

**AGENDA
PLANNING COMMISSION MEETING
CITY OF SHOREVIEW**

**DATE: FEBRUARY 26, 2019
TIME: 7:00 PM
PLACE: SHOREVIEW CITY HALL
LOCATION: 4600 NORTH VICTORIA**

- 1. CALL TO ORDER**
ROLL CALL
APPROVAL OF AGENDA

- 2. APPROVAL OF MINUTES**
January 29, 2019

- 3. REPORT ON CITY COUNCIL ACTIONS**
Meeting Dates: February 4, 2019
Brief Description of Meeting Process- Chair, Kent Peterson

- 4. NEW BUSINESS**
 - A. STANDARD VARIANCE**
FILE NO: 2712-18-32
APPLICANT: Tiffany & James Rathmanner
LOCATION: 5423 Carlson Rd

 - B. PUBLIC HEARING - REZONING***
FILE NO: 2692-18-12
APPLICANT: Buell Consulting/Verizon Wireless
LOCATION: 5900 Mackubin Street

- 5. MISCELLANEOUS**
 - A.** City Council Meeting Assignments
 - *March 4, 2019 - Commissioner Wolfe*
 - *March 18, 2019- Commissioner Yarusso*
 - B.** Comprehensive Plan – Update on Metropolitan Council Review

- 6. ADJOURNMENT**

* *These agenda items require City Council review or action. The Planning Commission will hold a hearing, obtain public comment, discuss the application and forward the application to City Council. The City Council will consider these items at their regular meetings which are held on the 1st or 3rd Monday of each month. For confirmation when an item is scheduled at City Council, please check the City's website at www.shoreviewmn.gov or contact the Planning Department at 651-490-4682 or 651-490-4680*

**SHOREVIEW PLANNING COMMISSION
MEETING MINUTES
January 29, 2019**

CALL TO ORDER

Acting Chair Wolfe called the January 29, 2018 Shoreview Planning Commission meeting to order at 7:02 p.m.

ROLL CALL

The following Commissioners were present: Acting Chair Wolfe; Commissioners Anderson, Solomonson and Yarusso.

Chair Doan, Vice Chair Peterson and Commissioner Riechers were absent.

APPROVAL OF AGENDA

MOTION: by Commissioner Solomonson, seconded by Commissioner Yarusso to approve the January 29, 2019 Planning Commission meeting agenda as presented.

VOTE: **AYES:** **Anderson, Solomonson, Yarusso, Wolfe**
 NAYS: **None**

APPROVAL OF MINUTES

MOTION: by Commissioner Solomonson, seconded by Commissioner Anderson to approve the December 18, 2018 meeting minutes as presented.

VOTE: **AYES:** **Anderson, Solomonson, Yarusso, Wolfe**
 NAYS: **None**

REPORT ON CITY COUNCIL ACTIONS

City Planner Castle reported that the Conditional Use Permit for Granite Tech at 4643 Chatsworth was approved at the January 22, 2019 City Council meeting. A time frame condition was added for the outside storage area to be fenced by June 30, 2019; and materials must be moved from 4623 to 4643 by July 30, 2019.

NEW BUSINESS

COMPREHENSIVE SIGN PLAN

FILE NO.: 2713-18-33
APPLICANT: NEW LIFE EVANGELICAL LUTHERAN CHURCH
LOCATION: 180 COUNTY ROAD F

Presentation by Niki Hill, AICP, Economic Development and Planning Associate

An amendment to the existing Comprehensive Sign Plan is proposed to replace the existing monument sign on Hodgson Road with an electronic message center on a new monument sign. The property is developed with a church that has two monument signs. The subject monument sign on Hodgson has a manual message center. The property is zoned R1, Detached Residential. Churches are considered permitted quasi-public uses in the R1 District.

The existing monument sign has a total area of 55 square feet. The proposed sign area is 54 square feet to be in the same location. Color is preferred, but amber color is planned to comply with Code. The proposed sign complies with Code except for the sign area which is proposed for 54 square feet; Code allows 40 square feet. Use of the same location and orientation as the existing sign will minimize visual impact on adjoining residential properties. The hours of display would be 6:00 a.m. to 11:00 p.m. The sign would be off from 11:00 p.m. to 6:00 a.m.

A Comprehensive Sign Plan allows flexibility from sign standards without application for a formal variance. Staff finds that the proposed sign size and area deviations are compatible, as the property is on three county roads, and Hodgson Road is classified as a minor arterial road. However, a full color message center is not consistent with City regulations. Staff is recommending the application be forwarded to the City Council for approval with use of amber color only.

Notices were sent to property owners within 350 feet. Two comments were received, one in support of color and one stressing that there should be no impact to the neighborhood.

Commissioner Yarusso asked the reason the initial sign has a larger area than allowed by Code. Ms. Hill explained the way the Code is written, there is a minimum allowed area of 20 square feet for the sign to be readable, which supersedes the 18.9 (35%) square foot area maximum allowance.

Commissioner Anderson asked if the second sign would be changed. Ms. Hill stated that the two signs are part of the existing Comprehensive Sign Plan for the property. The second sign will not change.

Commissioner Solomonson noted a previous application for a color message sign. The applicant chose to install color but only use the amber color per City regulations. Allowing installation of color capacity does not mean the City is planning to change its regulations.

Acting Chair Wolfe noted that this application has been properly noticed. He opened the discussion to public comment.

Mr. Pat Flynn, Independence, MN, stated that he is present on behalf of the applicant and is working with the church to install the new sign. Color will be installed in the hope City Code will change, but it is understood that only amber color will be used.

Commissioner Solomonson asked the color of the background for the sign and whether the sign adjusts in brightness. **Mr. Flynn** answered that the sign will be monochrome. Only the amber color will be used for the message. The background color will be whatever the City stipulates—gray or black. Further, the brightness of the sign will adjust to outside light. It will be programmed to meet City Code standards for brightness. The software allows times of operation to be set and also has its own ip address to control hacking.

Mr. Glen Davidson, 1780 County Road C2, Roseville, current Property Director for the church, asked the rationale for not allowing full color. It makes the sign harder to read. Emphasis of different messages cannot be added. Commissioner Yarusso responded that an underlying issue is that the City Council would have to change the Code. The Planning Commission has taken a position to be consistent with Code in these decisions but also recognizes this may be a question to begin discussing with the City Council.

Mr. Davidson asked if the Commission then chooses not to consider a variance at this time. Commissioner Solomonson responded that he participated in drafting the current ordinance. The City took a conservative stand to protect neighborhoods. In previous discussions, the Commission would prefer to change the Code than grant a variance. However, there is no guarantee if and when the Code would change. Each application is unique. This sign is on a busy road near a commercial area with more light. The sign has a long sight line to the nearest home to the north that would be minimal impact. He agrees with the increased area size. Rather than granting a variance, he would prefer further discussion and possibly changing the ordinance to be able to allow a color sign. He agrees with staff's recommendation to allow the proposed size and keep the message center to the use of amber color only.

Commissioner Yarusso agreed with Commission Solomonson. She would not want to grant a variance for a color sign because it would set a precedent for future applications. Also, a variance to grant color does not meet the criteria established for granting a variance.

Commissioner Anderson agreed that in order to allow color, the best approach would be through a Code change. He expressed support for the sign size.

Acting Chair Wolfe state that his position also is to grant the increased size but not color at this time.

Commissioner Solomonson noted that a variance is not being granted. The application is for a change to the existing Comprehensive Sign Plan. City Attorney Kelly agreed and stated the purpose of a Comprehensive Sign Plan is to be able to allow deviations from Code. If this were

a variance application, each portion of the Code would have to be addressed from which a deviation is requested in addition to meeting the three criteria for a variance.

