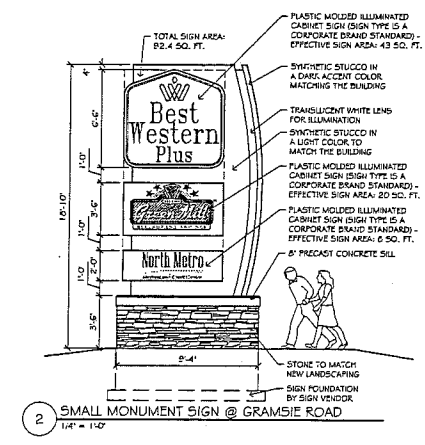
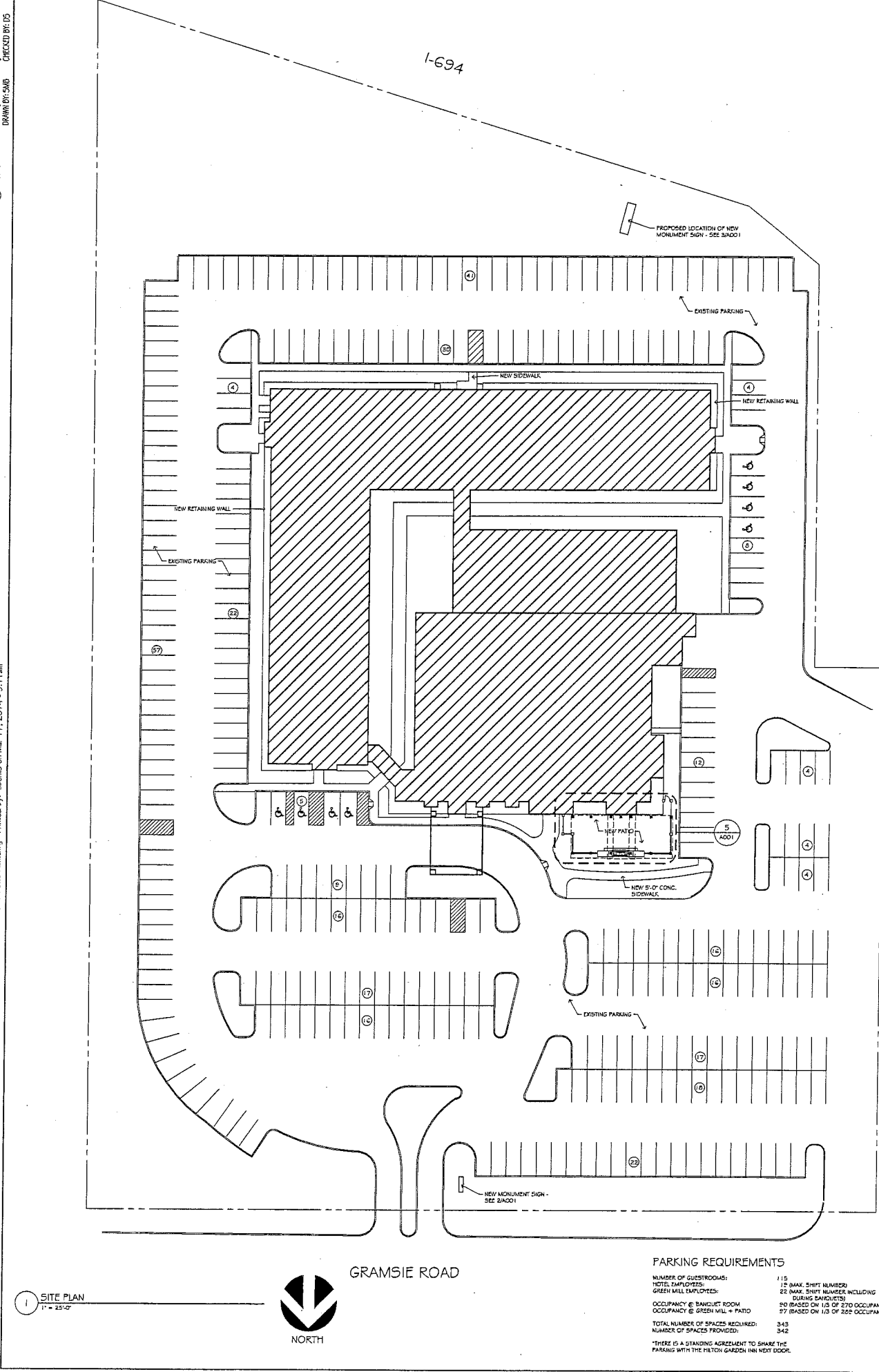
February 21, 2014

This submittal is for a revision of an existing plan in place for the Hampton Inn. The reason for requesting the changes are as follows:

The existing Hampton Inn located at 1000 Gramsie Road, Shoreview, MN will not be re-licensed as a Hampton Inn. Forstrom and Torgerson, LLP intends to reposition this asset as a BEST WESTERN PLUS. In order to upgrade the property to meet BEST WESTERN PLUS Standards a number of changes to signage are needed.

1. It is proposed to remove the current Green Mill pylon sign located along the I-694 Highway and replace it with a large monument sign displaying the presence of the BEST WESTERN PLUS Hotel, the Green Mill Restaurant, and the North Metro Meeting and Event Center. The monument sign will have a stone look base and illuminated sign faces. The attached drawings show the sign design and size.
2. It is proposed to relocate the new highway sign approximately 175 feet toward the west of the current sign location to provide a longer viewing time as vehicles approach from the east. The current sign is hidden behind trees until vehicles are nearing the sign location on their right side resulting in a short viewing time. It represents a potential hazard to drivers in reaction time for deciding upon taking the exit ramp to Lexington Avenue.
3. Signage for the building is to be changed to reflect the change to BEST WESTERN PLUS.
4. Signage for the Green Mill is to be changed due to a building façade change.
5. A smaller version of the I-694 monument sign is proposed for the parking lot entrance off of Gramsie Road.
6. The new entry sign above will replace the small Green Mill monument sign currently located at the shared drive with the adjacent Hilton Garden Inn. That sign will be removed.
7. One other sign that has a proposed change is the existing Off-Site Advertising pylon sign located at the intersection of I- 694 and Lexington Avenue. It is currently a Hampton Inn sign occupying an easement at that site. A copy of the easement agreement is included in this submittal. Due to the change from Hampton Inn to BEST WESTERN PLUS it is desired that the Off –Site sign be changed as well. As the Green Mill is an integral part of the BEST WESTERN PLUS complex, incorporating the Green Mill sign is proposed. The combined sign areas are less than the allowable sign area. See the drawings for configuration.

ACKNOWLEDGEMENT IS MADE THAT: Delbert N. Sheets, Project Manager, Cities Edge Architects LLC prepared and is responsible for this application and has read and discussed by email the City's sign code with Kathleen Castle, City Planner.



CITIES EDGE ARCHITECTS
 1000 Hennepin Avenue, Suite 1000
 Minneapolis, MN 55402
 Phone: 612-226-7776 Fax: 612-226-8873
 www.CitiesEdgeArch.com

MARK	DATE	DESCRIPTION
DATE ISSUED:	xx/xx/2014	
ISSUE TRACK:	PRELIMINARY	
PROJECT TITLE:	BEST WESTERN PLUS - SHOREVIEW	
PROJECT OWNER:	TORGERSON PROP.	
PROJECT LOCATION:	SHOREVIEW, MN	
SHEET TITLE:	ARCHITECTURAL SITE PLAN	
SCALE:	AS NOTED	
PROJECT NUMBER:	25595	
SHEET NUMBER:	A001	

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Date: 3/18/2014

To: Delbert Sheets

Re: Parking on the Shoreview Campus

From Julie Fuller, Julie Johnson, and Tony Donatelle

Del,

On behalf of Tom Torgerson and TPI Hospitality, we are writing you this letter in regards to the question of whether the combined properties of Hampton Inn, Hilton Garden Inn and the Green Mill have enough parking stalls on our campus. As the General Manager team for the campus, in our extensive experience, we truly have not seen any issue with not having enough parking for our guests. With the exception of the Back to the 50's weekend, which we work with the city and our neighbors to best accommodate. We see that during high occupancy for both hotels and a full restaurant there always exists sufficient parking. In addition, we never see the street used in front of our campus for parking similar to what we frequently see on Gramsie Rd to our west.

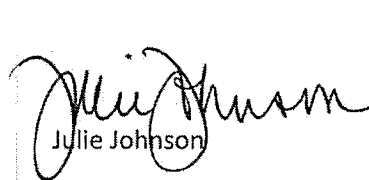
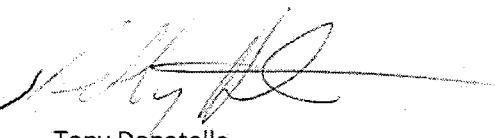
In closing, with a combined 32 years of experience on this Campus we feel we currently have and will continue to have ample parking to accommodate all of our guests. We hope this is helpful and will be more than happy to provide any further information that may be useful.

Sincerely,

Julie Fuller

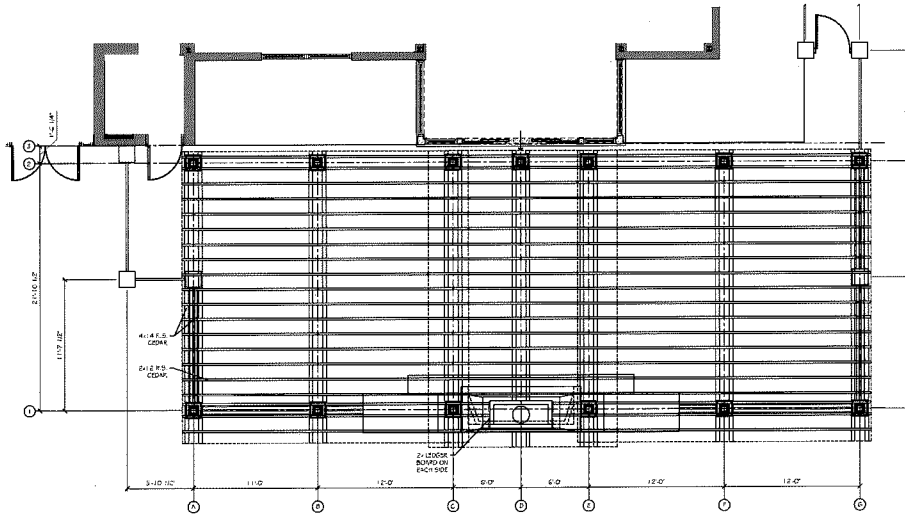
General Manager

Hampton Inn

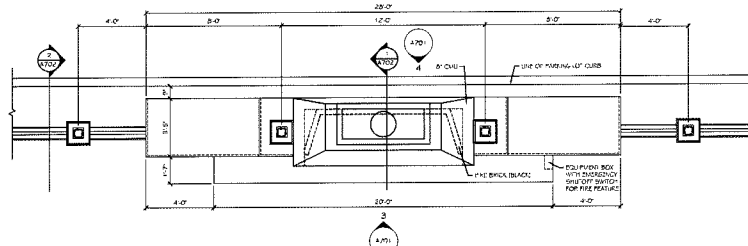
 
Julie Johnson Tony Donatelle
General Manager General Manager

Hilton Garden Inn

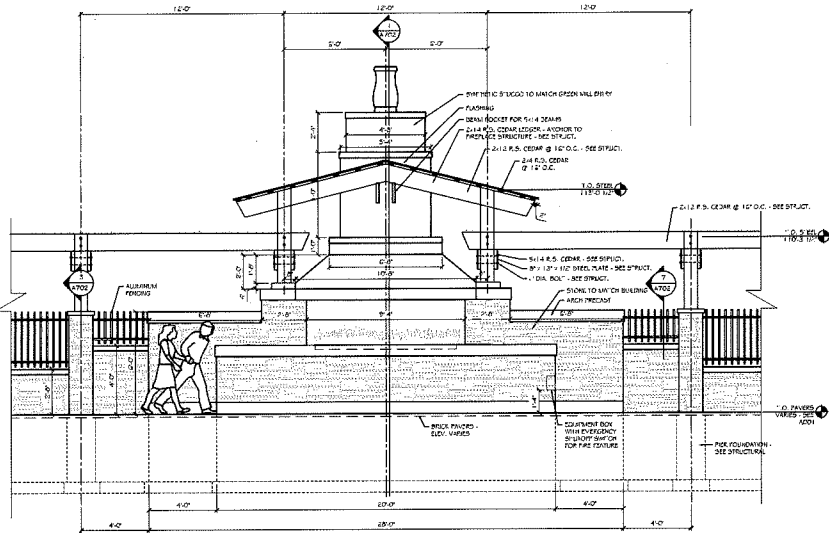
Green



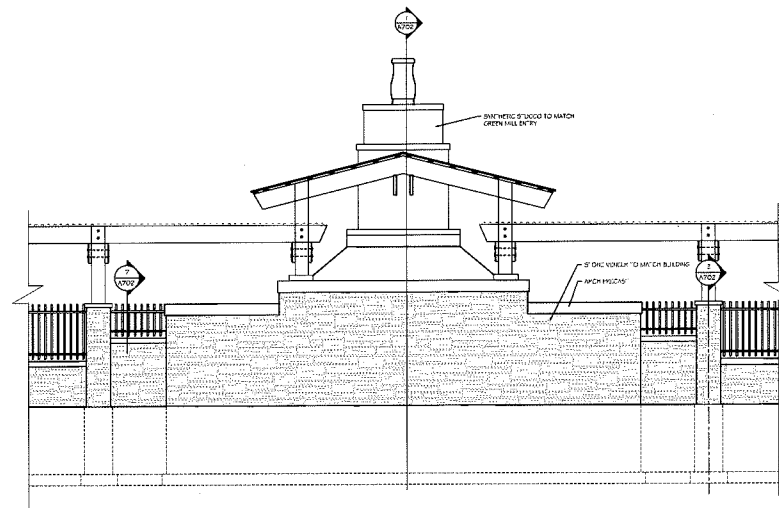
1 PATIO REFLECTED CEILING PLAN
 1/8" = 1'-0"



2 FIREPLACE PLAN VIEW
 3/8" = 1'-0"

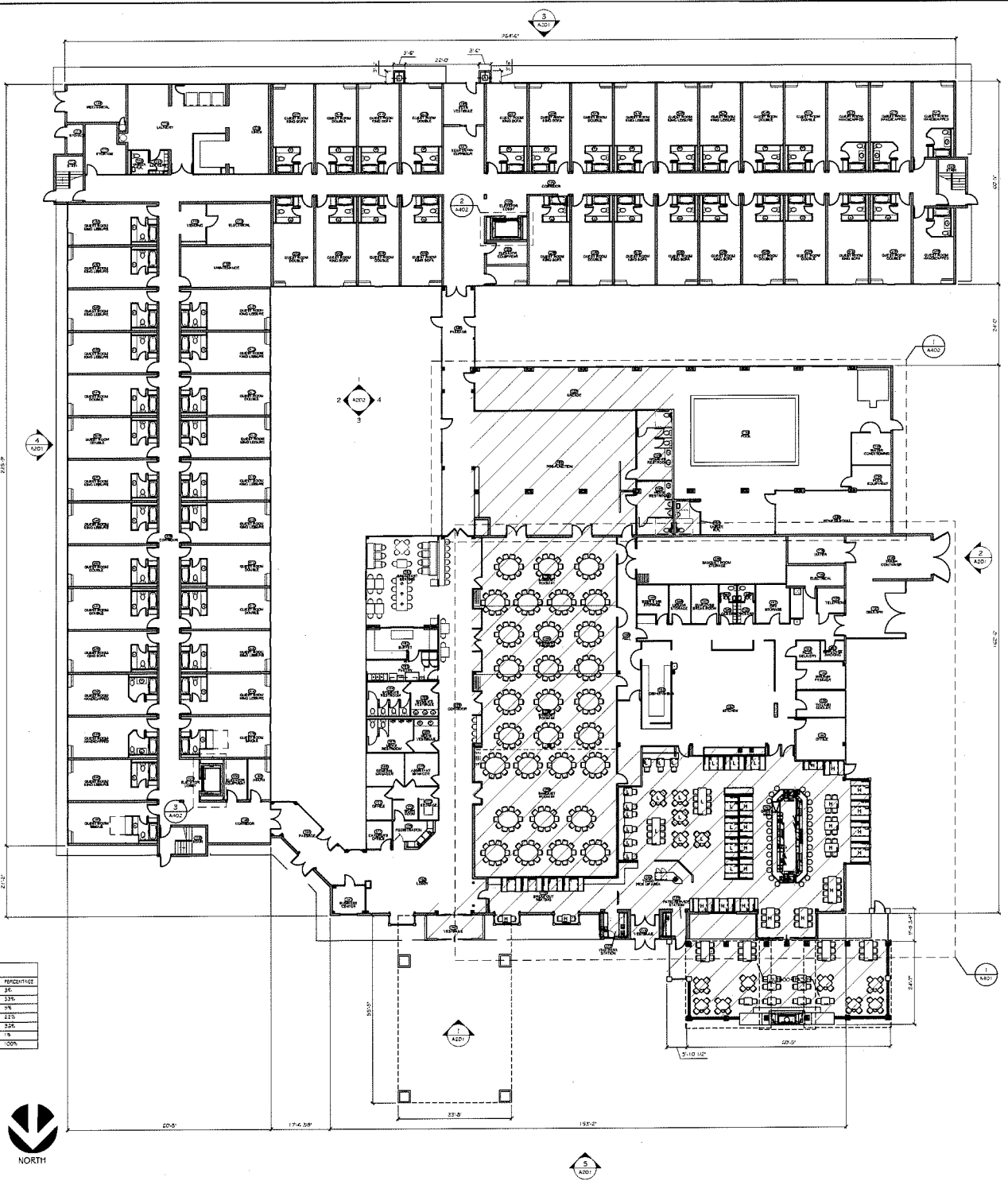


3 FIREPLACE ELEVATION
 3/8" = 1'-0"



4 FIREPLACE ELEVATION - PARKING LOT SIDE
 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
DATE ISSUED	XXXX/2014	
SCALE	PRELIMINARY	
PROJECT NAME	BEST WESTERN PLUS - SHOREVIEW	
PROJECT OWNER	TORGERSON PROP.	
PROJECT LOCATION	SHOREVIEW, MN	
SHEET TITLE	PATIO ELEVATIONS	
SCALE:	AS NOTED	
DRAWN BY	25595	
CHECKED BY	A701	



ROOM TYPE	1ST	2ND	TOTAL UNITS	PERCENTAGE
SINGLE	4	0	4	2%
DOUBLE	18	20	38	23%
TRIPLE/QUAD	6	0	6	3%
TWO SUITES	17	0	17	11%
SUITE SUITES	12	22	41	26%
SUITE	0	1	1	1%
UNIT TOTALS	35	23	58	100%

SQUARE FOOTAGE TOTALS

FIRST FLOOR:	22,810 SQUARE FEET
SECOND FLOOR:	26,181 SQUARE FEET
TOTAL:	48,991 SQUARE FEET

1 FIRST FLOOR PLAN
 3/32" = 1" = 0"



DATE	DESCRIPTION
01/21/2014	PRELIMINARY

PROJECT OWNER:
TORGERSON PROP.

PROJECT LOCATION:
SHOREVIEW, MN

SHEET TITLE:
FIRST FLOOR PLAN

SCALE:
 AS NOTED

DATE:
25595

SCALE:
A101

*BEST WESTERN PLUS | SHOREVIEW, MN
SIGNAGE - NEW SIGN DESIGN*



Perspective view from parking lot looking towards hotel and restaurant entrances on North side of building.