MOTION: by Commissioner Solomonson, seconded by Commissioner Anderson to recommend the City Council approve the Comprehensive Sign Plan Amendment submitted by New Life Evangelical Lutheran Church, 180 County Road F, subject to the following conditions:

1. The sign shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.
2. The applicant shall obtain a sign permit prior to the installation of any signs on the property.
3. The message center sign shall:
 - a. Display text shall be use a minimum 6-inch character height to be readable by passing motorists without distraction.
 - b. Messages shall be displayed in their entirety to allow passing motorists to read the entire copy.
 - c. Messages shall not include telephone numbers, email addresses or internet urls.
 - d. Messages shall be displayed for a minimum of 8 seconds, and shall change instantaneously.
 - e. Messages be presented in a static display, and shall not scroll, flash, blink or fade.
 - f. Advertisement is limited to the goods and services offered through the church. Text shall be the dominant feature of the display.
 - g. The message center sign shall not be operated between the hours of 11:00 pm and 6:00 am.
 - h. Said sign shall comply with the City's standards regarding brightness and dimmer control.
 - i. The sign message or display shall be amber in color as to reflect code.

Approval is based on the following findings:

1. *The plan proposes signs consistent in color, size and materials throughout the site.* The metal bronze and brown colors of the sign are natural colors. The sign design is intended to provide a modernized look while simplifying the sign graphic so the message is easily read, but the full color message center and size can be viewed as an inconsistency in what is allowed by code.
2. *Approving the deviation is necessary to relieve a practical difficulty existing on the property.* The deviations are to exceed the maximum 40-square foot sign area - of 54 square feet proposed and 20-square foot message center area – 36-square feet proposed are supported. In Staff's opinion, the practical difficulty relates to the existing sign size, topography of the site, character of Hodgson Road, the sign location, and separation from adjoining residential land uses.

3. *The proposed deviations from the standards of Section 208 result in a more unified sign package and greater aesthetic appeal between signs on the site.* The existing size and location will be retained and the color complements the church building. The replacement of the reader board with an electronic message center sign is intended to visually improve the look of the monument sign and improve advertising for church events and services.
4. *Approving the deviation will not confer a special privilege on the applicant that would normally be denied under the Ordinance.* The type of sign proposed is permitted on public/quasi public properties located in residential zoning districts. Staff does not believe the proposed deviation of overall sign size will provide the applicant with a special privilege.
5. *The resulting sign plan is effective, functional, attractive and compatible with community standards.* The proposed sign package is effective, functional and compatible with the quasi-public use. The intent of the sign is to provide a more efficient method of communicating special events and services offered by the church.

Discussion:

Commissioner Solomonson thanked the applicant for the improved sign and stated that he looks forward to discussion on possible changes to the Code.

VOTE: **AYES:** **Anderson, Solomonson, Yarusso, Wolfe**
 NAYS: **None**

Mr. Roger Flashinsky, 2730 Oxford Street N., Roseville, Financial Secretary for New Life Evangelical Lutheran Church, thanked the Commission for approving the sign change. He asked how the process would begin to change the Code. Ms. Castle stated that the Planning Commission can recommend a change to the sign code. If the Council agrees, amendments will be considered.

Commissioner Solomonson further explained that the Commission is advisory to the City Council and can only make a request. City Council direction is needed to open discussion of a change to the sign ordinance. He would not want to make that request with only four Planning Commission members absent.

MISCELLANEOUS

City Council Meeting Assignments

Commissioner Solomonson is scheduled to attend the February 4, 2019 City Council meeting. The City Council meeting on February 19 has been canceled.

Chair/Vice Chair Appointments

Ms. Castle congratulated Commissioner Peterson who has been appointed as Chair for 2019, and Commissioner Wolfe who has been appointed as Vice Chair.

Acting Chair Wolfe thanked Chair Doan for his leadership and doing a great job as Chair.

2018 Residential Survey Results

Ms. Castle referred Commissioners to the information presented in the meeting packet on the survey of quality of life in the community, which includes how the City is doing with delivery of services in a number of different areas. She will postpone her presentation until a full Commission is present. There is also a good summary of overall conclusions. She noted the increase in the number of people now watching Planning Commission meetings.

2019 Workshop Topics

Ms. Castle requested ideas from Commissioners for workshop topics in 2019. Possible subjects may be team building, items from the presentation from the League of Minnesota Cities, legal questions.

Commissioner Solomonson requested a discussion of workshop topics that have not yet been addressed, as well as a workshop on the sign code.

Ms. Castle noted that the last revision to the City Code was in 2009, after the 2008 Comprehensive Plan was adopted. Now that the 2018 Comprehensive Plan is completed, staff plans a review of the Code as a whole, but certain sections could be pulled for review that may be of particular importance, if the Planning Commission were to make a request. She encouraged Commissioners to email their thoughts and requests.

ADJOURNMENT

MOTION: by Commissioner Solomonson, seconded by Commissioner Yarusso to adjourn the meeting at 7:45 p.m.

VOTE: **AYES:** **Anderson, Solomonson, Yarusso, Wolfe**
NAYS: **None**

ATTEST:

Kathleen Castle
City Planner

TO: Planning Commission

FROM: Aaron Sedey, Associate Planner

DATE: February 20, 2019

SUBJECT: File No. 2712-18-32, Variance – James and Tiffany Rathmanner, 5423 Carlson Road

INTRODUCTION

A variance request has been submitted by James and Tiffany Rathmanner the homeowners of 5423 Carlson Road, to replace a nonconforming deck. This deck was recently removed because the applicants considered it unsafe. They are proposing to replace the deck with one that is in a similar location but has a different design. Since the deck encroaches in the required OHW setback a variance is required.

SITE CHARACTERISTICS

The property located on the east side of Turtle Lake on Carlson Road. It is zoned R1 – Detached Residential and is within the Turtle Lake Shoreland Overlay District. The surrounding properties are used for detached single family residential.

The lot has an area of 49,183 square feet. It is a standard riparian lake parcel with width of 150 ft, an average depth of 323 ft. The required minimum lot size of a riparian lot is 15,000 square feet and 100 feet wide.

The lot is developed with a two-story house and detached garage. The previous deck was located on the lakeside of the house and was setback 57.53 feet from the OHW at its nearest point. The property does slope down approximately 14 feet from the house to the lakeshore. There is also a boathouse with an attached deck located 7.85 feet from the OHW.

Since the addition is an attached deck, administrative Residential Design Review is allowed in lieu of the full Planning Commission Residential Design review (203.034(A)(1)(d)).

PROJECT DESCRIPTION

The previous deck was a nonconforming structure and is visible on an aerial photograph dating back to 1991. In accordance with information submitted, this deck was setback 57.53 feet from the OHW. A variance is required to replace the deck because it encroaches upon the required setback. A minimum setback of 72.64 is required from the OHW.

The proposed deck differs in design but will not be placed any closer to the OHW than the previous deck. However, a larger portion of the deck will be located within the required setback. The deck will be setback just little more at 57.87 foot setback from the OHW. Existing vegetation along the lake and side property lines will remain.

DEVELOPMENT CODE

Nonconformities

Nonconforming uses and structures are regulated in Section 207.050. This section addresses lawfully established structure that do not currently comply with the City's development regulations. If a structure was lawfully established, then it can remain in its current size and location and may be structurally altered, including an area expansion, provided the alteration complies with the City's regulations. Normal repairs and maintenance is also permitted so the structure can remain in sound condition.

In this case, it is not evident that this structure was legally permitted.

Shoreland Standards

Section 209.080(F)(1)(b), which addresses principal structure setback from the OHW, states that where two or more existing adjacent dwellings, including attached structures, have lakeside setbacks which exceed the minimum lakeside setback by ten (10) or more feet, the lakeside setback for an addition to a dwelling shall not be less than the average of the lakeside setbacks for such existing adjacent dwellings, including attached structures, minus 10 feet. In any event, 50 feet shall be the minimum setback. In this case, the setback range is 72.64-92.64 feet.

Shoreland Mitigation

A shoreland mitigation plan must be submitted for residential development that requires a land use approval, including a variance. The intent of the plan is to mitigate the adverse effects land development has on water quality and the lake environment. The applicants are proposing to use architectural mass and establish a vegetative restoration area in the Shore Impact Zone near the lake.

Variance Criteria

When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variances is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined as:

- 1. Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*
- 2. Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*
- 3. Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

For a variance to be granted, all three of the criteria need to be met.

APPLICANT'S JUSTIFICATION OF PRACTICAL DIFFICULTY

The applicant states that the reason for the new deck is to replace an older unsafe deck. Replacing the deck with a design that fits the current owners that will fulfill their needs, all while making it safe for their family and friends to use. See applicant's statement.

STAFF REVIEW

Staff reviewed the plans in accordance with the variance criteria. Staff is able to make findings that practical difficulty is present so all three criteria are met.

1. *Reasonable Manner.* *The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.* In Staff's opinion, the variance request to build the deck in a similar location as the previous deck represents a reasonable use of the property. While the proposed deck has a different layout, it does not encroach further in the current OHW setback. Any modification of the deck design on the lake side would require a variance as it is located in the required setback from the OHW. Staff believes that this request is reasonable.
2. *Unique Circumstances.* *The plight of the property owner is due to circumstances unique to the property not created by the property owner.* Unique circumstances stem from the characteristics of this property, including the previous deck location, and the placement of the home at 5633 Carlson Road. When the applicant's purchased this property in 2001, the deck was in place. This was a feature of the property which they had enjoyed and become accustomed to. The replacement of this deck, which they perceived as unsafe, is understandable.

The house directly to the north at 5633 Carlson Road is setback 109.63 from the OHW and exceeds the setbacks of the adjoining homes. While most of the homes along this section of Turtle Lake are placed at a similar distance from the shoreline, 5633 Carlson Road has a greater setback. This creates some difficulty for the applicant's property.

Another unique feature of this property is the existing boathouse with an attached deck located adjacent to the lakeshore. While the proposed deck does encroach into the required setback, the impact of this encroachment is negligible and overshadowed by structures by the lake.

3. *Character of Neighborhood.* *The variance, if granted, will not alter the essential character of the neighborhood.* Staff believes that the variance will not alter the essential character of the existing neighborhood. The new deck will be in place of the old one with an expansion on the northern side. From the north property line, the deck will setback, 60.93 feet which is similar to the setback of the existing home. There is vegetation along the northern property line and near the lakeshore that will be maintained.

PUBLIC COMMENT

Property owners within 150 feet were notified of the applicant's request. No Comments have been received.

STAFF RECOMMENDATION

Staff is able to make affirmative findings regarding practical difficulty and recommends the adoption of Resolution 19-20 approving the variance. Practical difficulty stems from conditions

relating to the previous deck, the placement of the home to the north, the existing boathouse/deck and neighborhood characteristics. The following conditions should be attached to an approval:

1. The deck must be built to as shown in the survey within the footprint and description depicted on the submitted survey and be no closer than 57.87 feet from the OHWL.
2. The project must be completed in accordance with the submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
3. The existing vegetation on the north and lakeside of the property shall remain and not be removed or disturbed as a result of this project.
4. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
5. Shoreland Mitigation Affidavit is required to be signed before the building permit is issued.
6. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.

Attachments

- 1) Location Map
- 2) Applicant's Statement
- 3) Submitted Plans
- 4) Resolution 19-20
- 5) Motion



Jimmy and Tiffany Rathanner
5423 Carlson Rd, Shoreview MN
Deck variance request

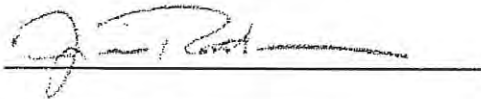
TWIMC,

This is to inform that we will be requesting a variance for the OHWL setback to our property to replace our existing deck. We feel that our setback being based on adjacent property setbacks is detrimental because of the extreme setback that our neighbor to the North at 5433 has. Our new deck will be approximately 4' further setback from the lake than the existing deck is currently.

The current deck is dilapidated and needs to be torn out for aesthetics and safety. The new deck will be further setback from rear property line than existing and an improvement to the character of the neighborhood. Existing landscaping and vegetation to remain in place and no impermeable surface will be added to surrounding landscape.

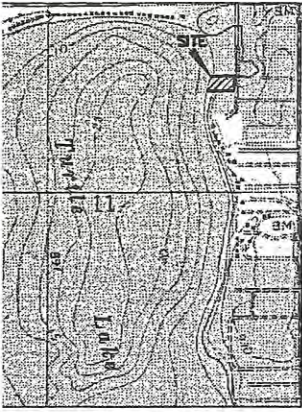
With regards to shoreline mitigation, we will be incorporating option #3 as the home was recently painted brown. We also propose #2, vegetative restoration area at the bottom of the yard slope at shore impact zone. We have included pictures and survey showing area to have sod removed and to be protected with native species, natural mulch and shrubs. We have included a sample concept plan for reference. If approved as mitigation practice site specific plan will be submitted. Protection area to have sod removed and soil amended with compost, mix of native shrubs, perennials and grasses. Mulch to be applied to all restored areas to prevent erosion. Erosion control barriers to be placed before start and remain effective until completion.

Thank you for your consideration,



Jimmy and Tiffany Rathmanner

SECTION 11, T30N, R23W



VICINITY MAP
(NO SCALE)