BEST WESTERN PLUS | SHOREVIEW, MN
SIGNAGE - NEW SIGN DESIGN



*Green Mill Restaurant sign at entrance on North side of building.
Effective sign area 84 square feet.*

(Refer to plans & elevations for further details)

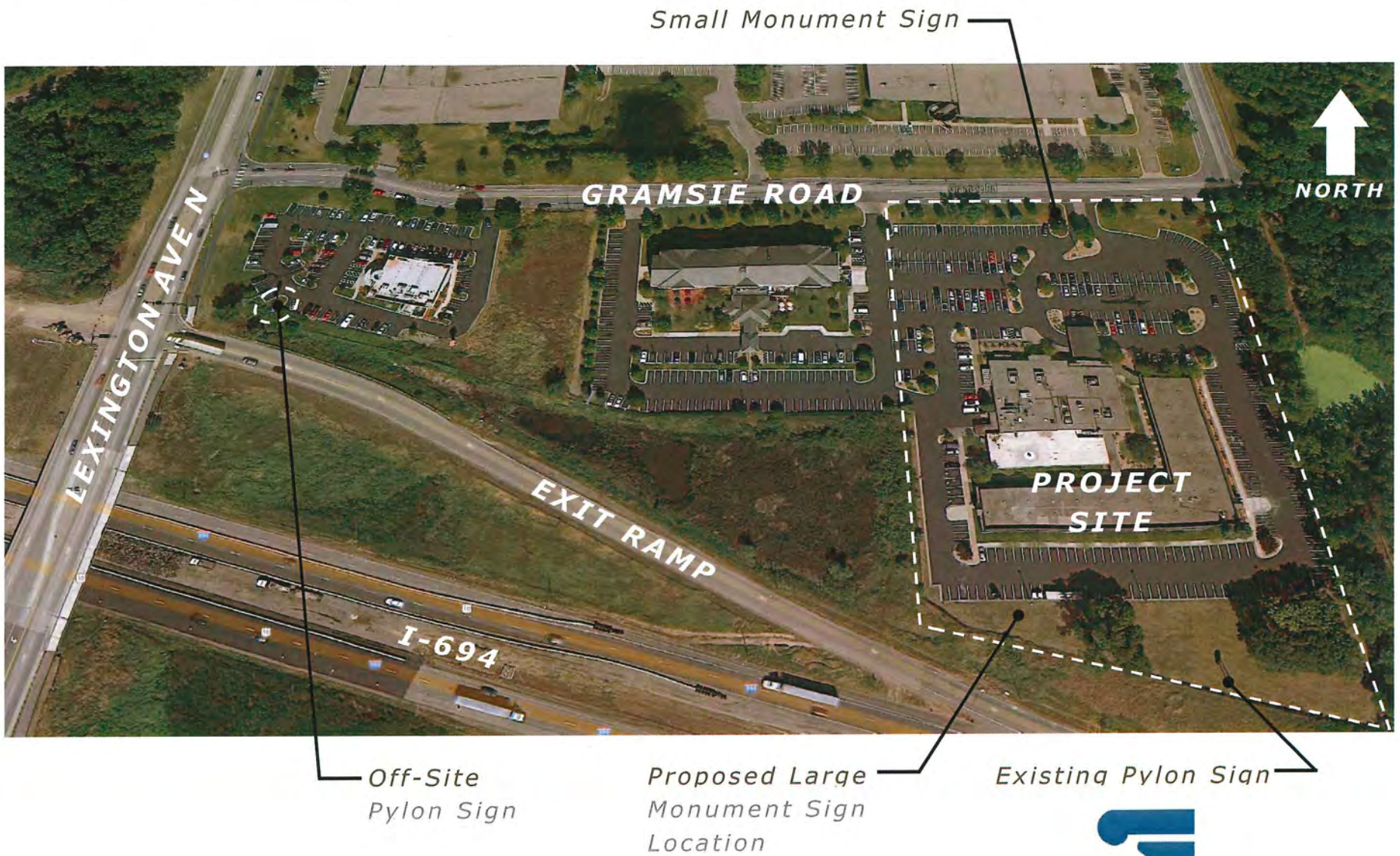
CEA PROJECT Nº 25595



CITIES EDGE ARCHITECTS

BEST WESTERN PLUS | SHOREVIEW, MN

SIGNAGE - AERIAL VIEW



Off-Site
Pylon Sign

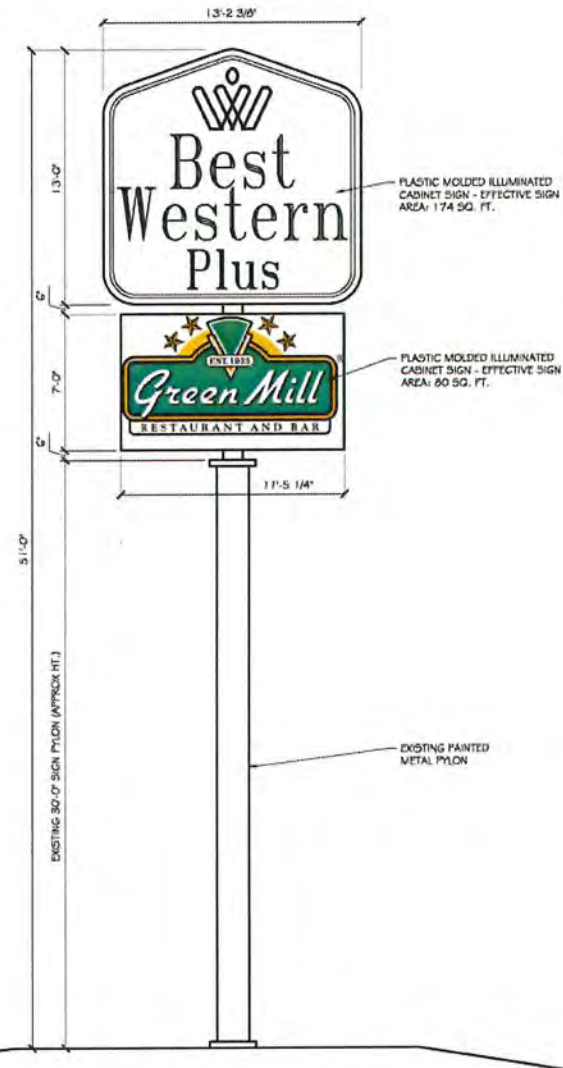
Proposed Large
Monument Sign
Location

Existing Pylon Sign



CITIES **EDGE** ARCHITECTS

BEST WESTERN PLUS | SHOREVIEW, MN
SIGNAGE - NEW SIGN DESIGN



OFF-SITE PYLON SIGN @ I-694 & LEXINGTON AVE

Not to Scale

(Refer to plans for further details)





Robert Warwick <rwarwick@shoreviewmn.gov>

File no 2518-14-08

Rick Current <rcurrent@ljfd.org>

Fri, Mar 7, 2014 at 11:01 AM

Reply-To: rcurrent@ljfd.org

To: Robert Warwick <rwarwick@shoreviewmn.gov>

Rob,

My only comment on the Hampton Inn/Green Mill project is the obvious one about installing the outdoor patio fireplace per manufacturers guidelines.

Otherwise it looks like a nice project.

Thanks,

Rick Current

Fire Marshal

Lake Johanna Fire Department

651-481-7024

From: [Chris Buntjer](#)
To: [Delbert Sheets](#)
Subject: RE: Best Western Site Improvements - RCWD Pre-application Meeting
Date: Thursday, February 13, 2014 1:21:17 PM
Attachments: [image001.png](#)

Del,

Based on your description of the project, I have determined that a RCWD permit will not be required for your proposed reconstruction project at 1000 Gramsie Road in Shoreview, MN.

The proposed addition will disturb an area less than an acre, and includes less than 10,000 ft² of new/reconstructed impervious surface area. Additionally, no wetland impacts or floodplain fill are proposed; therefore, a RCWD permit is not required.

Please note that this decision does not indemnify you from enforcement action if the scope of the project changes, or a violation of District Rules or other laws is found to have occurred as a result of this project. Please take care to ensure that no sediments are deposited down gradient of the site, and that any soils disturbed during construction are stabilized within 14 days of project completion. Permits may be required from other agencies including, but not limited to, the City of Shoreview.

Thank you,
Chris Buntjer, P.E.
Technical Specialist/Permit Reviewer
763-398-3078



From: Delbert Sheets [<mailto:dsheets@ramaker.com>]
Sent: Wednesday, February 12, 2014 2:36 PM
To: Chris Buntjer
Subject: RE: Best Western Site Improvements - RCWD Pre-application Meeting

Chris,

Thank you for the meeting yesterday. I enjoyed meeting both you and Nick. As requested, I am attaching the plans and aerial photo we had reviewed at our meeting. I look forward to your further review and written determination relative to permit applicability on our project.

Thanks again,

Delbert (Del) Sheets | Project Manager, NCARB
Cities Edge Architects | 103 15th Ave NW, Suite 300, Willmar, MN 56201
Office: 320-235-7775 | Direct: 608-644-2264 | Cell: 320-292-6653
dsheets@ramaker.com
www.citiesedgearchitects.com
www.ramaker.com

MOTION
TO APPROVE THE SITE AND BUILDING PLAN REVIEW AND COMPREHENSIVE
SIGN PLAN

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the Site and Building Plan Review and Comprehensive Sign Plan applications submitted Cities Edge Architects for the Hampton Inn/Green Mill at 1000 Gramsie Road.

This approval is subject to the following:

Site and Building Plan Review:

- 1) This approval permits exterior modification of the existing building, in accordance with the preliminary plans dated 2014. Significant changes, as determined by the City Planner, shall require review by the Planning Commission and approval of the City Council.
- 2) The project shall comply with the requirements of the Fire Marshall.
- 3) The Building Official is authorized to issue a building permit for this project.
- 4) Construction parking and materials storage shall be confined to the subject property. No construction parking or material storage is permitted within the Gramsie Road or I-694 rights-of-way.

Comprehensive Sign Plan:

1. The signs on the property shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.
2. The applicant shall obtain a sign permit prior to the installation of the new signs on the property.
3. The signs shall be setback a minimum of 5-feet from the any property line, including along Gramsie Road and I-694, and shall be located so as not to interfere with traffic visibility.

This approval is based on the following findings of fact:

1. The proposed land use is consistent with the designated Commercial land use of the Comprehensive Plan.
2. The proposed development complies with the standards identified in the City's Development Code.
3. The proposed improvements meet the spirit and intent of the Comprehensive Plan and the Development Code.

VOTE:

AYES:

NAYS:

t/2013pcf/2518-14-08/pcmotion

TO: Planning Commission
FROM: Kathleen Castle, City Planner
DATE: March 21, 2014
SUBJECT: File No. 2519-14-09, Site and Building Plan Review, City and County Credit Union– 1001 Red Fox Road

Introduction

City and County Credit Union submitted a Site and Building Plan Review application for a proposed branch facility at 1001 Red Fox Road. The proposed development is the last phase of a previously approved master plan for a retail development. Site and Building Plan review is required to ensure that the proposal is consistent with the City's Development Regulations and approved Planned Unit Development for this site.

Project Description

The development site is located on the north side of Red Fox Road, east of Lexington Avenue and south of Interstate 694 and is the third phase of the 6.6 acre planned unit development. The proposed development is on the previously platted Lot 3, which is on the eastern end of the PUD. Lot 3 is 1.12 acres in size and has frontage on the cul-de-sac terminus of Red Fox Road. The submitted development plans identify the development of this lot with a one-story 3,386 square foot building with two drive-through lanes. Site improvements include access driveways off of Red Fox Road, an off-street parking area, landscaping and site lighting. The master plan was developed with the proposed bank facility as a future use on this lot.

Planned Unit Development

Several approvals were granted in 2011 by the City for the development of this site which included rezoning PUD, Plat and Comprehensive Sign Plan for the retail center and specialty market. While the property within this development is zoned PUD, the underlying zoning designation is C2, General Business. A master development agreement was executed for the PUD and required the execution of easement agreements addressing cross access, parking and driveway use and the maintenance common driveways, parking areas, stormwater infrastructure, private sewer and water lines, landscaping, etc.

Site improvements for the PUD have been completed and included site preparation, installation of private infrastructure, site grading and storm water improvements. Phase 1 and Phase 2 have been completed with a multi-tenant retail center located on Lot 2, and a specialty market on Lot 1. Phase 3 is the last phase and anticipated the development of Lot 3 with a small commercial building or bank facility.

In addition, the City initiated a street improvement project for Red Fox Road to address congestion and traffic flow issues on the roadway. These improvements included the

replacement of sewer and water utilities, upgrades to the storm sewer system, and widening of the driving lanes and a center turn lane.

Site and Building Plan Review

The intent of the Site and Building Plan review is to provide the City with the opportunity to review the proposed development in accordance with the development code standards and approved PUD via a public review process. The proposed use and site development is consistent with the City's past approvals. The following summarizes the proposal.

Code Deviations

This retail area is zoned PUD, Planned Unit Development. Development via the planned unit development process for this project was used because the land uses rely on shared infrastructure and the project was phased. Flexibility from the City's development standards were needed for parking/drive setback adjacent to Interstate 694 and structure setbacks.

Building Placement

The proposed structure on Lot 1 complies with the required structure setbacks from Red Fox Road right-of-way and the side property lines. A minimum structure setback of 50 feet is required from Interstate 694; 26.47 feet is shown. This deviation is consistent with that shown on the master plan which anticipated a 22-foot setback from the interstate right-of-way for a future structure. The location of a structure is reasonable due to an existing wetland area located in the southeast portion of the property which affects the buildable area of the property. This reduced setback will not negatively impact the interstate or be visually discernible due to the orientation of the proposed structure.

Parking Lot Design

The parking areas are shared between the three parcels. The parking area will tie into the existing parking improvements installed for the multi-tenant retail center. Site access will rely on an existing driveway located near the Red Fox Road cul-de-sac terminus. A setback reduction to the 20-foot parking lot setback required along Interstate 694 was approved as part of the PUD for Lots 1, 2 and 3.

The proposed parking lot is designed with a 5-foot setback from the interstate right-of-way and is an extension of an existing driveway improvement located on Lot 1. This driveway is designed as an exit lane for clients using the drive-through facilities. The Commission should note that a curb cut is planned along the eastern edge of the parking lot which will provide access to the field road used to maintain the existing billboard on the adjoining outlot.

The parking area is designed with 25 stalls and exceeds the minimum of 17 stalls required. In addition each drive-through lane provides stacking space for a minimum of 6 vehicles. While this development exceeds the minimum parking standards, parking is shared between

the three parcels in this PUD. The approved master plan identified 23 parcels for the branch credit union. Due to the mix of uses located within this retail PUD, a reduction of parking is not being recommended.

Within the parking lot, two areas are identified for the placement of a trash enclosure and enclosure for an emergency generator. These enclosures are designed with an exterior building material, EIFS, to match the building.

Architectural Design

The building is designed as a one-story building oriented towards the southwest to enhance visibility from Red Fox Road and Interstate 694. Exterior wall finishes include exterior insulation finish system (EIFS) with an aluminum composite panel system and glass. These materials are also used in the retail center and specialty market, however, brick, stone and rock face block were also used in those projects.

Grading and Drainage

The proposed grading plan is consistent with the previous PUD approvals. A small portion of the development site will drain towards the existing drainage swale adjacent to Interstate 694. The majority of stormwater will be captured by stormwater infrastructure located within the parking lot which will route run-off to the east into the existing drainage pond constructed for this development. This pond is then designed to overflow into the Interstate 694 drainage swale.

The property is located in the Rice Creek Watershed District. The permit may be required from the District for this project.

The proposed impervious surface coverage is 49% and is less than the 80% permitted in commercial districts. This coverage is consistent with the approved PUD.

Wall Signs

The City has approved a Comprehensive Sign Plan for the PUD, which included signage on the proposed credit union building. The Comprehensive Sign Plan permitted wall signage on two building elevations, the front (west) elevation, and the north side on the drive-through canopy and limited the sign area to 140 square feet.

The orientation of the building has changed slightly to maximize views from Red Fox Road and Interstate 694 as such three signs are being proposed (see table below). With the exception of the north facing wall sign, the proposed signs comply with the sign code standards as well as the Comprehensive Sign Plan. The addition of a third wall sign and the increase in wall length can be approved administratively as an amendment to the Sign Plan. Through this administrative process, the number of wall signs can be increased by one and the length of a wall sign can be increased by 5%. The proposed signs comply with these

requirements. At this time, a free-standing sign is not being proposed and would require a formal amendment to the sign plan if one is desired in the future.

Building Elevation	Sign Area	Sign Length
East	151 square feet permitted per Sign Code	18 feet permitted per Sign Code
City County Credit Union	82.5 square feet	16.5 feet
Logo	25 square feet	5 feet
<i>Total</i>	<i>107.5 square feet</i>	
North	140 square feet permitted	15.7 feet permitted per Sign Code
City County Credit Union	82.5 square feet	16.5 feet*
Logo	25 square feet	5 feet
<i>Total</i>	<i>107.5 square feet</i>	
West	140 square feet permitted	18 feet permitted per Sign Code
City County Credit Union	35 square feet	14 feet
Logo	25 square feet	5 feet
<i>Total</i>	<i>70 square feet</i>	

Public Comment and Agency Review

The City notified property owners within 350 feet of the development. Comments from the Lake Johanna Fire Department were received and are attached. Information has been submitted to address the comments of the Fire Marshal regarding fire apparatus access through the site.

Recommendation

The submitted plans were reviewed in accordance with the approved PUD and the City's development standards and the land use policies for this site. The proposed development of this site with a credit union branch facility is consistent with the past approvals for this PUD. This last phase of the PUD utilizes existing site infrastructure, completes site development improvements needed for the proposed use and continues the approved architectural theme. Staff is recommending the Commission approve the Site and Building Plan Review, subject to the following conditions:

1. This approval permits the development of this parcel with a branch bank/credit unit facility approximately 3,386 square feet in size.
2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.

4. The master development agreement for the plat and PUD for this development shall remain in effect and said terms which apply to Lot 3 shall be adhered to.
5. The items identified in the email from the Assistant City Engineer must be addressed prior to the issuance of a building permit.
6. The items identified in the memo from the Fire Marshal shall be addressed prior to the issuance of a building permit.
7. Specifications on the Emergency Generator shall be submitted prior to the issuance of a building permit. Use of the generator is for emergency purposes only. Said generator may be used only when the primary source of electricity is disrupted, except for required maintenance activity. Said Generator shall comply with the City's Noise Standards.
8. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

Attachments:

1. Email from Asst City Engineer
2. Memo from the LJFD Fire Marshal
3. Aerial Photo
4. Submitted Statement and Plans
5. Motion

T:/2014pcf/reports/2519-14-09redfoxroadcccu/pcreport



City County Credit Union

Tom Wesolowski <twesolowski@shoreviewmn.gov>

Wed, Mar 19, 2014 at 11:06 AM

To: Kathleen Castle <kcastle@shoreviewmn.gov>

Kathleen,

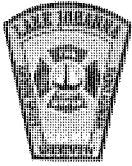
After reviewing the plans we only have a few comments.

1. The site is adjacent to a wetland and the plans call for silt fence to be installed along the edge of the wetland. In the past when there have been projects close to wetlands/lakes we have asked the developer to install two rows of silt fence.
2. The main water service needs to be separated into a fire service and a domestic service on the outside of the building with valves on each service.
3. With the construction of the building the access to the electronic billboard will be cut-off. They will need to work out an alternate access for the sign.
4. The stormwater runoff from the site will tie into the existing stormwater collection and treatment system, which was designed to handle the runoff this site and constructed as part of the Stonehenge retail center.

Please contact me if you have any questions or comments.

Thank you, Tom

[Quoted text hidden]



LAKE JOHANNA FIRE DEPARTMENT

5545 LEXINGTON AVENUE NORTH • SHOREVIEW, MN 55126
OFFICE (651) 481-7024 • FAX (651) 486-8826

March 7, 2014

Department of Community Development
Attn: Kathleen Nordine, City Planner
4600 N Victoria Street
Shoreview, MN 55126

Site and Building Plan Review
City County Credit Union
Red Fax Road
Shoreview, MN 55126

File No. 2519-14-09









- Verify location of F.D.C.
 - Should be on address side of building.
- Fire Hydrant within 150' of F.D.C.
- Verify location of riser room.
- Fire Department lock box is required.
- Must maintain width for fire truck access along north end of building

Sincerely,

Rick Current
Fire Marshal
Lake Johanna Fire Department

Legend



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  Recreational Centers
-  Parcel Points
-  Parcel Boundaries



Notes

Site and Building Plan Review

504.5 0 252.24 504.5 Feet

City & County Credit Union
Shoreview, MN

Project Description

The project site is located on the north side of Red Fox Road, east of Lexington Avenue and south of Interstate 694 in the Stonehenge Shoreview Retail Center. This project represents the final phase of three construction phases for the development. Currently, the development consists of retail shops, Trader Joe's, and Five Guys. The proposed branch for City & County Credit Union should complement and add variety to the retail mix for the development.

Leveraging the latest technology to better serve its members and potential members, the proposed Credit Union will be a next-generation, "branch of the future" facility. The interior of the branch has been designed to focus on the member experience, with a layout driven by enhancing relationships and embracing financial consultation. It will be a flagship facility for the Credit Union that will set precedence for future branded experiences across City & County's branch network.

The building has been positioned on the site to respect the adjacent wetlands to the east and leverage its exposure to I-694. The drive-ups, trash enclosure and generator enclosure have been strategically located to have minimal impact on adjacent properties.