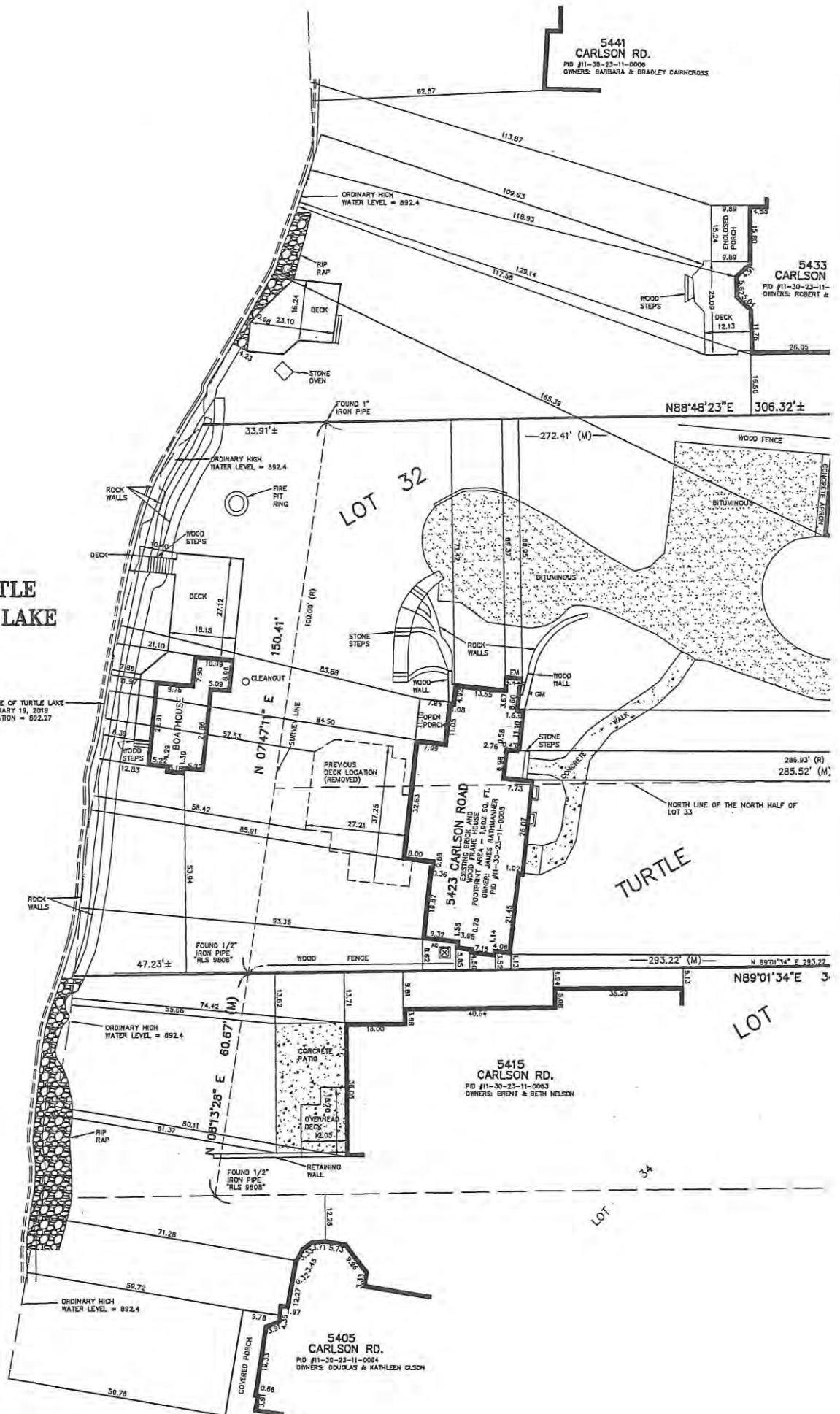
LAKESIDE OF 5423 CARLSON ROAD
CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA

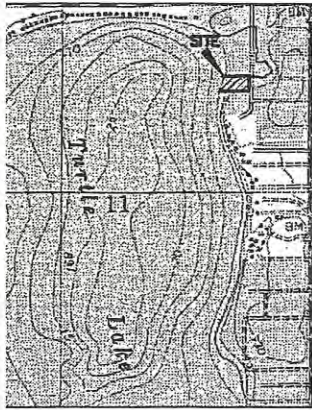


LAKESIDE OF 5415 CARLSON ROAD
CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA

TURTLE LAKE

SHORELINE OF TURTLE LAKE
JANUARY 19, 2019
ELEVATION = 892.27





VICINITY MAP
(NO SCALE)



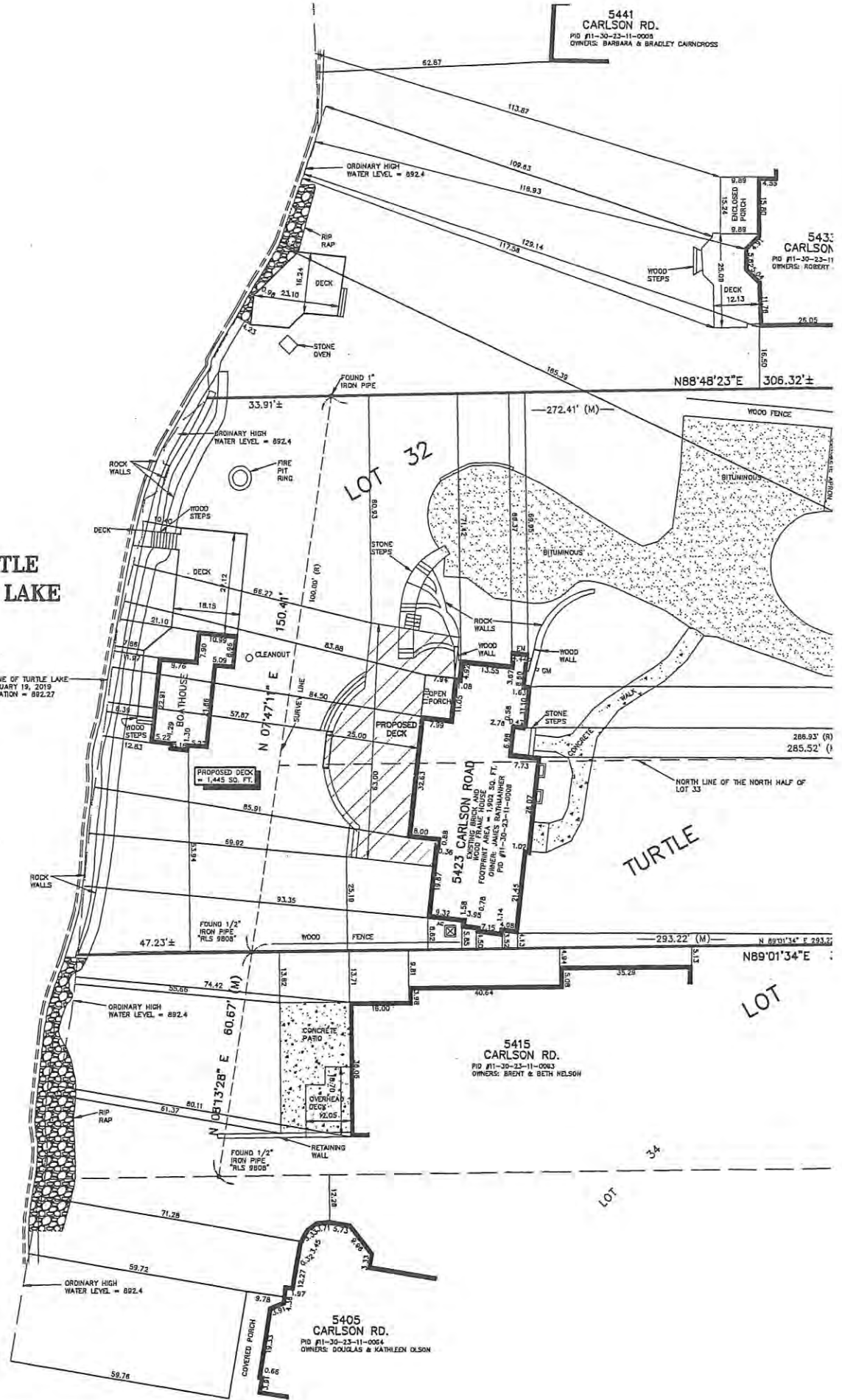
LAKESIDE OF 5423 CARLSON ROAD
CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA



LAKESIDE OF 5415 CARLSON ROAD
CITY OF SHOREVIEW, RAMSEY COUNTY, MINNESOTA

TURTLE LAKE

SHORELINE OF TURTLE LAKE
JANUARY 19, 2019
ELEVATION = 892.27



5441
CARLSON RD.
PID #11-30-23-11-0008
OWNERS: BARBARA & BRADLEY CAIRNCROSS

5433
CARLSON
PID #11-30-23-11-0008
OWNERS: ROBERT

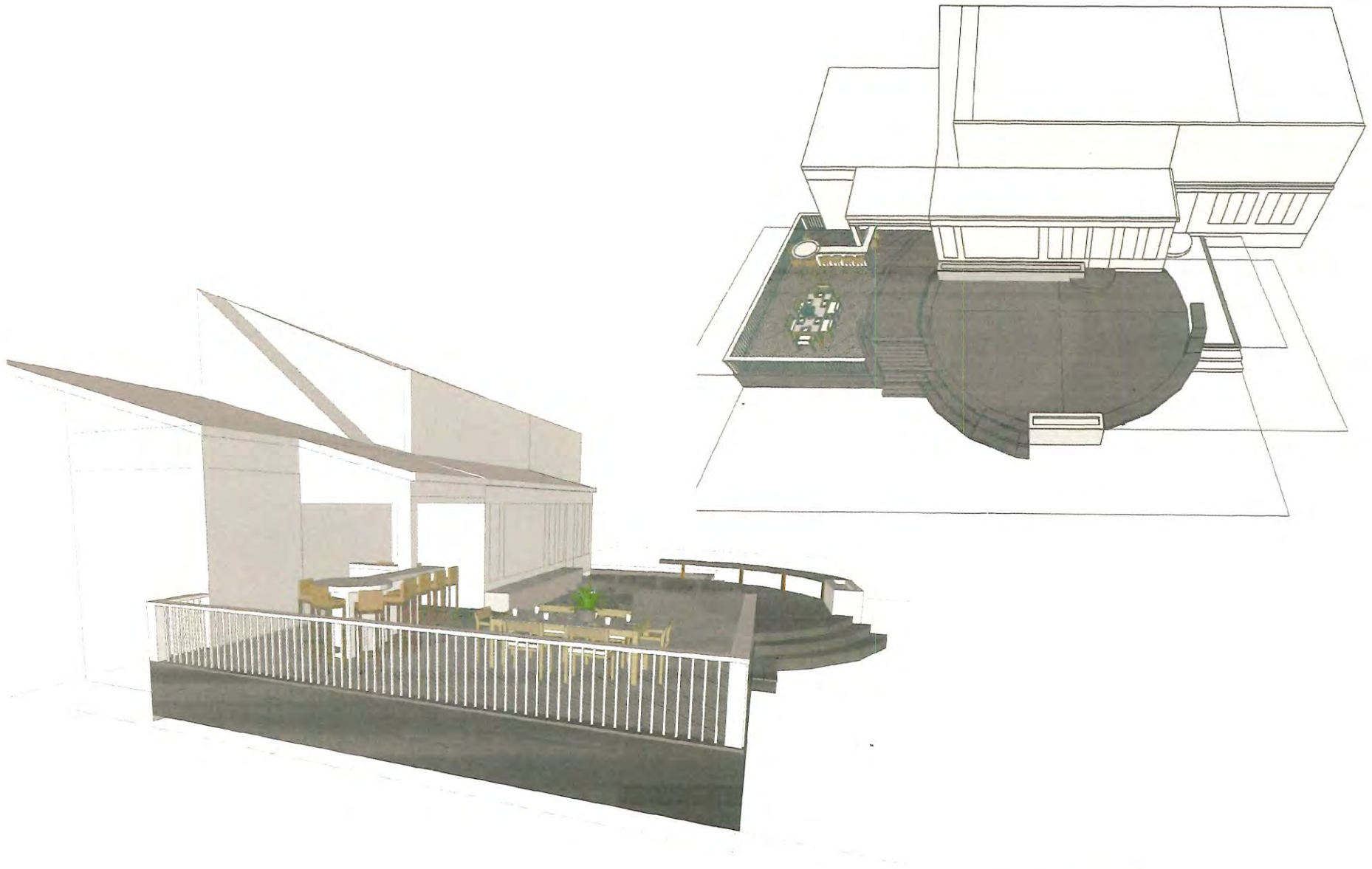
5423
CARLSON ROAD
WOOD FRAME HOUSE AND
FOOTING AREA = 1,922 SQ. FT.
OWNERS: S. BATHMANER
PID #11-30-23-11-0008


5415
CARLSON RD.
PID #11-30-23-11-0003
OWNERS: BRENT & BETH NELSON

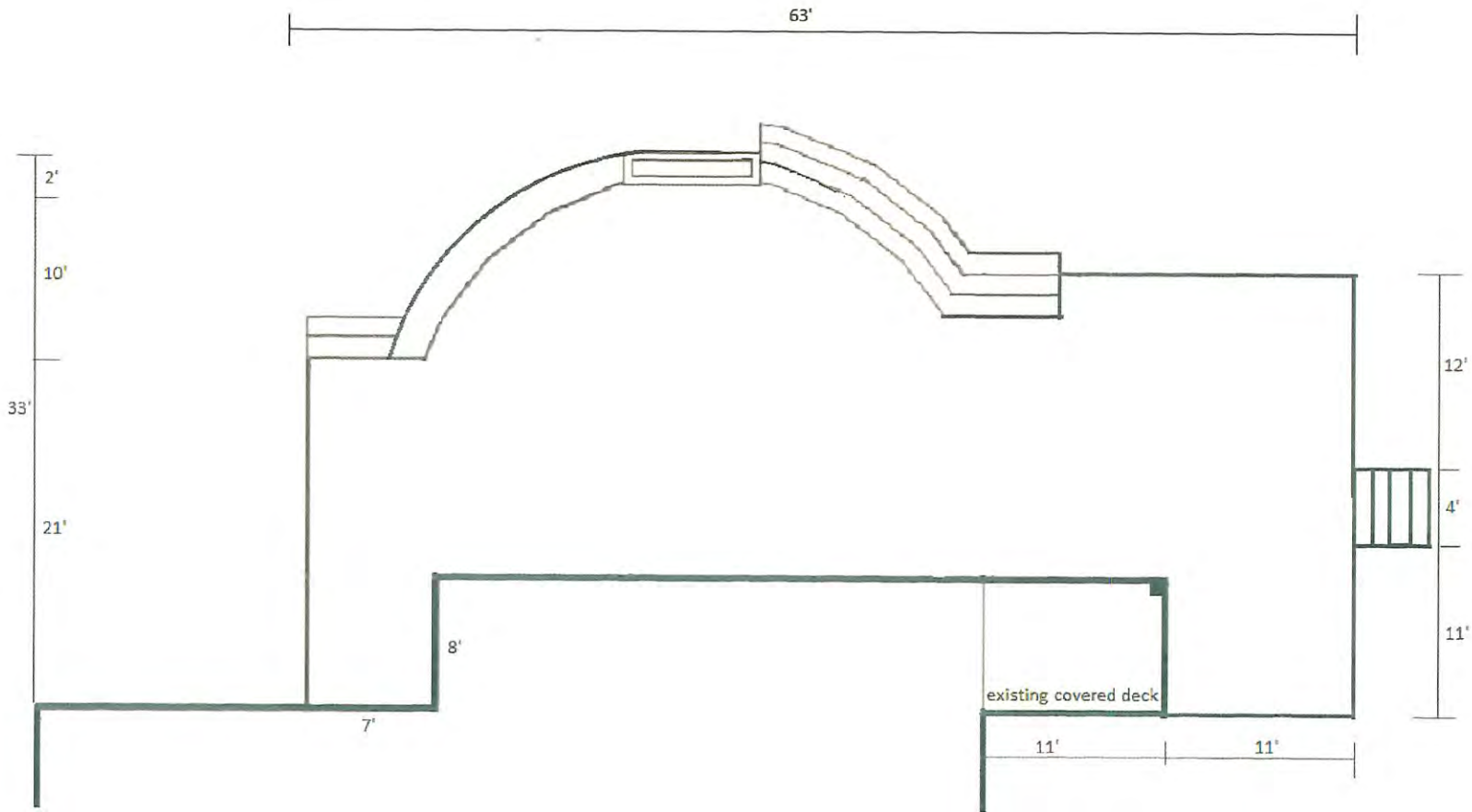
5405
CARLSON RD.
PID #11-30-23-11-0064
OWNERS: DOUGLAS & KATHLEEN OLSON

STATE OF MINNESOTA
OFFICE OF THE REGISTERED PROFESSIONAL SURVEYOR

D.B. DOUG POLIOT




Contractor: Deck and Basement Co.	Site Address: 5423 Carlson Road	 Deck & Basement Company
Phone: (612) 741-2289	Notes:	
Address: 6907 Logan Ave S Minneapolis	Azek PVC Decking	



Deck Approx.
24"
to Grade



Contractor: Deck and Basement Co.	Site Address: 5423 Carlson Road	
Phone: (612) 741-2289	Notes:	
Address: 6907 Logan Ave S Minneapolis	Azek PVC Decking	

**EXTRACT OF MINUTES OF MEETING OF THE
PLANNING COMMISSION OF SHOREVIEW, MINNESOTA
HELD FEBRUARY 26, 2019**

* * * * *

Pursuant to due call and notice thereof, a meeting of the Planning Commission of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 PM.