**PROPOSED MOTION
CITY AND COUNTY CREDIT UNION**

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To recommend the City Council approve the Site and Building Plan Review for the City County Credit Union branch facility located at 1001 Red Fox Road, subject to the following conditions:

1. This approval permits the development of this parcel with a branch bank/credit unit facility approximately 3,386 square feet in size.
2. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building permit for this project.
3. The applicant is required to enter into a Site Development Agreement and Erosion Control Agreement with the City. Said agreements shall be executed prior to the issuance of any permits for this project.
4. The master development agreement for the plat and PUD for this development shall remain in effect and said terms which apply to Lot 3 shall be adhered to.
5. The items identified in the email from the Assistant City Engineer must be addressed prior to the issuance of a building permit.
6. The items identified in the memo from the Fire Marshal shall be addressed prior to the issuance of a building permit.
7. Specifications on the Emergency Generator shall be submitted prior to the issuance of a building permit. Use of the generator is for emergency purposes only. Said generator may be used only when the primary source of electricity is disrupted, except for required maintenance activity. Said Generator shall comply with the City's Noise Standards.
8. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

This recommendation is based on the following findings of fact:

1. The proposed land use is consistent with the City's Comprehensive Plan.
2. The proposed land use and development plans are consistent with the approved PUD and the Development Code standards.
3. The use is in harmony with the general purposes and intent of the Development Code and Comprehensive Plan.

VOTE:

AYES: _____

NAYS: _____

Site Development Plans

for

City & County Credit Union

Shoreview, Minnesota

Presented by:
City & County Credit Union

mfra
engineering surveying planning environmental

14800 28th Ave. N, Ste 140
Plymouth, Minnesota 55447
(763) 476-6010 telephone
(763) 476-8532 facsimile
www.mfra.com

Client



Project

**CITY & COUNTY
CREDIT UNION**

Location

**SHOREVIEW,
MN**
RED FOX ROAD
SHOREVIEW, MN 55126

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Chad Ayers
Registration No. 0211 Date: 02/24/2014

If applicable, contact us for a wet signed copy of this plan which is available upon request at MFRA, Inc., Plymouth, MN office.

Summary

Designed: CA Drawn: AAA
Approved: CA Book / Page: -/-
Phase: PRELIMINARY Initial Issued: 02/24/2014

Revision History

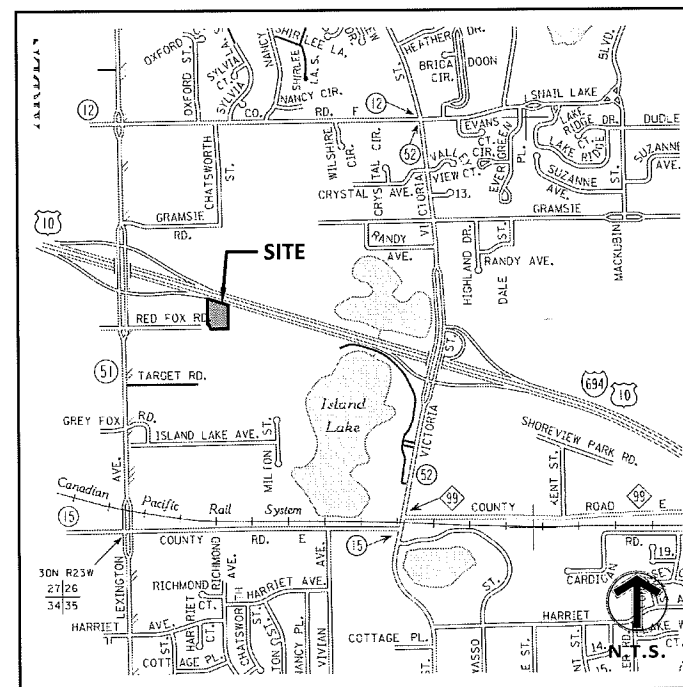
No. Date By Submittal / Revision

Sheet Title
COVER SHEET

Sheet No. Revision

C1.01

Project No. STO18275.03



VICINITY MAP
NO SCALE

SHEET INDEX

SHEET NUMBER	SHEET TITLE DESCRIPTION
C1.01	COVER SHEET
C2.01	EXISTING CONDITIONS
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	EROSION CONTROL PHASE I
C5.02	EROSION CONTROL PHASE II
C5.02	EROSION CONTROL DETAILS
C6.01	UTILITY PLAN
C9.01	DETAIL SHEET
C9.02	DETAIL SHEET
L1.01	SITE LANDSCAPE PLAN
L1.02	SITE LANDSCAPE DETAILS
A.1	FLOOR PLAN
A.2	BUILDING ELEVATIONS & DETAILS
A.3	SIGNAGE PLAN
A.4	SITE LIGHTING PLAN
A.5	EXTERIOR PERSPECTIVES

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
CITY & COUNTY CREDIT UNION
144 11TH STREET EAST
ST. PAUL, MN 55101
TEL 651-225-2760
FAX 651-779-9486
CONTACT: MATT SCHEWE

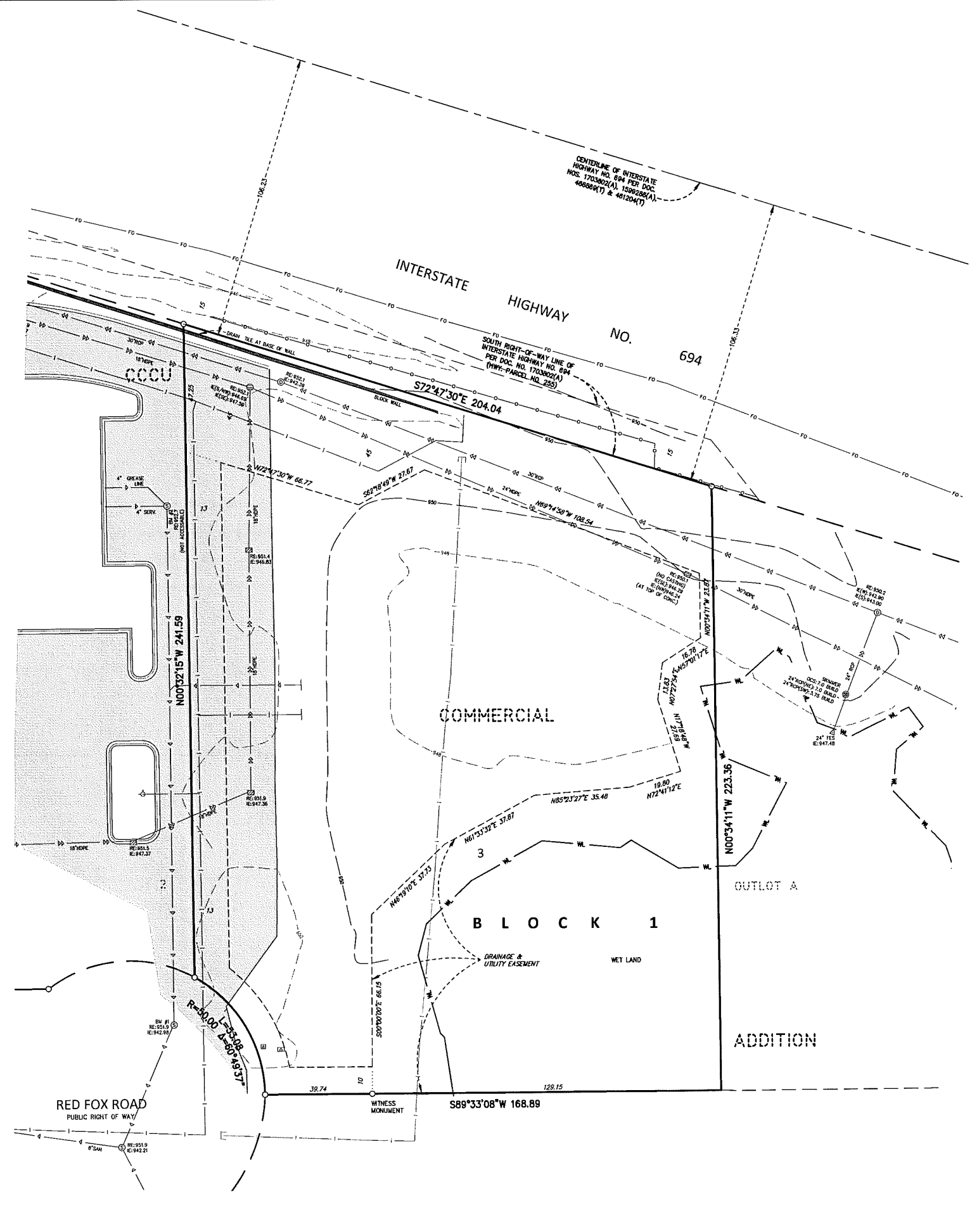
CIVIL ENGINEER
MFRA INC.
14800 28TH AVENUE, SUITE 140
PLYMOUTH, MN 55447
TEL 763-476-6010
FAX 763-476-8532
CONTACT: CHAD AYERS

ARCHITECT
NEWGROUND
15450 SOUTH OUTER FORTY DRIVE, SUITE 300
CHESTERFIELD, MO 63017
TEL 636-898-8100
FAX 636-898-8111
CONTACT: BILL BILY

SURVEYOR
MFRA INC.
14800 28TH AVENUE, SUITE 140
PLYMOUTH, MN 55447
TEL 763-476-6010
FAX 763-476-8532
CONTACT: MARCUS HAMPTON

GEOTECHNICAL
COMPANY
ADDRESS
ADDRESS
TEL
FAX
CONTACT:

LANDSCAPE ARCHITECT
MFRA INC.
14800 28TH AVENUE, SUITE 140
PLYMOUTH, MN 55447
TEL 763-476-6010
FAX 763-476-8532
CONTACT: JIM KALKES

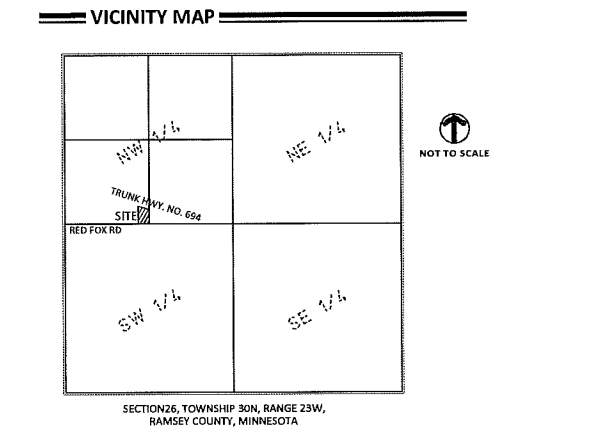


LEGEND		
● FOUND MONUMENT	— — WATERMAIN	--- EASEMENT LINE
○ SET MONUMENT MARKED LS 47481	— — SANITARY SEWER	--- SETBACK LINE
⊗ ELECTRIC METER	⊗ STORM SEWER	--- RESTRICTED ACCESS
☆ LIGHT	⊗ FLARED END SECTION	--- CONCRETE CURB
⊗ AIR CONDITIONER	⊗ ELECTRIC TRANSFORMER	--- BUILDING LINE
— GUY ANCHOR	⊗ TELEPHONE PEDESTAL	--- BUILDING CANOPY
⊗ HANDICAP STALL	⊗ GAS METER	--- BITUMINOUS SURFACE
⊗ UTILITY POLE	— — OVERHEAD WIRE	--- CONCRETE SURFACE
⊗ POST	— — CHAIN LINK FENCE	--- LANDSCAPE SURFACE
⊗ SIGN	— — IRON FENCE	--- DECIDUOUS TREE
	— — WIRE FENCE	--- CONIFEROUS TREE
	— — WOOD FENCE	

DESCRIPTION
 Lot 3, Block 1, CCCU COMMERCIAL ADDITION, Ramsey County, Minnesota.

BENCHMARKS
 1. The vertical datum is based on NGVD29.
BENCHMARK #1
 Sanitary Manhole located on Red Fox Road. Elev.=951.99 Ft.
BENCHMARK #2
 Sanitary Manhole located in parking lot west of subject property. Elev.=952.75 Ft.

SURVEY NOTES
 1. The bearing system is based on the plat of CCCU COMMERCIAL ADDITION.
 2. Field work was completed on 7/24/2013.
 3. Subject property's address is unassigned, its property identification number is 263029230017.
 4. The gross area of the subject property is 1.117 Acres or 48,640 Square Feet.



Project
CITY & COUNTY CREDIT UNION

Location
SHOREVIEW, MN
 RED FOX ROAD
 SHOREVIEW, MN 55126

Certification
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LAND SURVEYOR under the laws of the State of Minnesota.

Marcus F. Hampton
 Registration No. 47481 Date: 2/20/2014
 This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Mfra, Inc., Plymouth, MN office.

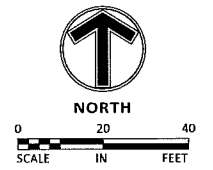
Summary
 Designed: ICB Drawn: ICB
 Approved: MFM Book / Page:
 Phase: Initial Issued: 2/20/2014

Revision History
 No. Date By Submittal / Revision

Sheet Title
EXISTING CONDITIONS

Sheet No. Revision
C2.01

Project No. STO18275.03



Client



Project

**CITY & COUNTY
 CREDIT UNION**

Location

**SHOREVIEW,
 MN**

RED FOX ROAD
 SHOREVIEW, MN 55126

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Chad Ayers
 Registration No. 0211 Date: 02/24/2014
 If applicable, contact us for a wet signed copy of this plan which is available upon request at MFRA, Inc., Plymouth, MN office.

Summary

Designed: CA Drawn: AAA
 Approved: CA Book / Page: --/
 Phase: PRELIMINARY Initial Issued: 02/24/2014

Revision History
 No. Date By Submittal / Revision

Sheet Title
SITE PLAN

Sheet No. Revision
C3.01

Project No. STO18275.03

LEGEND		PROPOSED	EXISTING	
PROPERTY LIMIT	---	---	---	
CURB & GUTTER	---	---	---	STANDARD OUTY ASPHALT PAVING
EASEMENT	---	---	---	
BUILDING	---	---	---	HEAVY DUTY ASPHALT PAVING
RETAINING WALL	---	---	---	
WETLAND LIMITS	---	---	---	CONCRETE PAVING
TREELINE	---	---	---	
SAWCUT LINE	---	---	---	
SIGN	---	---	---	
PIPE BOLLARD	---	---	---	
NUMBER OF PARKING STALLS PER ROW	---	---	---	
KEY NOTE	---	---	---	

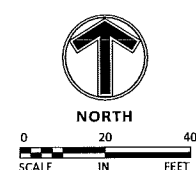
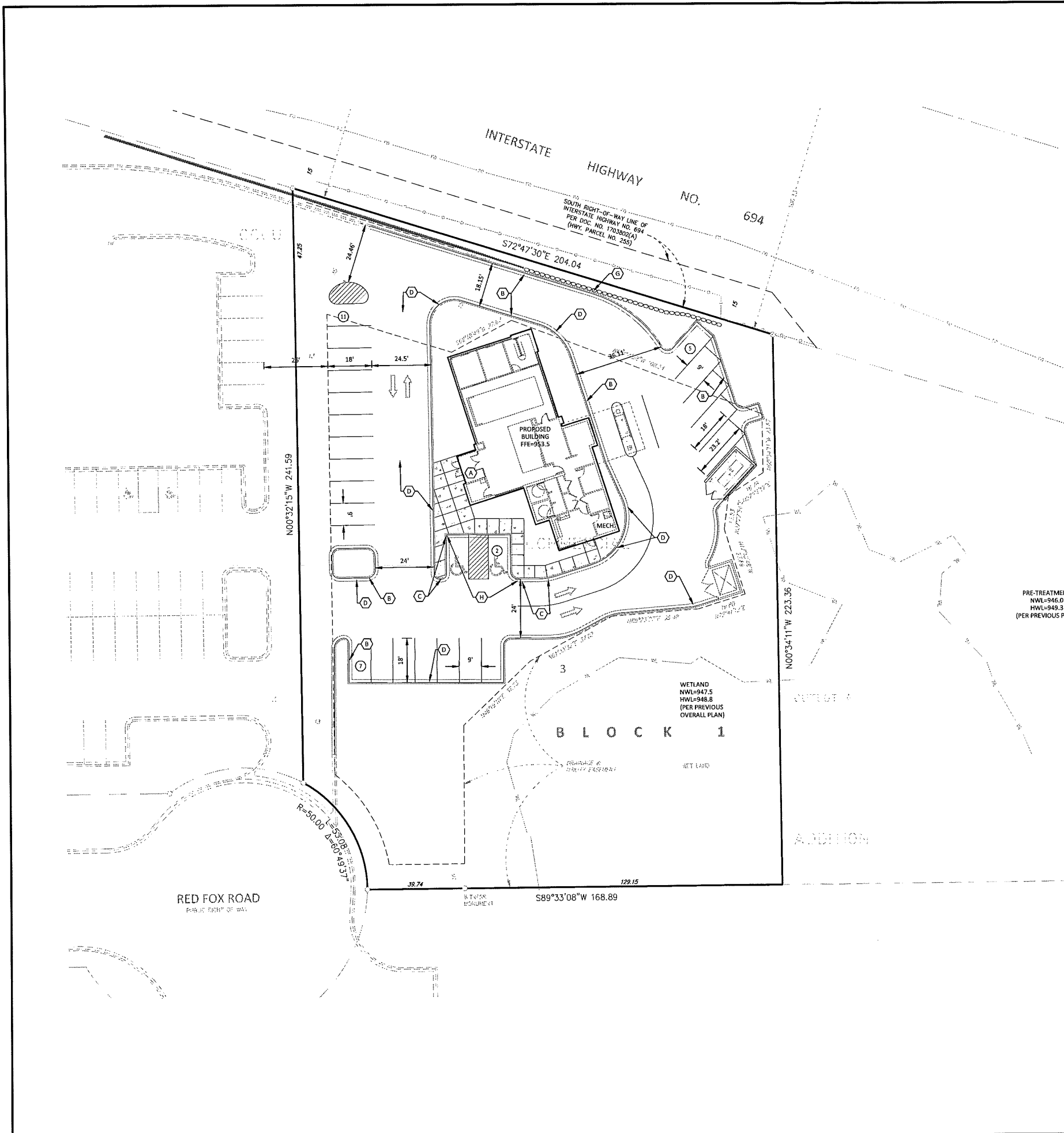
DEVELOPMENT SUMMARY		
AREA		
GROSS SITE AREA	48,640 SF	1.117 AC
SETBACKS		
FRONT YARD		XX FEET
REAR YARD		XX FEET
SIDE YARD		XX FEET
ZONING		
EXISTING ZONING	UND - URBAN UNDER DEVELOPED	
PROPOSED ZONING	UND - URBAN UNDER DEVELOPED	

DEVELOPMENT NOTES

- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. BACK OF CURB IS SHOWN GRAPHICALLY ONLY.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS
- SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
- REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
- ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS ISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
- "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

KEY NOTES

- BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS.
- B-612 CONCRETE CURB AND GUTTER.
- TAPER CURB.
- TIP OUT CURB SECTION
- CONCRETE APRON
- FLAT CURB SECTION.
- SEGMENTAL BLOCK RETAINING WALL
- ACCESSIBLE RAMP.



LEGEND

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAIN TILE		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SILT FENCE		
SILT DIKE		
LIMITS OF DISTURBANCE		
SOIL BORINGS		
DIRECTION OF OVERLAND FLOW		
TEMPORARY DIVERSION DITCH		
CHECK DAM		
LIMITS OF DRAINAGE SUB-BASIN		
BIO-ROLL		
INLET PROTECTION DEVICE 1		
INLET PROTECTION DEVICE 2		
TEMPORARY STONE CONSTRUCTION ENTRANCE		
TEMPORARY SEDIMENT BASIN		
TEMPORARY STORAGE AND PARKING AREA		
TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)		

- SEQUENCE OF CONSTRUCTION**
- PHASE I:**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 3. CONSTRUCT THE SILT FENCES ON THE SITE.
 4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
 5. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
 6. CLEAR AND GRUB THE SITE.
 7. BEGIN GRADING THE SITE.
 8. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- PHASE II:**
1. TEMPORARILY SEED DENUDED AREAS.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL INLET PROTECTION DEVICES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

AREA SUMMARY IN ACRES

PAVEMENT AREA	XX.XX AC±
BUILDING AREA	XX.XX AC±
SEEDING AREA	XX.XX AC±
TOTAL DISTURBED	XX.XX AC±
PRE - CONSTRUCTION IMPERVIOUS	XX.XX AC±
POST - CONSTRUCTION IMPERVIOUS	XX.XX AC±

* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

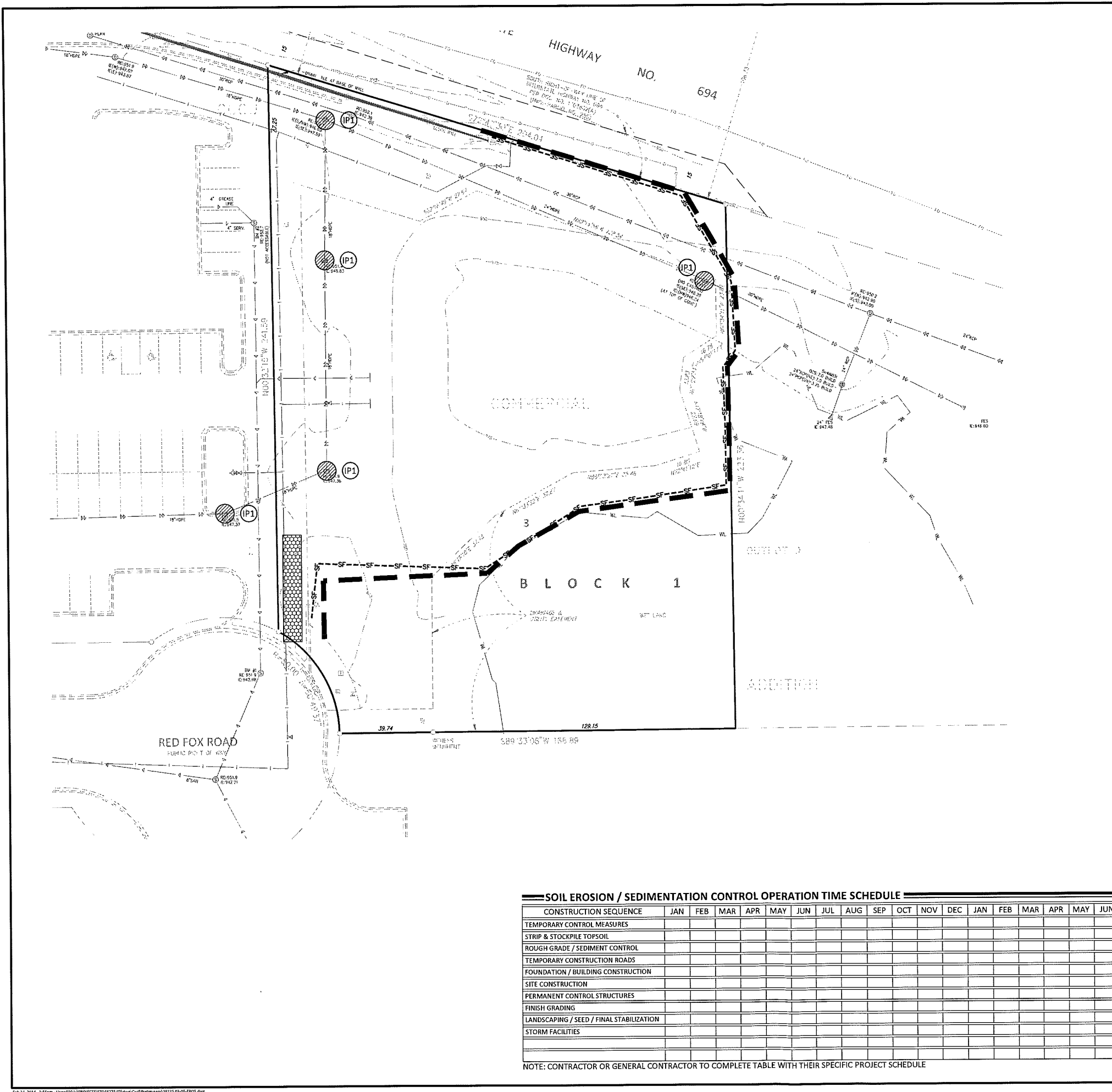
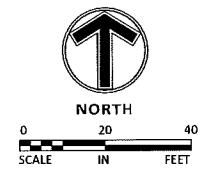
EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	422
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	5
INLET PROTECTION DEVICE (IP-2)	UNIT	0

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
ROUGH GRADE / SEDIMENT CONTROL																			
TEMPORARY CONSTRUCTION ROADS																			
FOUNDATION / BUILDING CONSTRUCTION																			
SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			
FINISH GRADING																			
LANDSCAPING / SEED / FINAL STABILIZATION																			
STORM FACILITIES																			

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE



LEGEND

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINILE		
CONTOUR		
RIP RAP		
OVERFLOW ELEV.		
SILT FENCE		
SILT DIKE		
LIMITS OF DISTURBANCE		
SOIL BORINGS		
DIRECTION OF OVERLAND FLOW		
TEMPORARY DIVERSION DITCH		
CHECK DAM		
LIMITS OF DRAINAGE SUB-BASIN		
BIO-ROLL		
INLET PROTECTION DEVICE 1		
INLET PROTECTION DEVICE 2		
TEMPORARY STONE CONSTRUCTION ENTRANCE		
TEMPORARY SEDIMENT BASIN		
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AREA SUMMARY IN ACRES

PAVEMENT AREA	00.41 AC±
BUILDING AREA	00.08 AC±
SEEDDED AREA	00.10 AC±
TOTAL DISTURBED	00.59 AC±
PRE - CONSTRUCTION IMPERVIOUS	00.17 AC±
POST - CONSTRUCTION IMPERVIOUS	00.49 AC±

* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

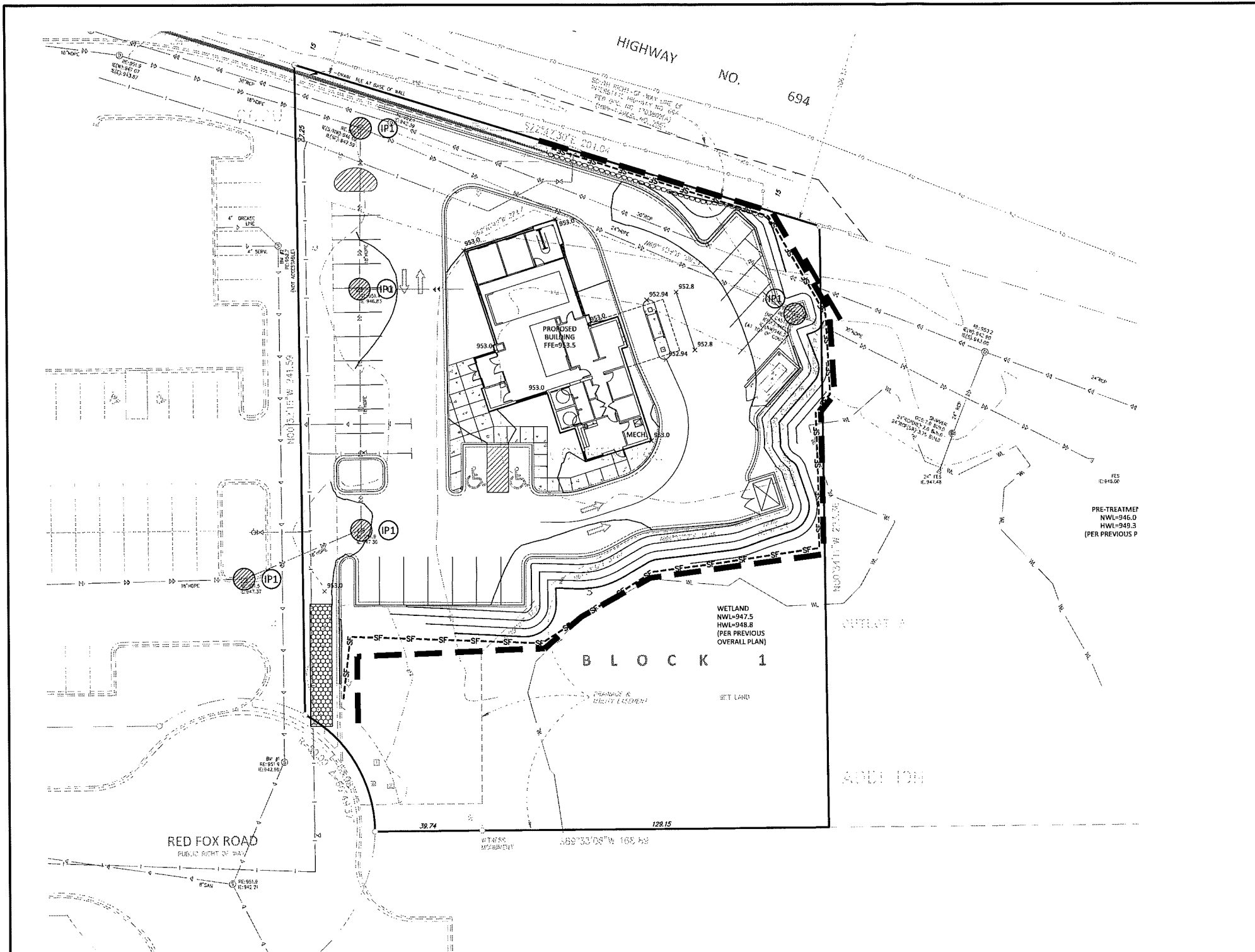
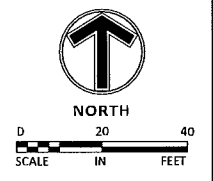
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INLET PROTECTION DEVICE (IP-1)	UNIT	5
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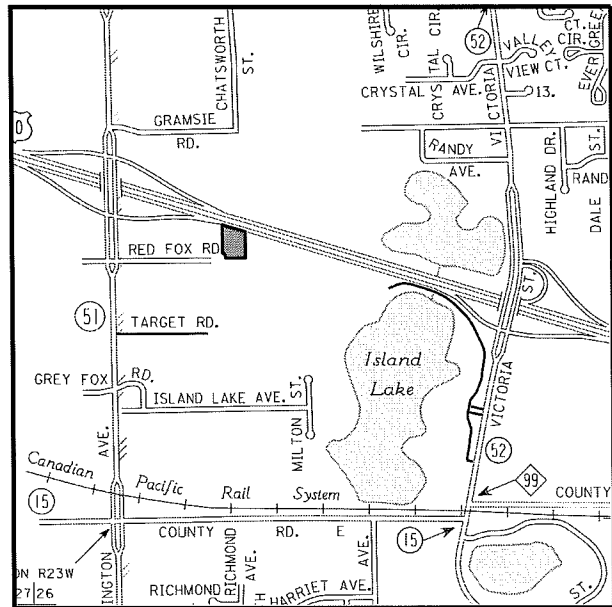
SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
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LANDSCAPING / SEED / FINAL STABILIZATION																			
STORM FACILITIES																			

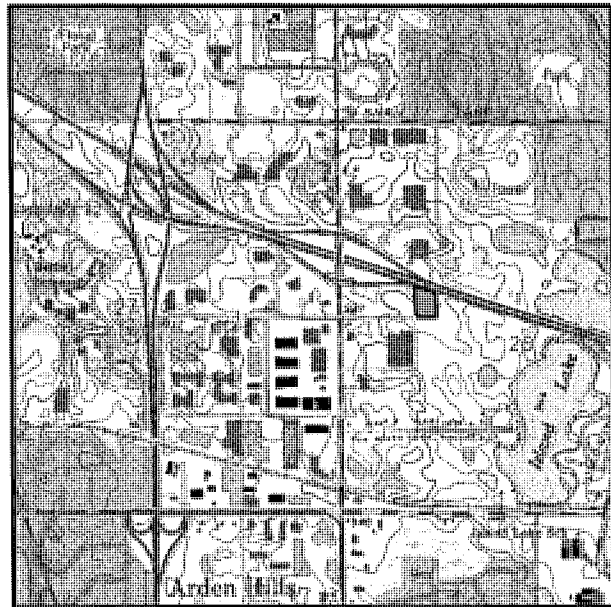
NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE



EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"



SITE LOCATION MAP
NOT TO SCALE



USGS MAP
NOT TO SCALE

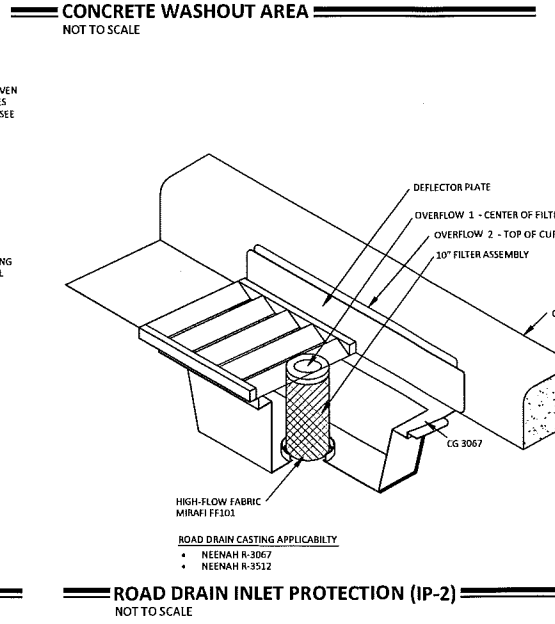
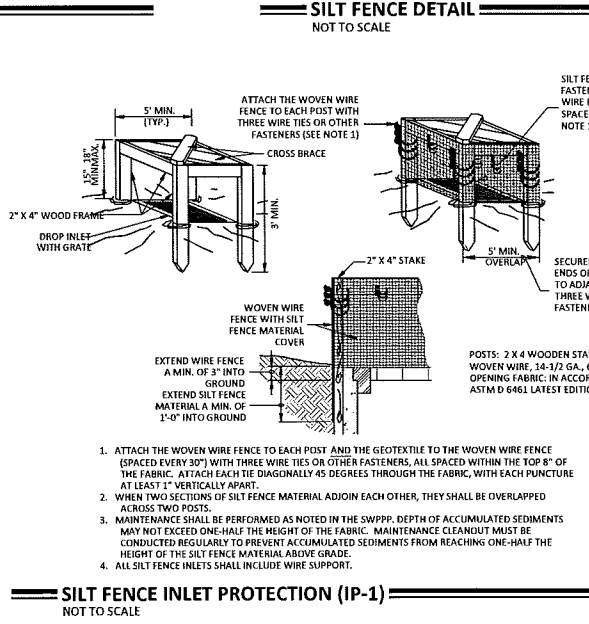
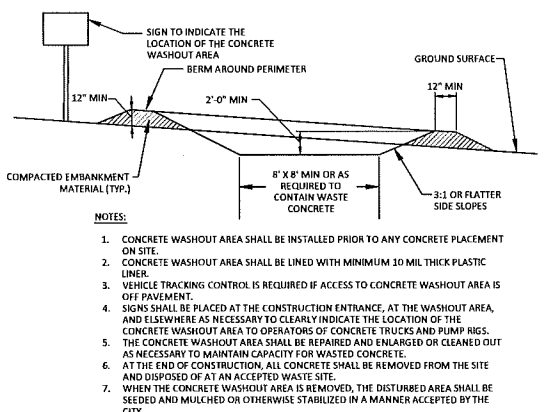
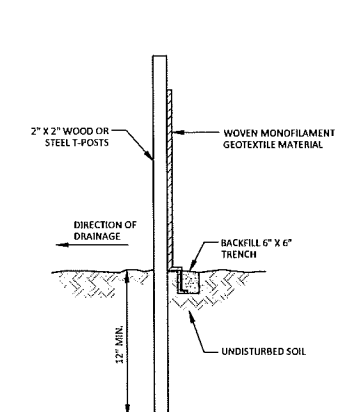
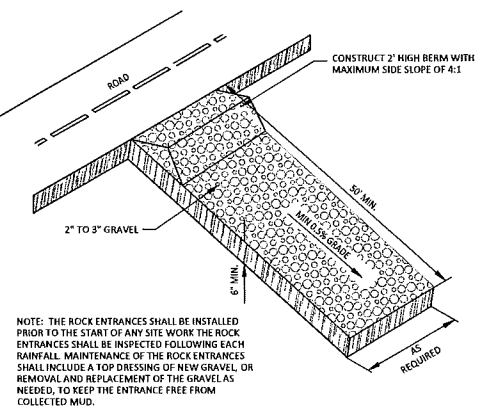
DEVELOPER/OWNER: CITY & COUNTY CREDIT UNION 144 11TH STREET EAST ST. PAUL, MN 55101-2380 651-225-2700
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:

GENERAL EROSION NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND MIRA STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUANTITY LEVEL. THIS QUANTITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF OJASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT ALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ALTA OR TOPOGRAPHIC SURVEY PREPARED BY _____ DATED XX-XX-XXXX. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, THEY SHALL HAVE MADE, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. SEE ATTACHED SURVEY SHEETS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES OCCURRING TO THE ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. THE CONTRACTOR SHALL OBTAIN THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART III.2 OF THE GENERAL PERMIT.
- BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
- ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 100 OR 110 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES, OR DRAINAGEWAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE NOTES:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART IV.D. OF THE GENERAL PERMIT).
 - SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. THE CONTRACTOR MUST REMOVE ALL DEBRIS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. THE CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
 - CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART IV.C.6 OF THE GENERAL PERMIT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL ACCORDING TO PART I.B.5 OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOT HAS BEEN SUBMITTED TO THE MPCA.
 - IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
 - ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.



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Plymouth, Minnesota 55447
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Client

CITY & COUNTY CREDIT UNION

Project

CITY & COUNTY CREDIT UNION

Location

SHOREVIEW, MN
RED FOX ROAD
SHOREVIEW, MN 55126

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Summary

Designed: CA Drawn: AAA
Approved: CA Book / Page: --/--
Phase: PRELIMINARY Initial Issue: 02/24/2014

Revision History

No. Date By Submittal / Revision

Sheet Title

EROSION CONTROL DETAILS

Sheet No. Revision

C5.03

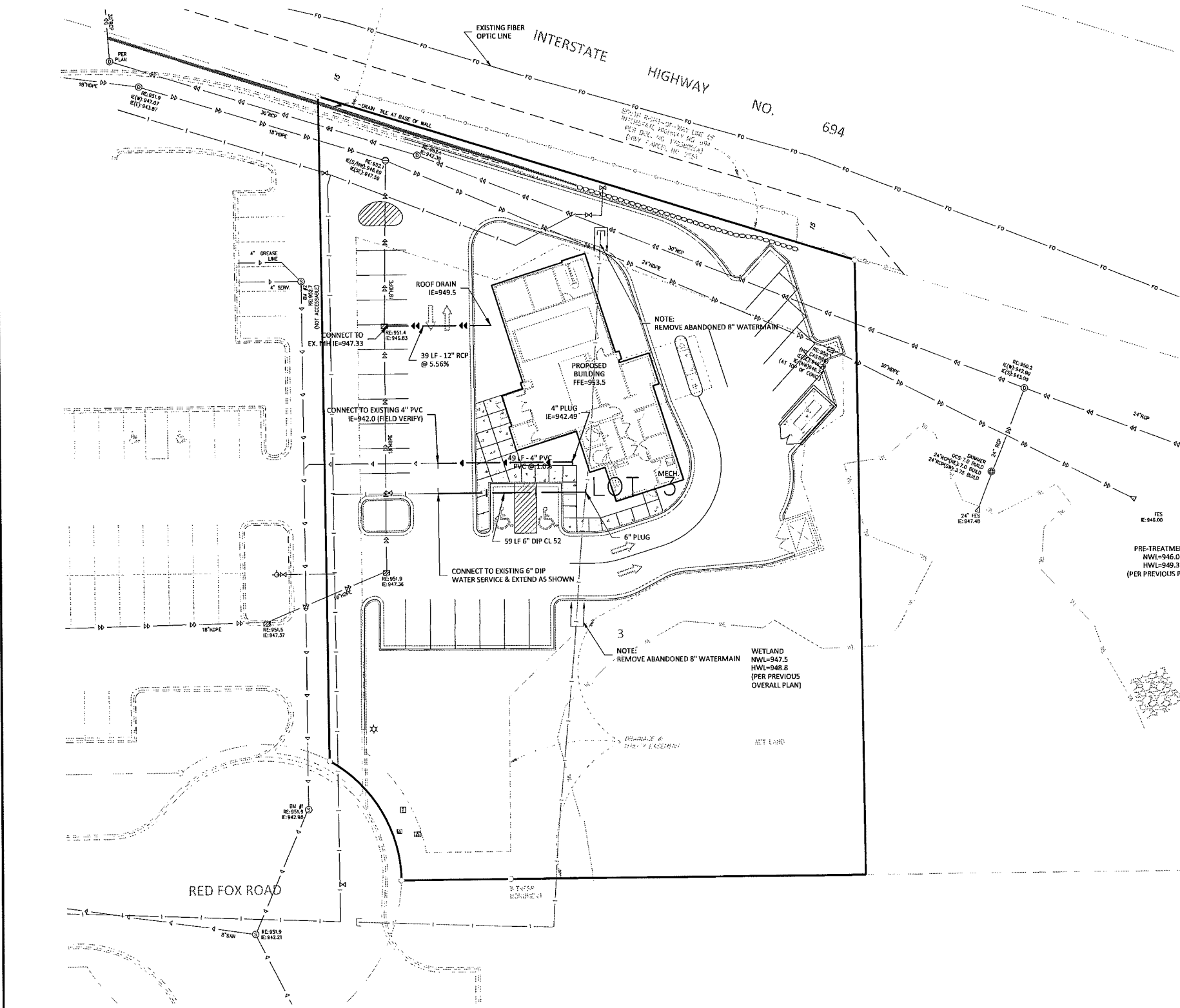
Project No. STO18275.03

LEGEND

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
SANITARY SEWER		
FORCEMAIN (SAN.)		
WATERMAIN		
EASEMENT		
DRAINILE		
GAS LINE		
ELECTRIC		
TELEPHONE		

UTILITY CONSTRUCTION NOTES

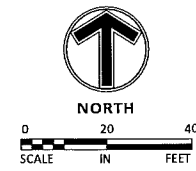
- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE TO CITY REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF THE CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
 - ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, WITH 7.5 FEET MINIMUM COVER.
 - ALL STORM SEWER PIPE TO BE REINFORCED CONCRETE PIPE WITH R-4 JOINTS, AND RUBBER GASKETS.
 - RIP RAP SHALL BE M/DOT CLASS 3.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND EXACT LOCATION OF LIGHT POLES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR, BY CALLING GOPHER STATE ONE CALL AT 454-0002.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
 - ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.
- A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:
- COMPANY:
 ADDRESS:
 PHONE:
 DATED:
- THE CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- PRIOR TO PLACEMENT OF AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
 - THE TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS. HE WILL BE REQUIRED TO PROTECT THE TREES WHICH ARE TO BE SAVED TO BE SURE THAT EQUIPMENT IS NOT NEEDLESSLY OPERATED UNDER NEARBY TREES AND SHALL EXERCISE EXTREME CAUTION IN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, HE SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF THE OPERATION. SHOULD THE CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY DAMAGE. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ARCEX 39-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTRACTING THE WORKER TO THE CENTER Gopher State One Call FOR MINNESOTA, THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCURRED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY UTILITY WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, DEPTH AND IF THE UTILITY IS ACTIVE. NO ACTIVE DRAIN THE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

Feb 24, 2014 - 3:56pm - User: S50\PROJECTS\STO18275\03\dwg\civil\preliminary\18275-03-06-UTIL.dwg



Client



Project

**CITY & COUNTY
CREDIT UNION**

Location

**SHOREVIEW,
MN**
RED FOX ROAD
SHOREVIEW, MN 55126

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Chad Ayers
Registration No. 0201 Date: 02/24/2014
If applicable, contact us for a wet signed copy of this plan which is available upon request at Mfra, Inc., Plymouth, MN office.