The following members were present:

And the following members were absent:

Member _____ introduced the following resolution and moved its adoption.

**RESOLUTION NO. 19-20 FOR A VARIANCE OF 57.87 FOOT SETBACK FROM THE
OHWL FOR A NEW DECK**

WHEREAS James and Tiffany Rathmanner married to one another, submitted a variance application for the following described property:

Lot 32 and the North ½ of Lot 33 Turtle Lake Shores, 2nd Unit, Ramsey County, Minnesota.

(This property is more commonly known as 5423 Carlson Road)

WHEREAS, pursuant to the Development Code Section 209.080(F)(1)(b), the Development Regulations require all principal structure setback from the OHW, states that where two or more existing adjacent dwellings, including attached structures, have lakeside setbacks which exceed the minimum lakeside setback by ten (10) or more feet, the lakeside setback for an addition to a dwelling shall not be less than the average of the lakeside setbacks for such existing adjacent dwellings, including attached structures, minus 10 feet. In any event, 50 feet shall be the minimum setback. In this case the minimum setback would be between 72.64-92.64 feet; and

WHEREAS, the applicant proposed a 57.87 foot setback from the ordinary high water level to rebuild a deck; and

WHEREAS, the applicants have requested a variance to this requirement in order to rebuild a new deck; and

WHEREAS, the Shoreview Planning Commission is authorized by state law and the City of Shoreview Development Regulations to make final decisions on variance requests; and

WHEREAS, on February 26, 2019 the Shoreview Planning Commission made the following findings of fact:

1. *Reasonable Manner.* The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations. In Staff's opinion, the variance request to build the deck in a similar location as the previous deck represents a reasonable use of the property. While the proposed deck has a different layout, it does not encroach further in the current OHW setback.
2. *Unique Circumstances.* The plight of the property owner is due to circumstances unique to the property not created by the property owner. Unique circumstances stem from the characteristics of this property, including the previous deck location, and the greater setback of the home at 5633 Carlson Road. When the applicant's purchased this property in 2001, the deck was in place. The replacement of this deck, which they perceived as unsafe, is understandable.
3. *Character of Neighborhood.* The variance, if granted, will not alter the essential character of the neighborhood. Staff believes that the variance will not alter the essential character of the existing neighborhood. The new deck will be in place of the old one with an expansion on the northern side. From the north property line, the deck will setback, 60.93 feet which is similar to the setback of the existing home. There is vegetation along the northern property line and near the lakeshore that will be maintained.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance requested for property described above, 5423 Carlson Road, be approved, subject to the following conditions:

1. The deck must be built to as shown in the survey within the footprint and description depicted on the submitted survey and be no closer than 57.87 feet from the OHWL.
2. The project must be completed in accordance with the submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
3. The existing vegetation on the north and lakeside of the property shall remain and not be removed or disturbed as a result of this project.
4. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.

5. Shoreland Mitigation Affidavit is required to be signed before the building permit is issued.
6. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.

The motion was duly seconded by Member _____ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 26th day of February, 2019

Kent Peterson, Chair
Shoreview Planning Commission

ATTEST:

Aaron Sedey, Associate Planner

ACCEPTANCE OF CONDITIONS:

Tiffany Rathmanner

James Rathmanner

STATE OF MINNESOTA)
)
COUNTY OF RAMSEY)
)
CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview Planning Commission held on the 26th day of February, 2019 with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates to adopting Resolution 19-20.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 26th day of February, 2019.

Terry C. Schwerm
City Manager

SEAL

Drafted by: Aaron Sedey, Associate Planner
4600 Victoria St N
Shoreview, MN 55126

**MOTION
TO APPROVE VARIANCE
JAMES AND TIFFANY RATHMANNER
5423 CARLSON ROAD**

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To approve a variance request for OHW setback for the proposed deck rebuild at 5423 Carlson Road, subject to the following conditions:

Variances

1. The deck must be built to as shown in the survey within the footprint and description depicted on the submitted survey and be no closer than 57.87 feet from the OHWL.
2. The project must be completed in accordance with the submitted as part of the Variance application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
3. The existing vegetation on the north and lakeside of the property shall remain and not be removed or disturbed as a result of this project.
4. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
5. Shoreland Mitigation Affidavit is required to be signed before the building permit is issued.
6. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.

This approval is based on the following findings of fact:

1. The property will still be used in a reasonable manner, as the deck is in a similar location and not encroach further into the OHL setback.
2. The unique circumstances are tied to the northern neighbor being set back further from the OHL than most homes in the area, and the deck was in place prior to the homeowners owning the home.
3. The proposed deck will not alter the character of the neighborhood as the addition is still far away from the neighboring property.

VOTE:

AYES:

NAYS:

ABSENT:

TO: Planning Commission

FROM: Kathleen Castle, City Planner

DATE: February 22, 2019

SUBJECT: File No. 2962-18-12, Buell Consulting/Verizon Wireless – 5900 Mackubin Street (Bucher Park)

INTRODUCTION

Rob Viera (Buell Consulting), on behalf of Verizon Wireless, LLC, submitted an application to rezone Bucher Park, 5900 Mackubin Street, from a Telecommunications Overlay District – One (TOD-1) to a Telecommunications Overlay District – Two (TOD-2) for the future installation of a wireless telecommunications facility. In the TOD-1, wireless telecommunications facilities are permitted provided they do not exceed 60 feet in height. Verizon is interested in installing a 75-foot monopole on the property; therefore, they are asking the property be rezoned to a TOD-2 District because this taller height would be permitted. The application was complete February 7, 2019.

Prior to the installation of a tower on the property, a Wireless Telecommunications Permit is required. If the rezoning is approved, Verizon Wireless is expected to submit an application for the monopole. Plans for the proposed monopole accompanied the rezoning application in order to provide the Commission with information that could assist in the decision making process.

Bucher Park is owned by the City. If the project moves forward, Verizon will also need to enter into a Ground Lease agreement with the City. This lease would identify the location to be leased, the permitted tower and equipment, and the terms including but not limited to the lease period, annual rent and termination.

DEVELOPMENT CODE REQUIREMENTS

Bucher Park is located in the R-1, Detached Residential District and the TOD-1 District; where wireless communication facilities are permitted provide the height does not exceed 60-feet. This underlying R-1 zoning designation will not be affected by the requested rezoning. The nearest tower is located south of Turtle Lake Road in the City of North Oaks about 1 mile away and outside the ½ mile radius where co-location would be required per City Code.

Section 203.052 addresses zoning district boundary amendments, which is a rezoning of property. This amendment requires the Planning Commission to hold a public hearing and make a recommendation to the City Council. The following criteria need to be considered:

(1) That the proposed rezoning is consistent with the policies of the Comprehensive Plan and with the general purpose and intent of the development regulations.