Summary

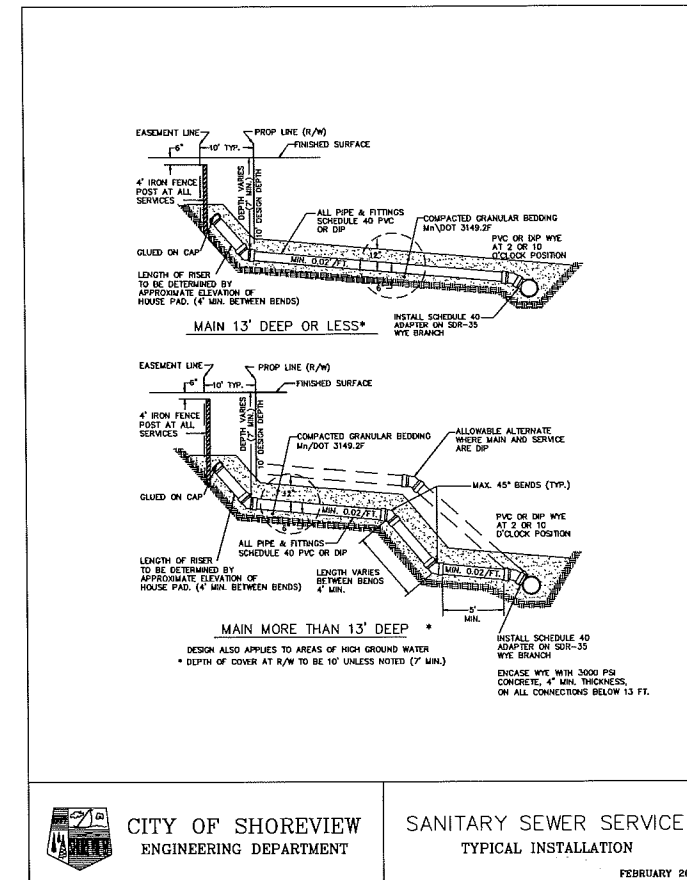
Designed: CA Drawn: AAA
Approved: CA Book / Page: --/
Phase: PRELIMINARY Initial Issued: 02/24/2014

Revision History
No. Date By Submittal / Revision

Sheet Title
DETAIL SHEET

Sheet No. Revision
C9.02

Project No. STO18275.03

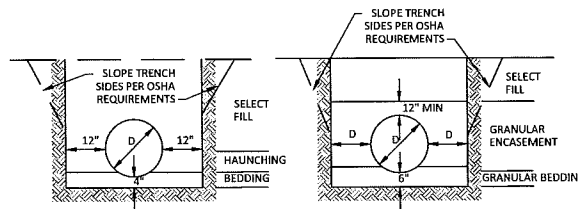


CITY OF SHOREVIEW
ENGINEERING DEPARTMENT

SANITARY SEWER SERVICE
TYPICAL INSTALLATION

FEBRUARY 2005

10 SANITARY SEWER SERVICE
N.T.S.



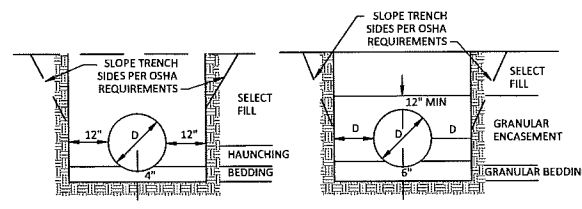
REINFORCED CONCRETE PIPE OR DIP

1. BEDDING AND HAUNCHING MATERIAL SHALL BE ASTM D2321-C1, II, III, OR IV A SOILS, AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE. COMPACT BEDDING MATERIAL TO 95% STANDARD PROCTOR.
2. SELECT FILL SHALL BE SELECT MATERIAL FREE OF LARGE ROCKS (3"+) AND SHALL BE PLACED IN 8" MAX. LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.

FLEXIBLE PIPE; INCLUDES CORRUGATED METAL PIPE CORRUGATED POLYETHYLENE PIPE AND/OR POLYVINYL CHLORIDE PIPE

1. GRANULAR BEDDING AND ENCASEMENT MATERIAL SHALL BE CLASS I OR II (REF. ASTM D2321 OR MN/DOT 3149.2F) GRANULAR MATERIAL, AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
2. SELECT FILL PLACEMENT AND COMPACTION. SAME AS FOR RCP.

NOTE:
FOR HDPE INSTALLED BELOW EXISTING OR FUTURE GROUND WATER ELEVATIONS, PIPE BEDDING AND ENCASEMENT SHALL BE CLASS I, CRUSHED ROCK PER ASTM D2321.



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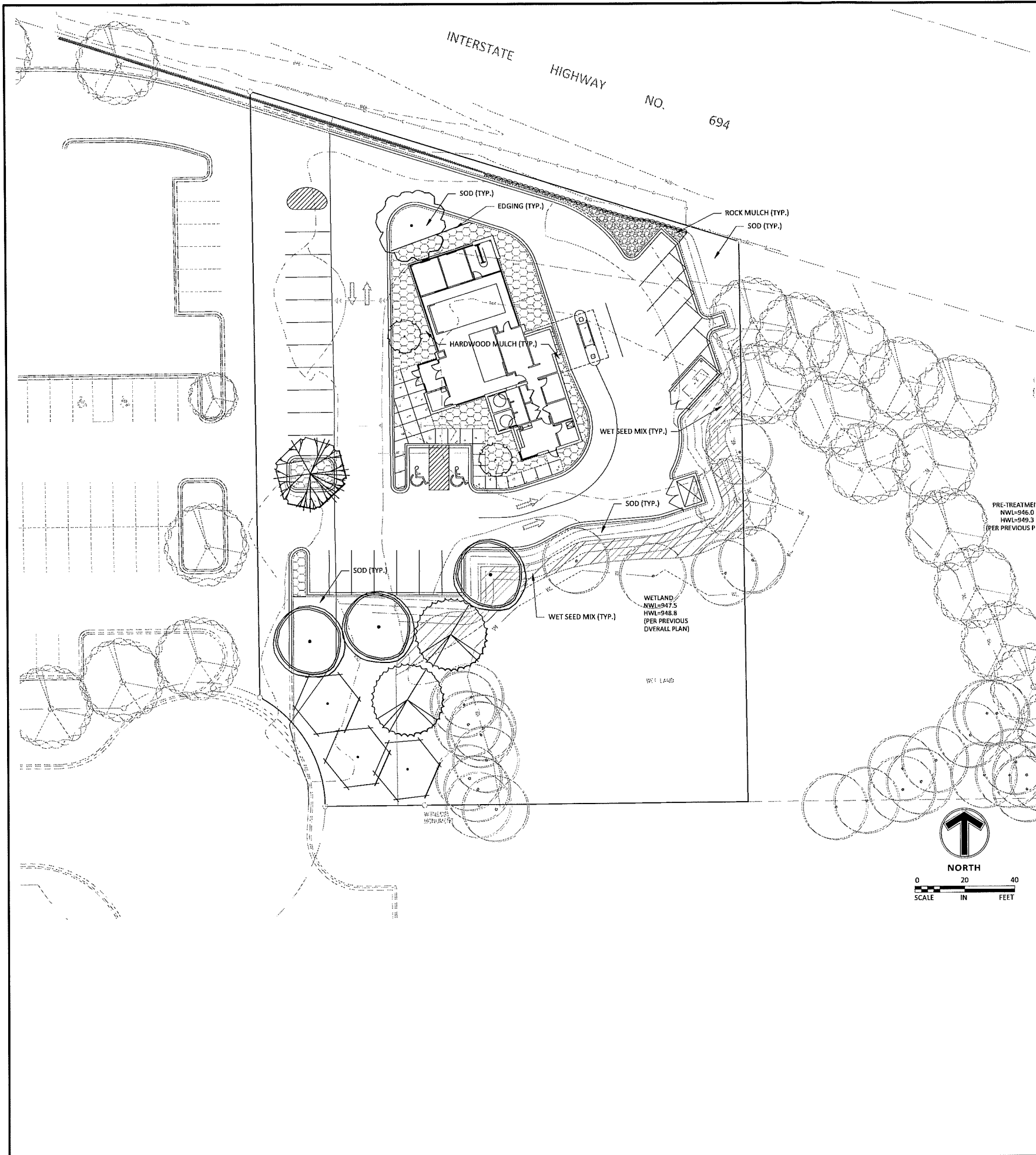
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08 SANITARY SEWER BEDDING
N.T.S.

09 WATERMAIN BEDDING
N.T.S.

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE 114-05. THIS IS A STANDARD GUIDELINE FOR THE COLLECTION AND REPORTING OF EXISTING SUBSURFACE UTILITY DATA. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE UTILITY CENTER (MINNESOTA STATE OFFICE FOR MINNESOTA) THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD). IF THE CONTRACTOR EMPLOYEES ARE ON THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, DEPTH AND IF THE LINE IS ACTIVE. NO ACTIVE DRAIN TREE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.



LANDSCAPE LEGEND									
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	INSTALL HEIGHT	MATURE HEIGHT		
DECIDUOUS TREES									
WO	Quercus bicolor	SWAMP WHITE OAK	2.5"	BB	3	15'	50'	STRAIT LEADER NO. "Y" CROUCH	
HL	Gleditsia triacanthos var. inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	2.5"	BB	1	10'	50'		
BL	Tilia americana 'Boulevard'	BOULEVARD LINDEN	2.5"	BB	1	15'	60'		
HB	Celtis occidentalis	HACKBERRY	2.5"	BB	-	15'	50'		
SM	Acer saccharum	SUGAR MAPLE	2.5"	BB	3	14'	50'		
RM	Acer rubrum 'Northwoods'	NORTHWOODS MAPLE	2.5"	BB	2	14'	50'		
ORNAMENTAL TREES									
RB	Betula nigra	RIVER BIRCH	1.5"	BB	-	8'	25'	CLUMP FORM	
SB	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	1.5"	BB	-	8'	20'	STRAIT LEADER NO. "Y" CROUCH	
SS	Malus x 'Spring Snow'	SPRING SNOW CRABAPPLE	1.5"	BB	-	8'	25'		
TL	Syringa Reticulata	JAPANESE TREE LILAC	1.5"	BB	2	8'	20'		
EVERGREEN TREES									
BH	Picea glauca var. Densata	BLACK HILLS SPRUCE	6'	BB	-	6'	40'	FULL FORM TO GRADE	
CB	Picea pungens	COLORADO BLUE SPRUCE	6'	BB	-	6'	55'		
SP	Pinus sylvestris	SCOTCH PINE	6'	BB	-	6'	50'		
NS	Picea abies	NORWAY SPRUCE	6'	BB	-	6'	60'		
CH	Tsuga canadensis	CANADIAN HEMLOCK	6'	BB	-	6'	40'		

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

SEED MIX LEGEND (FOR ALL SHEETS)		
SYM.	TYPE	SEED MIX
	NATIVE WET PRAIRIE	MN SEED MIX 34-262 (OLD BWSR W3) WITH "NO MOW FESCUE"
	WETLAND FRINGE	MN SEED MIX 35-621 (OLD BWSR W4) WITH "NO MOW FESCUE"
	COMMERCIAL TURF - SOD	HIGHLAND SOD
	COMMERCIAL TURF - SEED	MN SEED MIX 25-131 (OLD MNDOT 260) W/ "NO MOW FESCUE MIX"
	HARDWOOD MULCH	(NATURAL COLOR)
	1/2" CRUSHED GRANITE	CRUSHED QUARRY GRANITE
	MNDOT 260 ALL AREAS DISTURBED BY CONSTRUCTION NOT INTENDED SODED, OR RETENTION BASINS	MNDOT 260 & W/ "NO MOW FESCUE MIX (USE EROSION CONTROL BLANKET FOR SLOPES OVER 3:1)

** NO MOW SEED FORMULA FROM SPECIALTY TURF & AG INC, FREEDOM MIX, AT 200LB/ACRE OR APPROVED EQUAL - WWW.SPECIALTYTURFAG.COM - 188-685-4521

EXISTING TREES TO REMAIN	
	EXISTING TREES ONSITE TO REMAIN
	PROPOSED DECIDUOUS TREES INSTALLED ON A PREVIOUS PHASE OF THE PROJECT
	PROPOSED CONIFEROUS TREES INSTALLED ON A PREVIOUS PHASE OF THE PROJECT

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Client

CITY & COUNTY
CREDIT UNION

Project

CITY & COUNTY
CREDIT UNION

Location

SHOREVIEW, MN
RED FOX ROAD
SHOREVIEW, MN 55126

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

James A. Kalkes
Registration No. 071 Date: 2014/2/24

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at MFRA, Inc., Plymouth, MN office.

Summary

Designed: CA Drawn: AAA
Approved: CA Book / Page: -/-
Phase: PRELIMINARY Initial Issued: 02/24/2014

Revision History

No. Date By Submittal / Revision

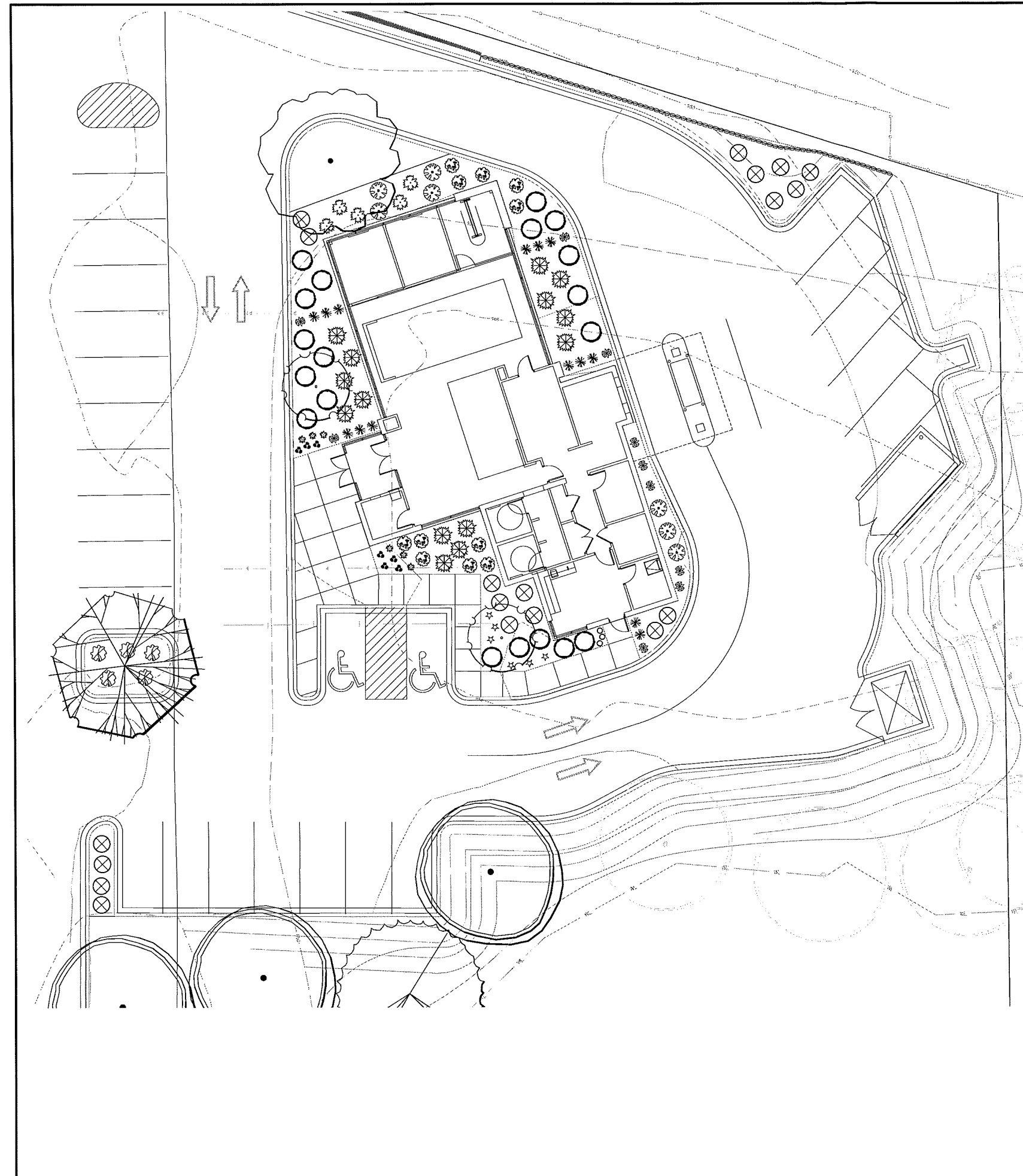
Sheet Title

SITE
LANDSCAPE
PLAN

Sheet No. Revision

L1.01

Project No. ST018275.03



LANDSCAPE LEGEND									
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	REMARKS	INSTALL HEIGHT	MATURE HEIGHT	
SHRUBS									
TAU	Taxus x media 'Taunton'	TAUNTON SPREADING YEW	#5	CONT.	-		1'	3'x4'	
SVJ	Juniperus Horizontalis 'Savin'	SAVIN JUNIPER	#5	CONT.	-		1'	3'x4'	
DBB	Euonymus alatus 'Compactus'	DWARF BURNING BUSH	#5	CONT.	-		1.5'	4'x4'	
DBW	Salix purpurea 'Nana'	DWARF BLUE ARCTIC WILLOW	#5	CONT.	-		1'	3'x4'	
GLS	Rhus aromatica 'Siro-Low'	GRO-LOW FRAGRANT SUMAC	#5	CONT.	-		1'	2.5'x5'	
BCA	Viburnum trilobum 'Bailey Compact'	COMPACT AMERICAN CRANBERRYBUSH	#5	CONT.	-		1.5'	4'x4'	
AWS	Spiraea x bumalda 'Anthony Waterer'	ANTHONY WATERER SPIREA	#5	CONT.	-		1.5'	3'x4'	
SNS	Spiraea nipponica 'Snowmound'	SNOWMOUND SPIREA	#5	CONT.	-		1.5'	3'x4'	
MYS	Spiraea thunbergii 'Ogon'	MELLOW YELLOW SPIREA	#5	CONT.	-		1'	3'x4'	
GFS	Spiraea x bumalda 'Gold Flame'	GOLD FLAME SPIREA	#5	CONT.	-		1.5'	3'x4'	
ALP	Ribes alpinum	ALPINE CURRANT	#5	CONT.	-		1.5'	3'x4'	
TEC	Forsythia 'Sunrise'	SUNRISE FORSYTHIA	#5	CONT.	-		1.5'	5'x5'	
SPF	Syringa x 'Balsugar'	SUGAR PLUM LILAC	#5	CONT.	-		1.5'	4'x4'	
RTD	Cornus Sericea 'Bailey'	RED TWIG DOGWOOD	#5	CONT.	-		1.5'	5'x5'	
BCB	Aronica melanocarpa elata	BLACK CHOKEBERRY	#5	CONT.	-		1.5'	4'x4'	
JDW	Ilex verticillata 'Jim Dandy'	JIM DANDY WINTERBERRY	#5	CONT.	-		1.5'	3'x3'	
RSW	Ilex verticillata 'Red Sprite'	RED SPRITE WINTERBERRY	#5	CONT.	-		1.5'	3'x3'	
PERENNIALS									
KFG	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	#1	CONT.	-	PLANT 2' O.C.	6"	4'x2'	
PDS	Sporobolus heterolepis	PRAIRIE DROPS EED	#1	CONT.	-	PLANT 2' O.C.	6"	2'x2'	
BDL	Hemerocallis 'Baja'	BAJA DAYLILY	#1	CONT.	-	RED FLOWER	6"	2'x1.5'	
PMD	Hemerocallis 'Pardon Me'	PARDON ME DAYLILY	#1	CONT.	-	YELLOW FLOWER	6"	1.5'x1.5'	
SDD	Hemerocallis 'Stella d'Oro'	STELLA D'ORO DAYLILY	#1	CONT.	-	YELLOW FLOWER	6"	1.5'x1.5'	
WLC	Nepeta x faassenii 'Walker's Low'	WALKER'S LOW CATMINT	#1	CONT.	-	PURPLE FLOWER	6"	1'x1'	
BES	Rudbeckia fulgida 'Goldsturm'	BLACK EYED SUSAN	#1	CONT.	-	YELLOW FLOWER	6"	1.5'x1.5'	
KBL	Liatris spicata 'Kobold'	KOBOLD LIATRIS	#1	CONT.	-	PURPLE FLOWER	6"	1.5'x1.5'	
HST	Hosta sp.	HOSTA	#1	CONT.	-	WHITE FLOWER	6"	1'x1'	

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.



14800 28th Ave. N. Ste 140
Plymouth, Minnesota 55447
(763) 476.6010 telephone
(763) 476.8532 facsimile
www.mfra.com

Client



Project

**CITY & COUNTY
CREDIT UNION**

Location

**SHOREVIEW,
MN**
RED FOX ROAD
SHOREVIEW, MN 55126

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

James A. Kalkes
Registration: 071 Date: 2014/2/24
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at MFRA, Inc., Plymouth, MN office.

Summary

Designed: ca Drawn: AAA
Approved: ca Book / Page: --/
Phase: PRELIMINARY Initial Issued: 07/24/2014

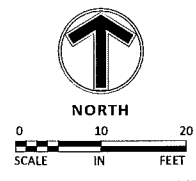
Revision History

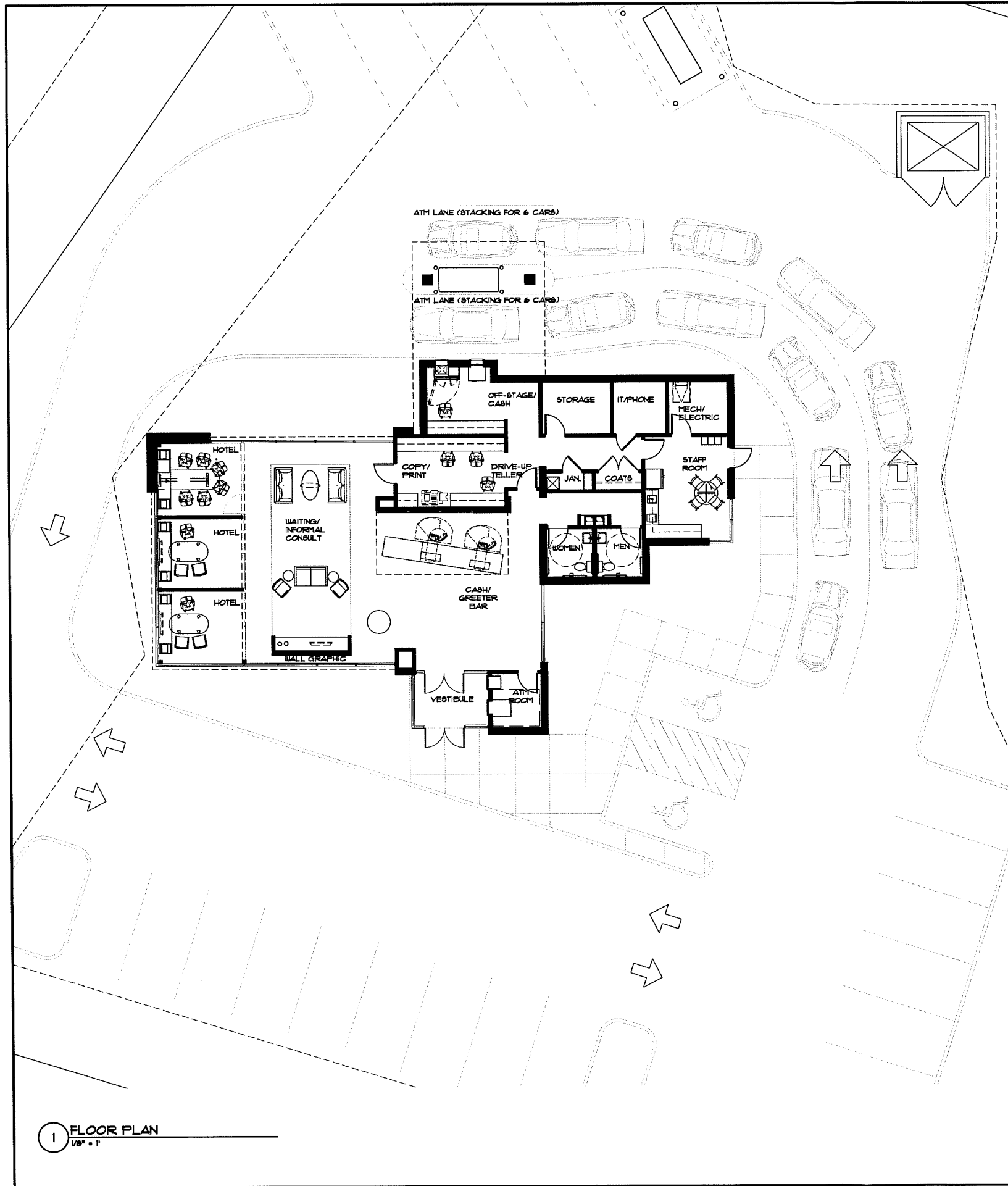
No. Date By Submittal / Revision

Sheet Title
**SITE
LANDSCAPE
DETAILS**

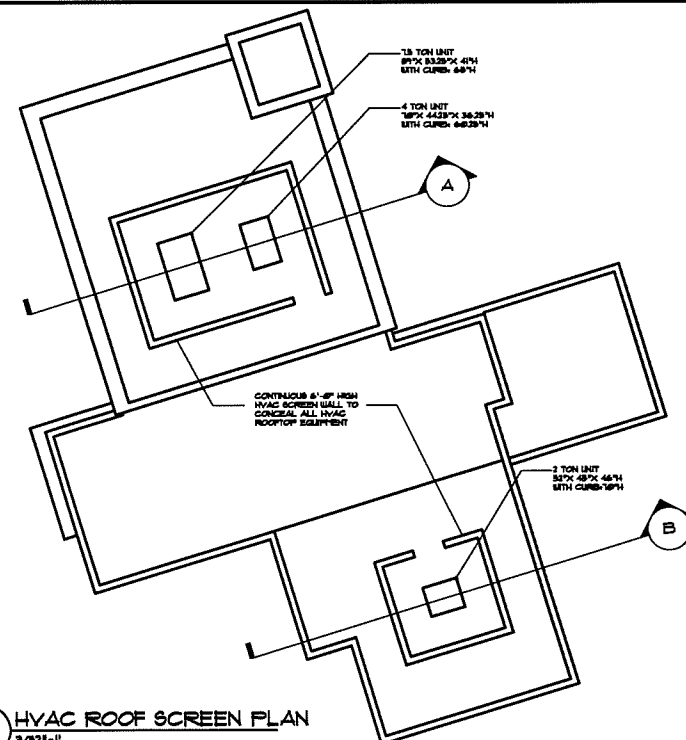
Sheet No. Revision
L1.02

Project No. STO18275.03

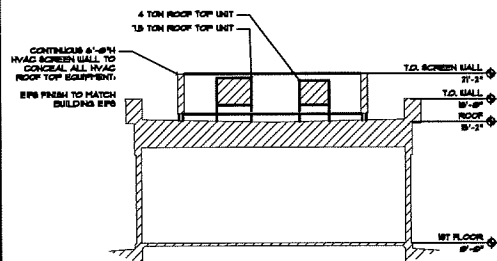




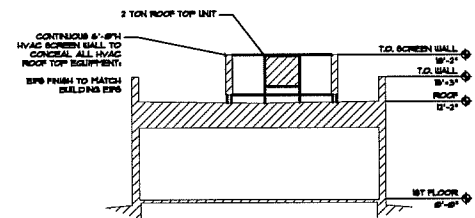
1 FLOOR PLAN
1/8" = 1'



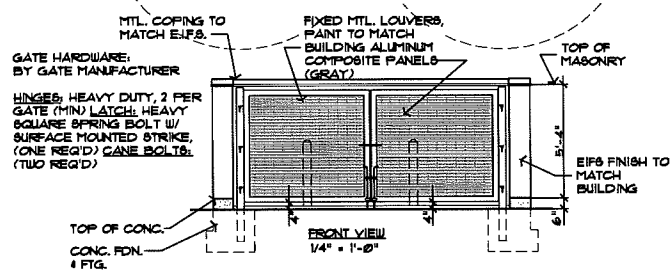
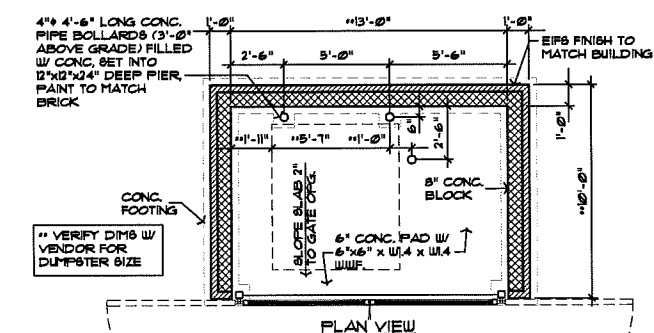
2 HVAC ROOF SCREEN PLAN
3/32" = 1'



A ROOF SCREENING SECTION "A"
3/32" = 1'



B ROOF SCREENING SECTION "B"
3/32" = 1'



3 DUMPSTER ENCLOSURE
1/4" = 1'

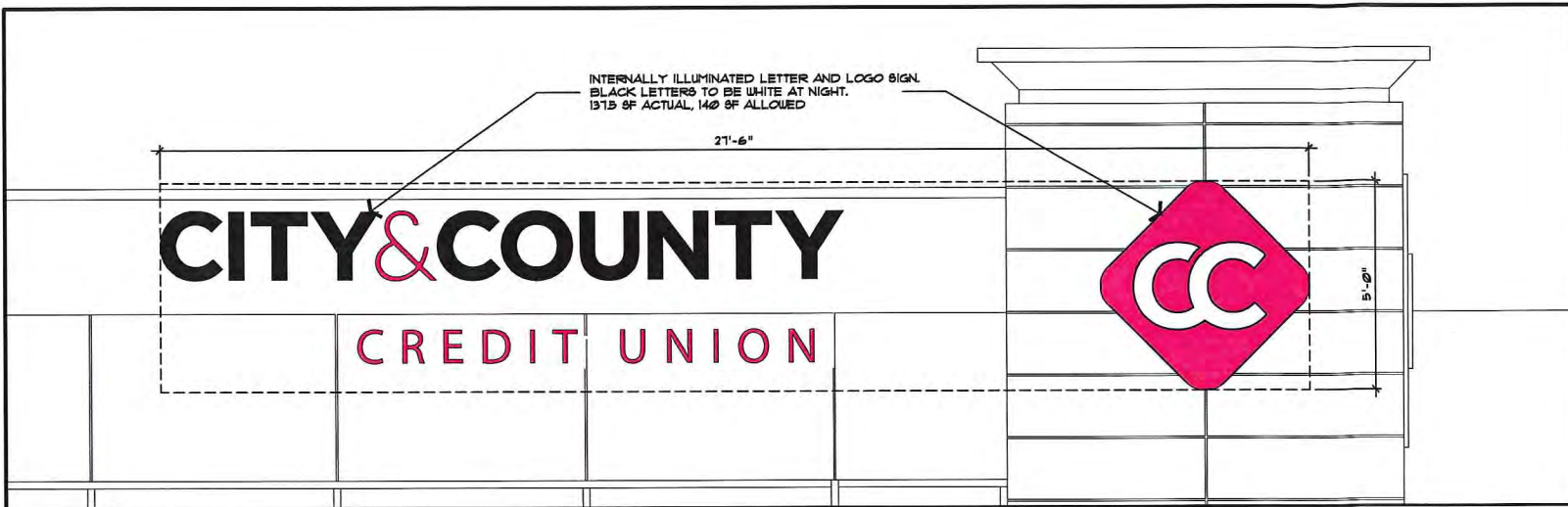
NOTE:
NATURAL GAS GENERATOR
ENCLOSURE SIMILAR

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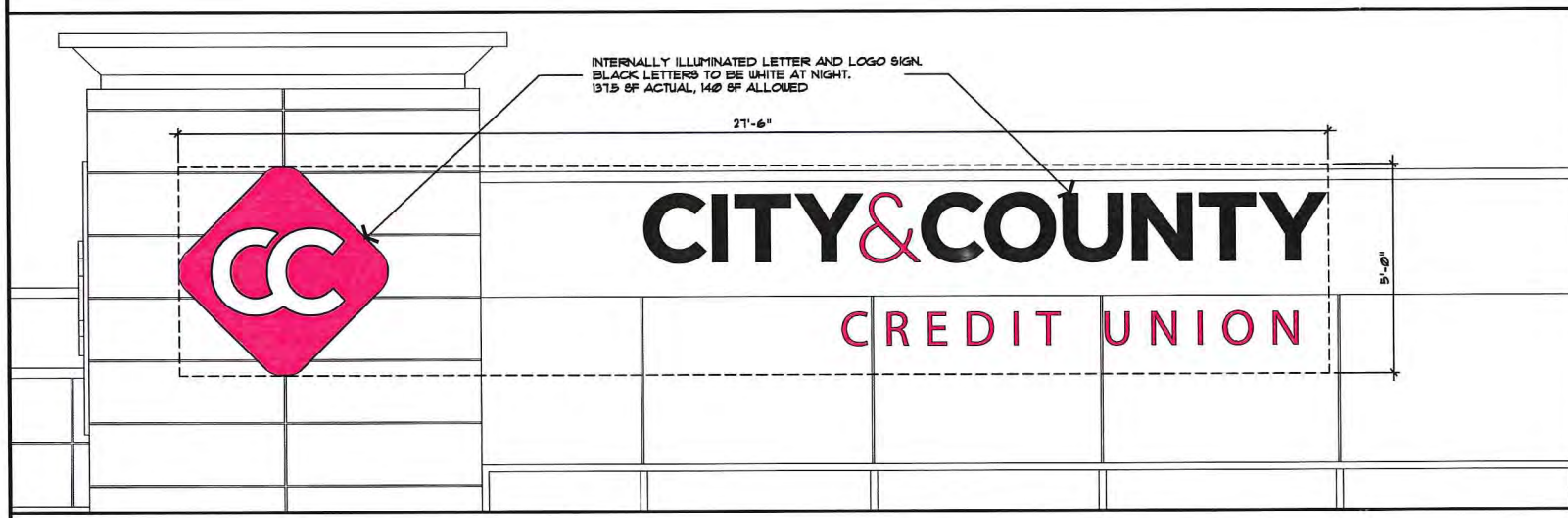
Thomas D. Auer, AIA Architect
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New England International, Inc.
15450 South Outer Fory Drive
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Job No. 20255 Title FLOOR PLAN Drawn by JDMARTINO Date 2-24-2014 Revisions

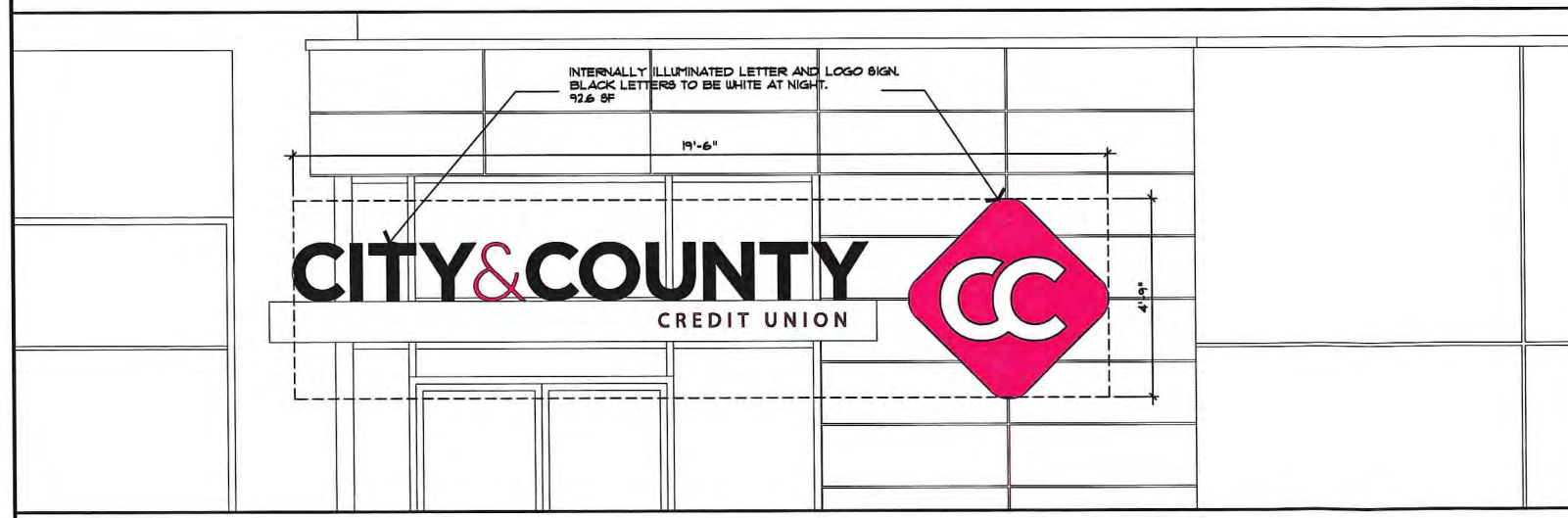
CITY & COUNTY CREDIT UNION
SHOREVIEW, MINNESOTA
Sheet
A.1



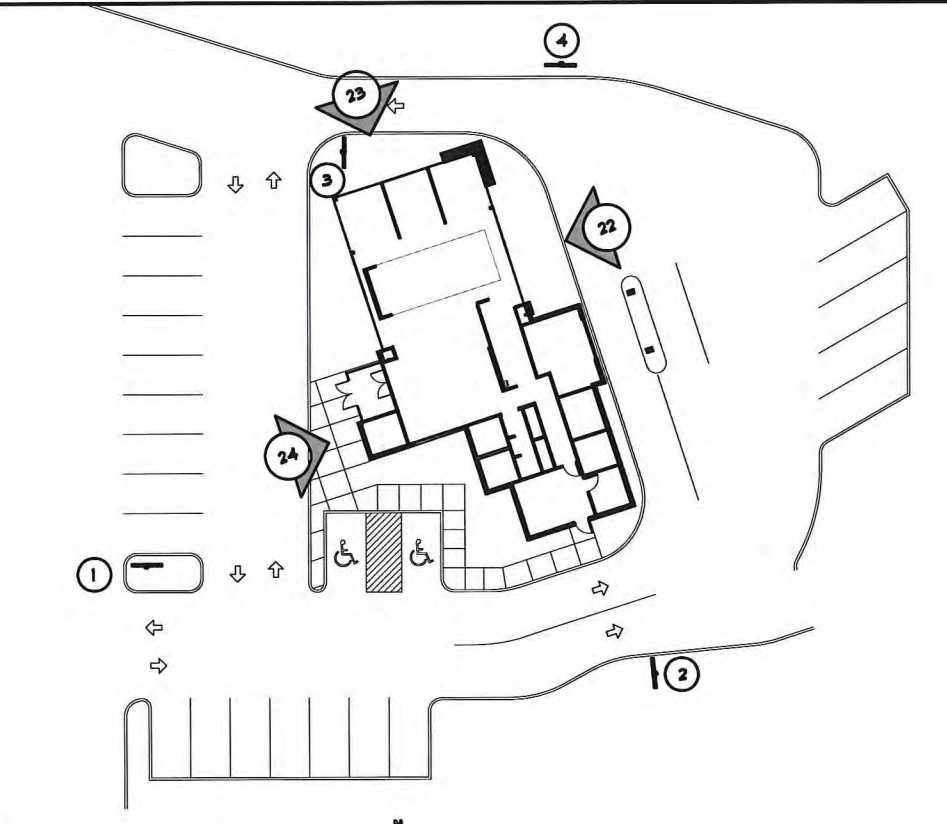
1 SIGN #22 @ EAST ELEVATION
1/2" = 1'