- (2) That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property.
- (3) That the applicant is willing to enter into a development agreement with the City as a condition of rezoning approval

APPLICANT’S SUBMITTED STATEMENT

Verizon Wireless has submitted the application to provide added capacity to their network. As people use their phones for more and more activities (TV, music, streaming movies, data uploads/downloads/transfers, pictures, etc) added capacity is imperative to meet the demand. Specific areas have been pinpointed where there's great demand and the existing cell site that currently covers the area is near capacity. This results in slow speeds, dropped calls, buffering; in general, an inferior network.

The proposed location at Bucher Park is a viable site that works for the network and achieves their goals. The closest cell tower in North Oaks is about a mile away from Bucher Park. The Capacity Analysis that was completed shows other Verizon locations and the gaps in their network.

Obstacles to the RF signal are present at the 60-foot height maximum, therefore additional height 15-feet in height is needed. Rezoning to a TOD-2 district is needed to achieve the height desired for the pole.

STAFF REVIEW

Staff has reviewed the proposed rezoning in accordance with the Code criteria.

Comprehensive Plan

The *2018 Comprehensive Plan* recently adopted by the City designates the future land use of this property as P, Park. This is also consistent with the future land use designation specified in the *2008 Comprehensive Plan*. The rezoning of the property to a TOD-2 district will not change or impact the use of the property.

Technology, including wireless telecommunication facilities, is addressed in Chapter 9, Community Facilities and Services. The stated goals support technology that improves the community’s quality of life, encourages citizen participation and results in efficient and effective government.

Development Code

Section 205.180 outlines the purpose and intent of the TOD’s and the permitted uses. The TOD’s were established to allow the development of a competitive wireless telecommunications market in the City while protecting the health, safety and general welfare of the public. The ordinance protects the City’s local zoning authority concerning the placement, construction and modification of wireless telecommunications facilities while maintaining the rights of the

providers. Appropriate locations were designated within three overlay zoning districts, two of which permit the construction of wireless telecommunication towers provided certain heights are not exceeded. The third district permits the installation of wireless telecommunication facilities on existing buildings.

Generally, property within the TOD-1 includes City Parks and other public property. Sitzer Park, however, is located in a TOD-2 District and there are two 75-foot monopole facilities located in the Park. A map of the TOD districts is attached.

Prior to the installation of a facility, a Wireless Telecommunications Permit is required from the City (Section 203.044 (C)). The intent of the Permit is to address the public health, safety and welfare concerns associated with these facilities while allowing the establishment of wireless telecommunication services for the community. The City has also adopted design standards in Section 207.040 (B3) to minimize impacts these facilities can have on nearby land uses.

Impacts on the Planned Land Use of the Surrounding Property

The current and planned land uses surrounding Bucher Park include low density residential to the west, south and east. The Park property is also bounded by the Kerry Lake water body to the south and east.

North, in the City of Lino Lakes, are low density residential uses.

The property is currently zoned TOD-1 which permits tower facilities provided they do not exceed 60-feet in height. In Staff's opinion, the primary consideration regarding this request relates to the impact an additional 15-feet in height would have on the surrounding planned land uses.

Bucher Park has an area of about 23 acres and is developed with a variety of recreational facilities including but not limited to a parking lot, park shelter, ball fields, hockey rink and playground facilities. The existing light poles for the hockey rink have a height of 50-feet. The residential land uses to the south are separated from the Park by Kerry Lake. A small hill and vegetation along the upland area south of the Park facilities also provides a buffer from the adjoining residential land uses. The Park also has mature vegetation and open areas that will allow for separation of the wireless facility from the adjoining properties to the north and east.

The City's consulting engineer, SEH Inc., reviewed the application and submitted materials including the capacity analysis and concur with Verizon's findings that an additional 15-feet in height is needed to address capacity and coverage gaps currently occurring in their system. The consultant also indicated that tower with a taller height should lessen the impacts of RF emissions.

Based on our review, Staff believes that the additional 15-feet in height will not have a significant adverse impact on the planned residential land uses. The visual impact of a taller tower facility will be mitigated by the Park's size, characteristics and natural features. Impacts

will also be mitigated through the City's design standards which address color, camouflage, architecture and landscaping. The TOD regulations permit only one WTF per parcel, unless the Planning Commission recommends, and the Council approves other towers based on the features of the parcel.

Development Agreement

If the rezoning is approved, a Wireless Telecommunications Facility Agreement and Wireless Telecommunications Permit will be required. Verizon will also need to enter into a ground lease with the City.

Other Considerations

Federal Communications Commission

Federal law, the Telecommunications Act (1996), established by the Federal Communications Commission (FCC) is the national authority to set radio frequency (RF) emission and interference standards. By doing this, the Telecommunications Act preempted the ability of local authorities to grant standards that are more restrictive than the FCC. Verizon is required to operate under an FCC license and is subject to FCC regulations, including those for interference and radio frequency emissions. City Code addresses RF emissions and interference in the permitting process. These facilities are required to comply with the FCC standard and need to be tested to verify compliance. While the City is not able to apply a stricter standard than permitted by FCC regulations, staff understands the health concerns raised by residents.

Attached is a FCC handout that addresses RF emissions.

Parks and Recreation Department Review

The application was reviewed by the Parks and Recreation Director and Parks Superintendent. Staff has also met on-site with Verizon to review the park facilities and potential locations. The Parks Department does not have concerns related to the rezoning request and increased tower height. Comments received from the Parks Staff relate to the tower design and location which would be addressed with a Wireless Telecommunications Facility Permit.

PUBLIC COMMENTS

Mailed notice was sent to property owners within 350 feet of the subject property, including those in adjoining communities. Legal notice was also published in the Shoreview Bulletin. A number of written comment have been received expressing opposition to the proposed rezoning and requesting additional time for public review. Residents have expressed the following concerns:

- 1) Visual impact
- 2) Health impacts
- 3) Impact on property values
- 4) Need for a tower at the proposed location

5) Impact on the park use and facilities

Residents have also asked that this item be postponed to provide additional time for review and comment.

Lino Lakes City Staff also commented and do not have any concerns with the rezoning.

STAFF RECOMMENDATION

The rezoning request has been reviewed by Staff in accordance with the Development Code, including the rezoning criteria. The proposed rezoning from the TOD-1 to the TOD-2 District is consistent with the Comprehensive Plan and Development Code. The visual impact of a taller tower is mitigated by the Park's characteristics and the City's design standards. Further, a Wireless Telecommunications Agreement, Wireless Telecommunications Facility Permit and Lease Agreement will need to be must be executed with the applicant.