2 SIGN #23 @ NORTH ELEVATION
1/2" = 1'



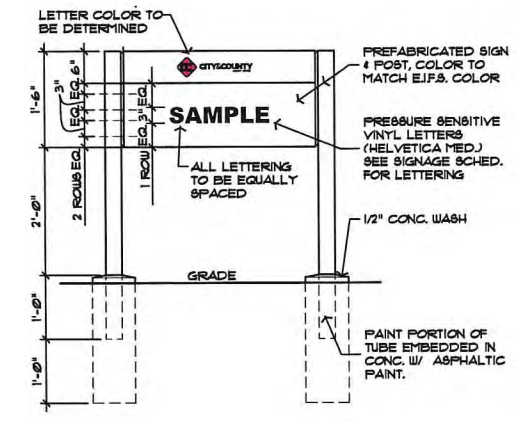
3 SIGN #24 @ WEST ELEVATION
1/2" = 1'



4 SIGNAGE PLAN
NOT TO SCALE

SIGNAGE SCHEDULE				
#	TYPE	STYLE	FRONTAGE	SIZE
#22	WALL	LETTERS AND LOGO	1-694	1400 SF (ALLOWED) 1375 SF (ACTUAL)
#23	WALL	LETTERS AND LOGO	1-694	1400 SF (ALLOWED) 1375 SF (ACTUAL)
#24	CANOPY	LETTERS AND LOGO	FRONT (WEST)	92.6 SF

- ALL WALL SIGNAGE IS LESS THAN 10% OF BUILDING ELEVATION
- SIGNS #22 & #23 FROM PREVIOUS SUBMITTAL
- SIGN #24 REQUESTED AS ADDITIONAL SIGN



5 DIRECTIONAL SIGNAGE
3/4" = 1'

DIRECTIONAL SIGN SCHED		
1	SIDE "A"	ENTRANCE →
	SIDE "B"	← ENTRANCE
2	SIDE "A"	↑ DRIVE-UP/ ATM
	SIDE "B"	BLANK
3	SIDE "A"	ONE WAY DO NOT ENTER
	SIDE "B"	EXIT →
4	SIDE "A"	THANK YOU ← EXIT
	SIDE "B"	BLANK

6 SIGN LEGEND
3/4" = 1'

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Job No. 29255 Title: BUILDING ELEVATIONS PA. B. BILLY Drawn by: JDMARTINO Date: 2-24-2014 Revisions:

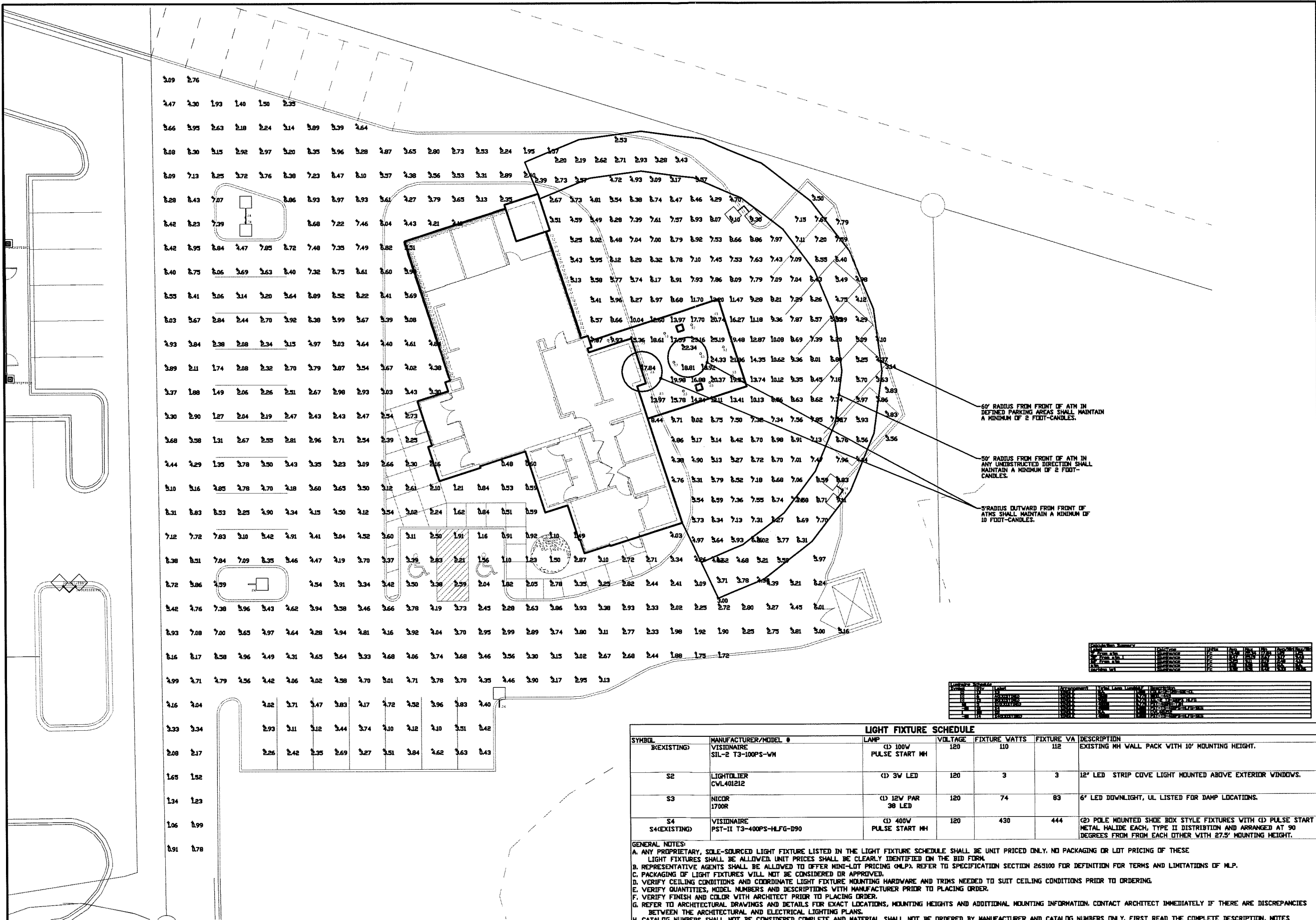
Thomas D. Auer, AIA Architect
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CONSULTANT
New Ground International, Inc.
15490 South Outer Ferry Drive
Chesterfield, MO 63017
First Code Book 915-815-8158

NEW GROUND
CELEBRATING 100 YEARS

CITY & COUNTY CREDIT UNION
SHOREVIEW, MINNESOTA

Sheet
A.3



Item	Quantity	Unit	Price	Total
100W PULSE START MH	112			
3W LED	3			
12W PAR 38 LED	83			
400W PULSE START MH	444			

SYMBOL	MANUFACTURER/MODEL #	LAMP	VOLTAGE	FIXTURE WATTS	FIXTURE VA	DESCRIPTION
(E)EXISTING	VISIDNAIRE SIL-2 T3-100PS-VH	(1) 100W PULSE START MH	120	110	112	EXISTING MH WALL PACK WITH 10' MOUNTING HEIGHT.
S2	LIGHTOLIER CVL401212	(1) 3W LED	120	3	3	12" LED STRIP COVE LIGHT MOUNTED ABOVE EXTERIOR WINDOWS.
S3	NICOR 1700R	(1) 12W PAR 38 LED	120	74	83	6" LED DOWNLIGHT, UL LISTED FOR DAMP LOCATIONS.
S4 S4(E)EXISTING	VISIDNAIRE PST-II T3-400PS-HLFG-D90	(1) 400W PULSE START MH	120	430	444	(2) POLE MOUNTED SHOE BOX STYLE FIXTURES WITH (1) PULSE START METAL HALIDE EACH, TYPE II DISTRIBUTION AND ARRANGED AT 90 DEGREES FROM FROM EACH OTHER WITH 27.5' MOUNTING HEIGHT.

GENERAL NOTES:
A. ANY PROPRIETARY, SOLE-SOURCED LIGHT FIXTURE LISTED IN THE LIGHT FIXTURE SCHEDULE SHALL BE UNIT PRICED ONLY. NO PACKAGING OR LOT PRICING OF THESE LIGHT FIXTURES SHALL BE ALLOWED. UNIT PRICES SHALL BE CLEARLY IDENTIFIED ON THE BID FORM.
B. REPRESENTATIVE AGENTS SHALL BE ALLOWED TO OFFER MINI-LOT PRICING (MLP). REFER TO SPECIFICATION SECTION 26100 FOR DEFINITION FOR TERMS AND LIMITATIONS OF MLP.
C. PACKAGING OF LIGHT FIXTURES WILL NOT BE CONSIDERED OR APPROVED.
D. VERIFY CEILING CONDITIONS AND COORDINATE LIGHT FIXTURE MOUNTING HARDWARE AND TRIMS NEEDED TO SUIT CEILING CONDITIONS PRIOR TO ORDERING.
E. VERIFY QUANTITIES, MODEL NUMBERS AND DESCRIPTIONS WITH MANUFACTURER PRIOR TO PLACING ORDER.
F. VERIFY FINISH AND COLOR WITH ARCHITECT PRIOR TO PLACING ORDER.
G. REFER TO ARCHITECTURAL DRAWINGS AND DETAILS FOR EXACT LOCATIONS, MOUNTING HEIGHTS AND ADDITIONAL MOUNTING INFORMATION. CONTACT ARCHITECT IMMEDIATELY IF THERE ARE DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ELECTRICAL LIGHTING PLANS.
H. CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBERS ONLY. FIRST READ THE COMPLETE DESCRIPTION, NOTES AND SPECIFICATIONS IN CONJUNCTION WITH THE CATALOG NUMBER TO DETERMINE THE EXACT MATERIAL AND ACCESSORIES TO BE ORDERED. THE MANUFACTURERS LISTED ARE THE BASIS FOR THE DESIGN.
I. CONTRACTOR SHALL PROVIDE ALL LIGHT FIXTURES UNLESS NOTED OTHERWISE.
J. REFER TO DIVISION 16 SPECIFICATIONS FOR ACCEPTABLE LAMP AND BALLAST MANUFACTURERS AND ADDITIONAL INFORMATION.
K. SEASON (BURN IN) CERAMIC METAL HALIDE AND PULSE-START METAL HALIDE LAMPS FOR 100 HOURS PRIOR TO TURNOVER OF PROJECT TO OWNER.

1 SITE PLAN - LIGHTING CALCULATIONS
SCALE: 3/32"=1'-0"

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 Job No. 25255 Title: SITE LIGHTING PLAN
 Drawn by: J. MARTINO Date: 2-24-2014
 PA: B. BILLY

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 CONSULTANT
 New Grand International, Inc.
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CITY & COUNTY CREDIT UNION
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Sheet A.4



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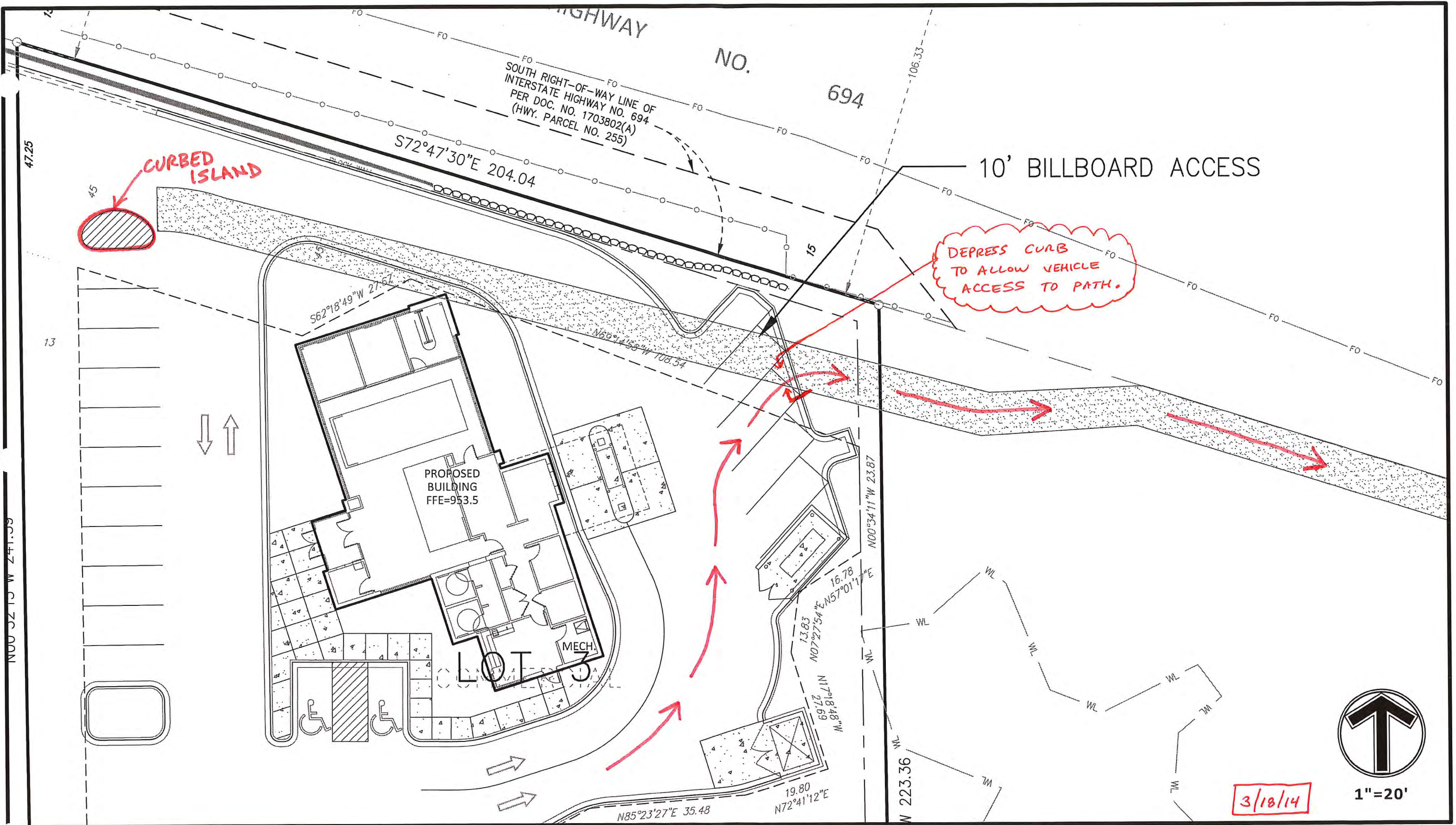
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Job No. 22255 Title EXTERIOR RENDERINGS PA B. BILLY Drawn by JDMARTINO Date 2-24-2014 Revisions

CITY & COUNTY CREDIT UNION
 SHOREVIEW, MINNESOTA
 Sheet
 A.5



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CITY AND COUNTY
 CREDIT UNION
 SHOREVIEW, MINNESOTA
BILLBOARD ACCESS EXHIBIT

Designed: CA
 Drawn: JTA
 Approved: CA
 Initial Issue: 03/17/2014
 Rev.: EXHIBIT
 Date: MM/DD/YYYY

Exhibit Number
EXH-01
 Project N6TO18275.03

Client



Project

**CITY & COUNTY
 CREDIT UNION**

Location

**SHOREVIEW,
 MN**
 RED FOX ROAD
 SHOREVIEW, MN 55126

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Chad Ayers

Registration No. 01 Date: 02/24/2014

If applicable, contact us for a wet signed copy of this plan which is available upon request at MFRA, Inc., Plymouth, MN office.

Summary

Designed: CA Drawn: AAA
 Approved: CA Book / Page: -/-
 Phase: PRELIMINARY Initial Issued: 02/24/2014

Revision History

No. Date By Submittal / Revision
 A 03/05/14 CKJ Setbacks / Dimensions

Sheet Title

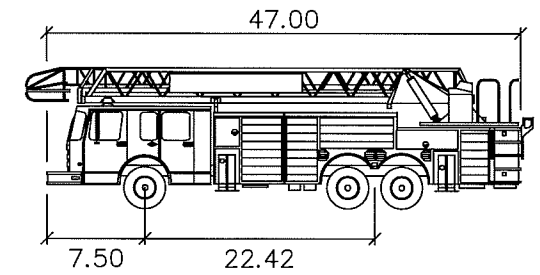
**FIRE
 DEPARTMENT
 EXHIBIT**

Sheet No. Revision

1/1

Project No. ST018275.03

	PROPOSED	EXISTING	
PROPERTY LIMIT	---	---	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	HEAVY DUTY ASPHALT PAVING
EASEMENT	---	---	CONCRETE PAVING
BUILDING	---	---	
RETAINING WALL	---	---	
WETLAND LIMITS	---	---	
TREELINE	---	---	
SAWCUT LINE	---	---	
SIGN	○	○	
PIPE BOLLARD	○	○	
NUMBER OF PARKING STALLS PER ROW	○	○	
KEY NOTE	○	○	



Fire Truck feet
 Width : 8.42
 Track : 8.42
 Lock to Lock Time : 6.0
 Steering Angle : 40.0

PRE-TREATMENT
 NWL=946.0
 HWL=949.3
 (PER PREVIOUS PLAI)

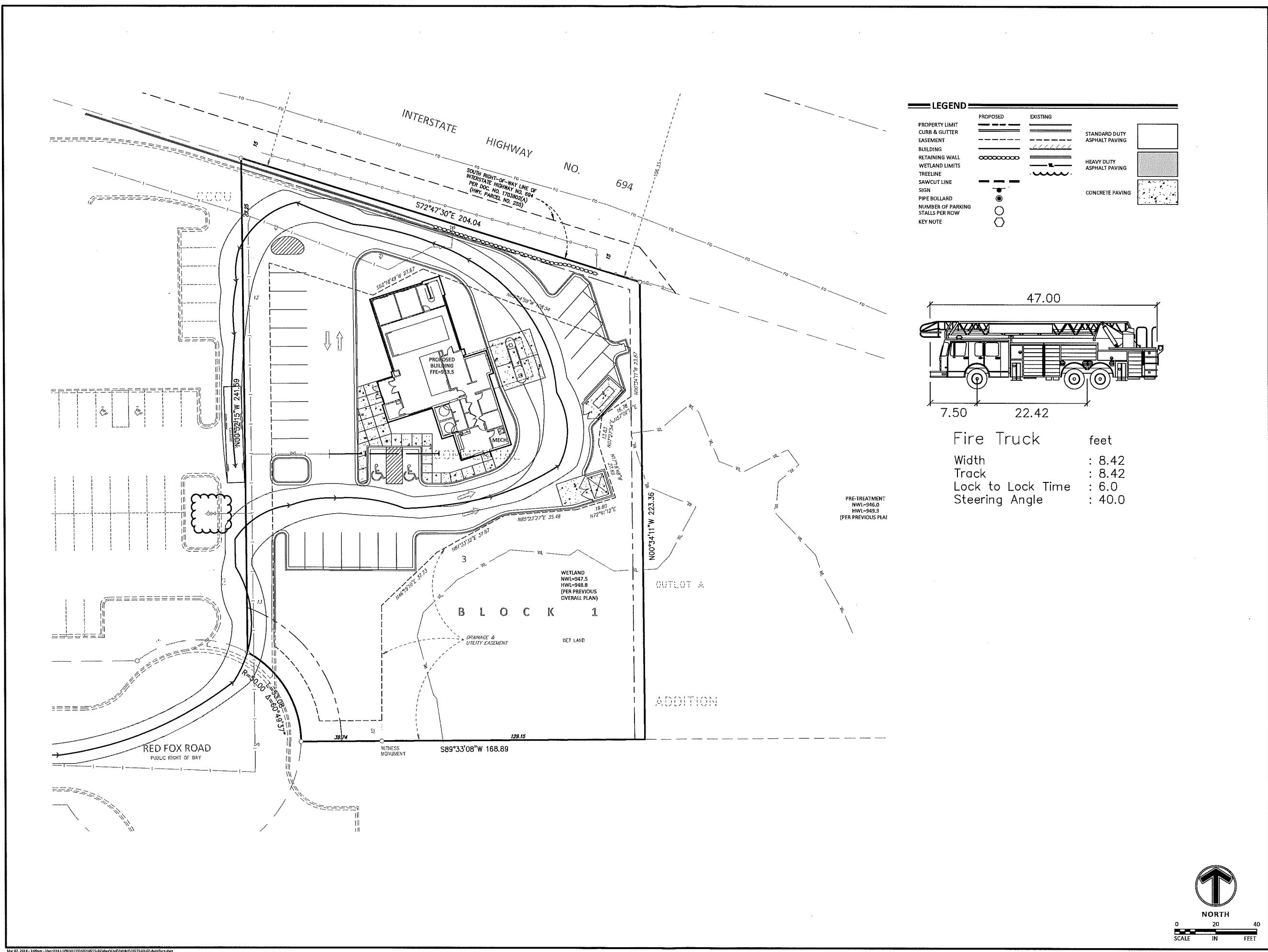
WETLAND
 NWL=947.5
 HWL=948.8
 (PER PREVIOUS
 OVERALL PLAN)

B L O C K 1

ADDITION



0 20 40
 SCALE IN FEET



Client



Project

**CITY & COUNTY
CREDIT UNION**

Location

**SHOREVIEW,
MN**

RED FOX ROAD
SHOREVIEW, MN 55126

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Chad Ayers
Registration No. 0111 Date: 02/24/2014

If applicable, contact us for a wet signed copy of this plan with it available upon request at MFRA, Inc., Plymouth, MN office.

Summary

Designed: CA Drawn: AAA
Approved: CA Book / Page: --/
Phase: PRELIMINARY Initial Issued: 02/24/2014

Revision History

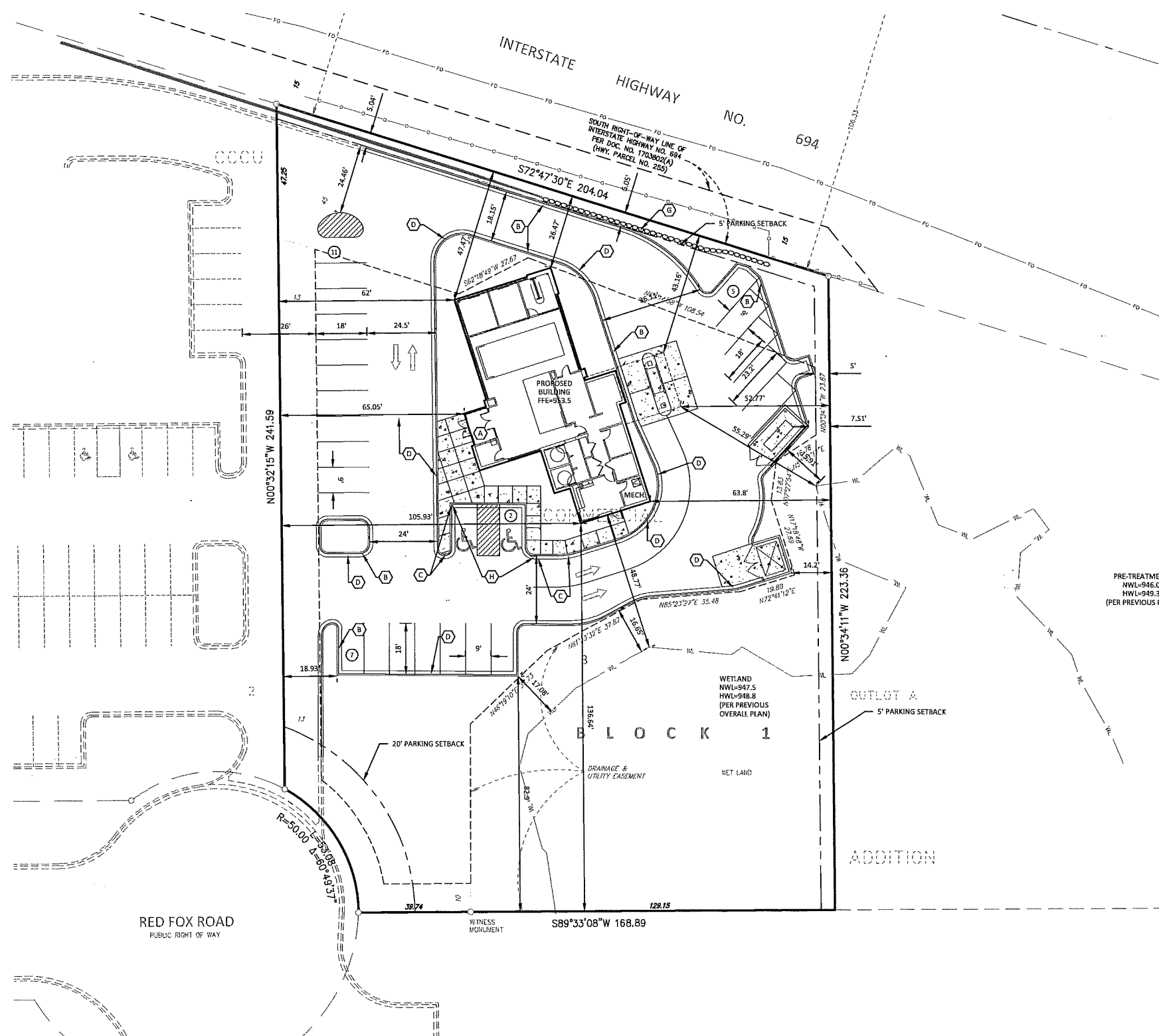
No. Date By Submittal / Revision
A 03/05/14 CKJ Setbacks / Dimensions

Sheet Title
SITE PLAN

Sheet No. Revision

C3.01

Project No. STO18275.03



LEGEND

	PROPOSED	EXISTING	
PROPERTY LIMIT	---	---	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	HEAVY DUTY ASPHALT PAVING
EASEMENT	---	---	CONCRETE PAVING
BUILDING	---	---	
RETAINING WALL	---	---	
WETLAND LIMITS	---	---	
TREELINE	---	---	
SAWCUT LINE	---	---	
SIGN	---	---	
PIPE BOLLARD	---	---	
NUMBER OF PARKING STALLS PER ROW	---	---	
KEY NOTE	---	---	

DEVELOPMENT SUMMARY

AREA GROSS SITE AREA	48,640 SF	1.117 AC
SETBACKS		
FRONT YARD	20 FEET	
REAR YARD	5 FEET	
SIDE YARD	5 FEET	
ZONING		
EXISTING ZONING	UND - URBAN UNDER DEVELOPED	
PROPOSED ZONING	UND - URBAN UNDER DEVELOPED	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. BACK OF CURB IS SHOWN GRAPHICALLY ONLY.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS.
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS ISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

- KEY NOTES**
- BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS.
 - B-512 CONCRETE CURB AND GUTTER.
 - TAPER CURB.
 - TIP OUT CURB SECTION
 - CONCRETE APRON
 - FLAT CURB SECTION.
 - SEGMENTAL BLOCK RETAINING WALL
 - ACCESSIBLE RAMP.



NORTH
0 20 40
SCALE IN FEET

TO: Planning Commission

FROM: Kathleen Castle, City Planner
Niki Hill, Economic Development and Planning Technician

DATE: March 20, 2014

RE: File No. 2520-14-10, City of Shoreview - Text Amendment, Section 211.070 – Housing Code

Introduction

The City is proposing to amend Section 202 Definitions and Section 211.070, Housing Code to better define standards related to safety, storage, and room function as well as any other relevant sections. Over the past year, the City has become more cognizant of safety issues and health hazards in residences within the community. The current standards do not effectively address hoarding / garbage situations because the code does not adequately define access, regulate storage or room function. The intent of the proposed text amendment is to establish minimum standards in order to prevent conditions that may impact the health and safety of occupants and public safety personnel, such as police, fire and medical staff who may be responding to a call.

Proposed Text Amendment

The proposed amendment adds the term “Combustible Material” to Section 202 Definitions, and the additions in Section 211.070 incorporate minimum standards for interior maintenance, including minimum hallway widths, access requirements, means of escape, storage and room function. As the ordinance is currently written, there are not minimum standards for staff to enforce if necessary.

A section was also added regarding the posting of dwelling units to prevent occupancy. If a dwelling or dwelling unit does not comply with the minimum standards and is found to be unfit for human habitation or otherwise dangerous to life, health, safety and property of the occupants, public safety personnel or the public welfare, the City may deem the unit uninhabitable and post it as such. If occupancy continues, legal action could be taken against the occupant, owner or person responsible for the premise.

Public Comment

Notice of the public hearing was published in the City’s legal newspaper March 12, 2014. No comments have been submitted in response to the published notice.

Recommendation

The proposed text changes establish a definition for combustible material, as well as minimum standard for access, storage and room function. Concerns regarding the absence of such standards have been raised by Staff and the EDA with response to garbage / hoarding houses. The City’s Housing and Code Enforcement Officer will review these items as the need arises and with rental licensing inspections. Staff is recommending the Commission forward a recommendation of approval to the City Council.

Attachments:

1. Draft Text
2. Motion

T:\2014 Planning Case files\2520-14-10 Text Amend-HousingCode 211\pcreport.docx

202 Definitions

202.010 Combustible Material. As pertaining to materials adjacent to or in contact with heat-producing appliances, vent connectors, gas vents, chimneys, steam and hot water pipes, and warm air ducts, materials made of or surfaced with wood, compressed paper, plant fibers, or other materials that are capable of being ignited and burned.

211 Property Maintenance

211.005 General Provisions

- (A) Scope. The provisions of this code shall apply to residential and non-residential properties and constitutes the minimum requirements and standards for the premises and structures located on the premises.
- (B) Responsibility. The owner of the premises shall maintain the structures and exterior property in compliance with these requirements, except as otherwise provided for in this Code. A person shall not occupy as owner-occupant or permit another person to occupy premises which are not in a sanitary and safe condition and which do not comply with the requirements of this Section. Occupants of a dwelling unit, rooming unit or housekeeping unit are responsible for keeping in a clean, sanitary and safe condition that part of the dwelling unit, rooming unit, housekeeping unit or premises which they occupy and control.

211.070 Housing Code

- (A) Purpose. The purpose of the Housing Code is to establish a minimum level of maintenance standards for all housing and residential accessory structures in the City in order to:
- (1) Protect the character, value and stability of residential properties within the City.
 - (2) Correct and prevent housing conditions that adversely affect or are likely to adversely affect the life, safety, general welfare and health, including the physical, mental and social well-being of persons occupying dwellings within the City.
 - (3) Provide minimum standards necessary to the health and safety of occupants of the buildings.
 - (4) Provide minimum standards for the maintenance of existing residential buildings, and to thus prevent deterioration and blight.
 - 5) Correct and prevent unsafe or deficient housing conditions which are a fire hazard, or otherwise dangerous to human life, public safety personnel or the public welfare.

(B) Applicability and Scope. This Housing Code shall apply to exterior and interior area of all residential properties in the City. The construction, repair, alteration and maintenance of residential property shall comply with the provisions of this Code and other applicable sections of the Shoreview Municipal Code including the Building Code, the Fire Code and the Development Ordinance.

(D) Interior of Structures. The interior of residential structures, including common areas of multi-family dwellings in the City shall comply with the following standards:

(1) Interior Walls, Floors, Ceiling and Woodwork. Interior walls, floors, ceilings and associated woodwork or trim must be maintained in a sound condition and in workmanlike repair. All interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked or loose plaster, decayed wood and other defective surface conditions shall be corrected.

(2) Hallways. The width of hallways shall be not less than 36 inches. The height of hallways shall not be less than 7 feet nominal, with clearance below projections from the ceiling of not less than 6 feet and 8 inches nominal, except existing approved hallways shall be permitted to continue its use.

(3) Number of Means of Escape. In any dwelling or dwelling unit of two rooms or more, means of escape shall be provided in accordance with the following:

a. Primary Means of Escape. Every sleeping room and living area shall have a primary means of escape. This escape shall be a door, stairway or ramp providing a means of unobstructed travel with a minimum of three feet (3') cleared space from the egress and exit to the outside of the dwelling unit or street ground level.

b. Secondary Means of Escape. Except as provided in (D)(3)(c), Every sleeping room shall have a secondary means of escape which shall be a door, stairway or ramp or window providing a means of unobstructed travel path with a minimum of three feet (3') cleared space from the egress and exit to the outside of the dwelling unit or street ground level, or an outside window conforming to the requirements of the Minnesota State Building Code.

c. Except that a A secondary means of escape shall not be required when there is a door leading directly to the outside of the building at or to ground level; or when the dwelling unit is protected by an approved automatic sprinkler system; or when there is an existing approved means of escape.

d. Doors and windows that provide the primary and/or secondary means of escape shall be immediately accessible and must be operable and able to open freely and completely.

(4) Access.

- a. Where access is permitted by way of windows, the windows shall be arranged and maintained so as to be easily opened.
- b. There shall be no obstructions by railings, barriers or gates that divide the open space into sections appurtenant to individual rooms, apartments or other occupied spaces.
- c. In every occupied building or structure, means of egress from all parts of the building shall be maintained free and unobstructed with a minimum of three feet (3') cleared space. Means of egress shall be accessible to the extent necessary to ensure reasonable safety for occupants having impaired mobility.

(5) Stairs and walking surfaces. Every stair, ramp, landing or other walking surface, including carpeting and other surfaces shall be maintained in sound condition and good repair and not be of a tripping hazard.

(6) Plumbing systems. Plumbing systems shall be maintained in good working order, and must be kept free from obstructions, leaks and defects.

(7) Connected to water and sewer system. Kitchen sinks, lavatory basins, bathtubs, or showers and water closets shall be properly connected to either the municipal water and sewer system or to an approved private water and sewer system, and shall be supplied with hot and cold running water.

(8) Heating Facilities. Single and multiple family dwellings shall have heating facilities which are safely maintained and in good working condition, ~~and that s~~Said facilities be capable of safely and adequately heating all habitable rooms, bathrooms and toilet rooms located therein. The heating facilities shall be capable of maintaining a minimum room temperature of seventy (70) degrees Fahrenheit (twenty-one (21) degrees Celsius) at three (3) feet above the floor in all habitable rooms including bathrooms and under all weather conditions.

(9) Electrical service, outlets, and fixtures. Residential structures and dwelling units shall be supplied with electrical service that is adequate to safely meet the electrical needs of the structure and dwelling units in accordance with the provisions of the Building Code. Electrical outlets and fixtures shall be maintained and connected to the source of electrical power in accordance with the provisions of the Building Code.

(10) Light and ventilation. No owner shall use or occupy or allow another to use or occupy any residential structure, including common areas of multi-family dwellings, for the purpose of living, sleeping, cooking, and/or eating therein which does not comply with the provisions of the Building Code for light and ventilation. Lighting and ventilation shall be maintained in sound condition and workmanlike repair.

(11) Fire safety. No owner shall use or occupy or allow another to use or occupy any residential structure, including common areas of multi-family dwellings which does not comply with the applicable provisions of the Uniform Fire Code and all accepted standards for safety from fire.

a. Smoke Alarms: Single or multiple-station smoke alarms shall be installed and maintained in accordance with International Fire Code Section 907.2.10 and Minnesota State Statute 299F.362.

b. Carbon Monoxide Detectors: Every single-family dwelling and every multifamily dwelling unit shall be provided with an approved and fully operational carbon monoxide alarm within ten (10) feet of each room lawfully used for sleeping purposes in accordance with Minnesota Statutes 299F.050 and .051.

(12) Cleanliness. Residential structures, including common areas of multi-family dwellings, and dwelling interiors shall be maintained in clean and sanitary condition, free of accumulations of combustible materials, garbage and refuse so as not to breed insects and rodents, produce dangerous gases, odors and bacteria, or other unsanitary conditions, or create a fire hazard.

(13) Common Solid Waste Disposal Facilities. Interior solid waste disposal facilities designed for common use by occupants of multi-family residential structures shall be maintained in sound condition and workmanlike manner. Waste shall be disposed of in a timely manner to prevent the accumulation of garbage and refuse.

(14) Elevators and Related Devices. Elevators shall be maintained in accordance with Minnesota Rules Chapter 1307, Elevators and Related Devices.

(E) Extermination.

(1) Infestation. All structures shall be kept free from insect and rodent infestation. All structures in which insects or rodents are found shall be promptly exterminated by approved processes that will not be injurious to human health. After extermination, proper precautions shall be taken to prevent re-infestation.

(2) Owner. The owner of any structure shall be responsible for extermination within the structure or dwelling unit prior to renting or leasing the structure.

(F) Interior Storage

(1) Combustible materials shall not be stored within three feet (3') of open flame heat sources such as furnaces, water heaters, and fireplaces.

(2) Clearance between other heat or flame sources and combustible materials shall be maintained in a manner that does not constitute a fire hazard.

(3) Combustible materials shall not be stored in hallways, stairways, and landings unless a minimum of three feet (3') unobstructed travel is provided.

- (4) Rooms within the dwelling unit, other than those identified in (G) below may be used for storage purposes provided a minimum of three feet (3') unobstructed travel is provided to doors and windows.
- (5) Storage shall be maintained 2-feet or more below the ceiling.

(G) Room Function. Interior storage shall not interfere with the primary function of the following rooms: kitchen, bathroom(s), living room, hallways, bedrooms that are used for sleeping purposes.

- (1) Kitchen. The dwelling unit shall have permanently installed cooking (oven and stove), a refrigerator, including freezer, that is in safe operating condition.

(FH) Enforcement Officer. It shall be the duty of the City Manager to enforce the provisions of this code.

(GI) Inspections. The Enforcement Officer shall be authorized to make or cause to be made inspections to determine the condition of dwellings and premises in the City under this code in order to safeguard the health, safety and welfare of the public. The Enforcement Officer, or his designated representatives, shall be authorized to enter any dwelling or premises at any reasonable time for the purpose of performing his duties under this code. If the owner, operator or person in possession of the dwelling shall refuse to consent to the inspection and there is probable cause to believe that a violation exists within the particular structure, a search warrant may be obtained.

(HJ) Access by owner or operator. Every occupant of a dwelling shall give the owner or operator thereof, or his agent or employee, access to any part of such dwelling unit, rooming unit or its premises, at reasonable times, for the purpose of affecting inspection and maintenance, making such repairs, or making such alterations as are necessary to comply with the provisions of this code.

(IK) Compliance orders.

- (1) Whenever the Enforcement Officer determines that any dwelling, dwelling unit or rooming unit in the City under this code, or the premises surrounding any of these, fails to meet the provisions of this code, he may issue a compliance order setting forth the violations of the code and ordering the owner, occupant, operator or agent to correct such violations. This compliance order shall:
 - (a) Be in writing.
 - (b) Describe the location and nature of the violations of this code.
 - (c) Establish a time for the correction of such violation.

(d) Be served upon the owner, his agent or the occupant, as the case may require. Such notice shall be deemed to be properly served upon such owner, agent or upon any such occupant, if a copy thereof is:

(i) Served upon him personally, or

(ii) Sent by registered or certified mail to his last known address or

(iii) Upon failure to effect notice through (i) or (ii) above, as set out in this section, posted at a conspicuous place in or about the property which is affected by the notice.

(2) Transfer of Ownership. It shall be unlawful for the owner of any property, dwelling unit or structure who has received a compliance order or upon whom a notice of violation has been served to sell, transfer, mortgage, lease or otherwise dispose of said property, dwelling or structure to another until the provisions of the compliance order or notice of violation have been complied with or until such owner shall first furnish the grantee, transferee, mortgagee, or lessee a true copy of any compliance order or notice of violation issued by the City and shall furnish to the City a signed and notarized statement from the grantee, transferee, mortgagee, or lessee, acknowledging the receipt of such compliance order or notice of violation and fully accepting the responsibility without condition for making the corrections or repairs required by such compliance order or notice of violation.

(3) Misdemeanor. Any property owner who fails to satisfy the conditions of 211.070 may be charged with a misdemeanor.

(L) Posted to Prevent Occupancy. Whenever any dwelling or dwelling unit does not comply with the minimum standards of this ordinance and is found to be unfit for human habitation and otherwise dangerous to life, health, safety and property of the occupants, public safety personnel or the public welfare shall be posted with a placard by the City Manager to prevent occupancy. Any person who occupies a placarded premises and any owner or any person responsible for the premises who allows occupancy of the placarded premises shall be liable for the penalties provided by this code.

Rev. Date
6/5/06
Ord. #798

PROPOSED MOTION

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To recommend the City Council approve the text amendments to Chapter 202, Definitions and Chapter 211.0170, Housing Code, of the Municipal Code to better define standards related to safety, storage, and room function.

VOTE:

AYES: _____

NAYS: _____

The recommendation is based on the following finding:

1. The proposed text changes establish a definition for combustible material, as well as minimum standard for access, storage and room function. The changes address concerns related to the health, safety, and general welfare of the resident(s) and public safety staff. Concerns regarding the absence of such standards have been raised by Staff and the EDA with response to garbage / hoarding houses.

Regular Planning Commission Meeting – March 25, 2014