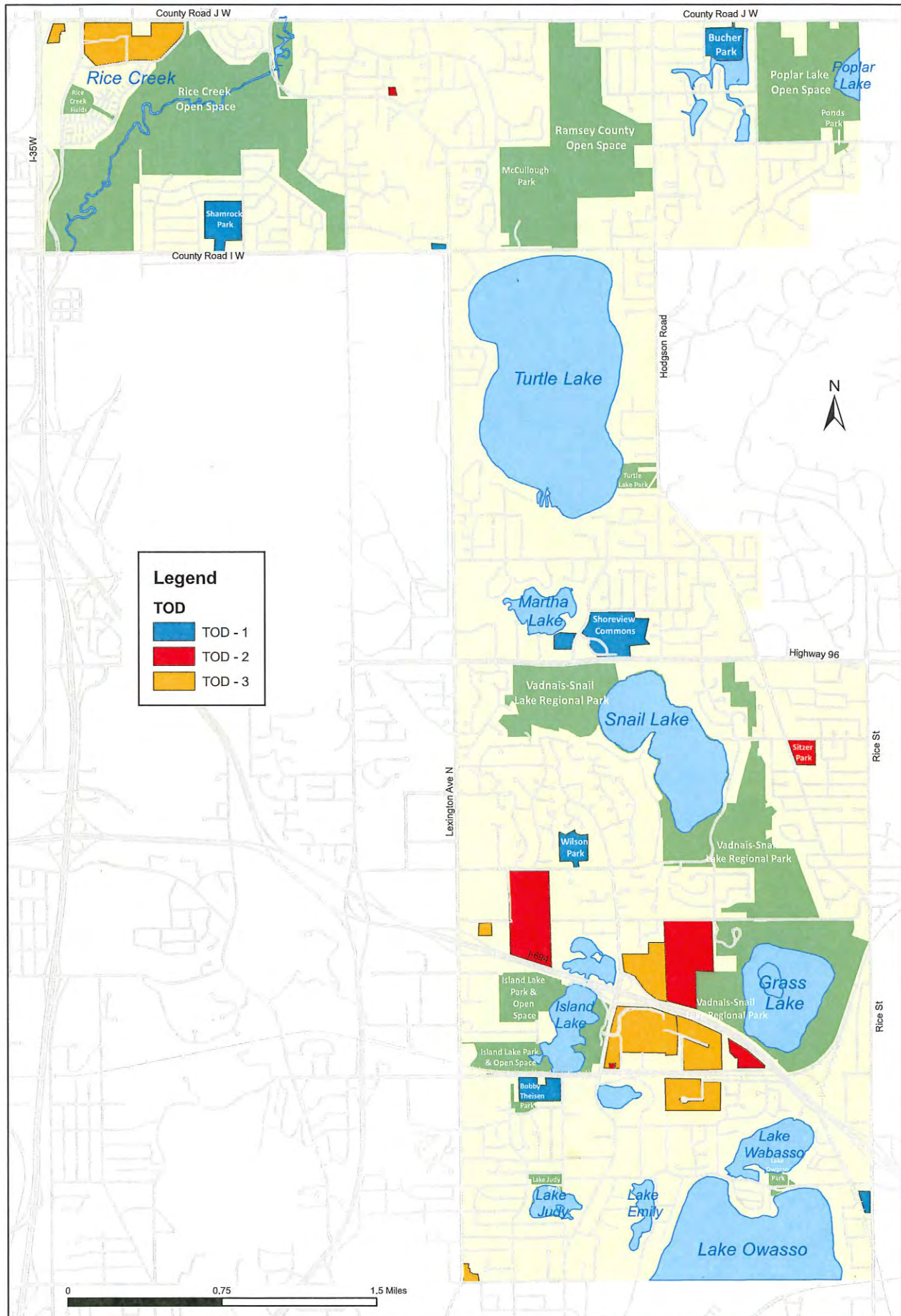
Based on these findings, Staff is recommending the Planning Commission support the rezoning of the property from the TOD-1 District to the TOD-2 District with the following conditions attached.

- 1) This approval rezones the property from TOD -1, Telecommunications Overlay District – One, to TOD -2, Telecommunications Overlay District – Two. The underlying zoning designation of R-1, Detached Residential District will remain unchanged.
- 2) Rezoning is not effective until a Wireless Telecommunications Facility (WTF) agreement is executed.

If the Commission determines additional information is needed, the application can be tabled and the review period extended to 120 days. The Commission should provide some direction as to what additional information is needed for the application. Motions for both approval and tabling are attached.

Attachments:

1. TOD Map
2. Aerial Location Map
3. Bucher Park Photographs
4. SEH (City Consultant) Review
5. FCC Consumer Guide – RF Emissions
6. Applicant's Statement and Submitted Plans
7. Request for Comment received
8. Motions



Telecommunications

City of Shoreview - 2040 Comprehensive Plan

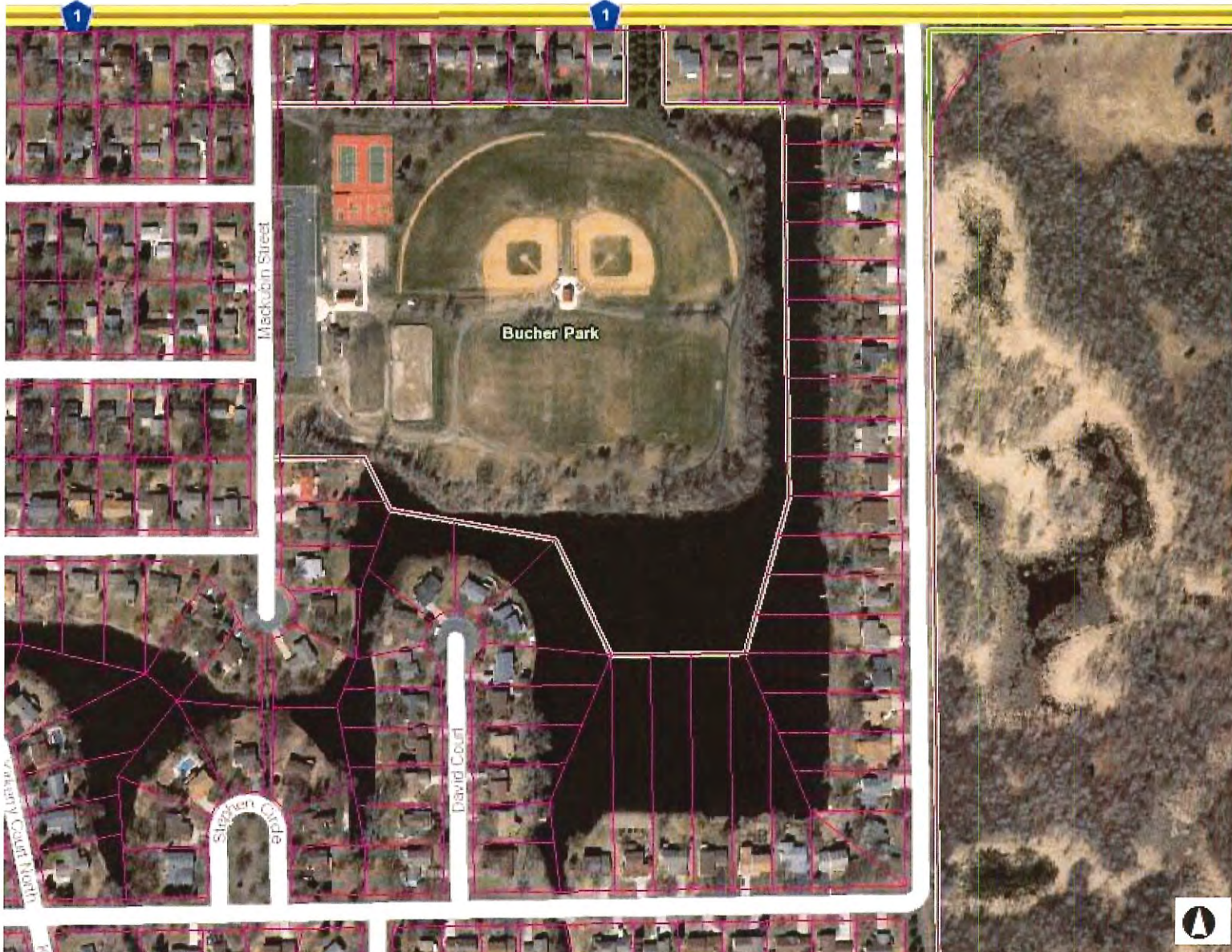


March 5, 2018

Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries



Notes

5900 Mackubin Street

600.0 0 300.00 600.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet
© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



LOOKING EAST



LOOKING SOUTH



LOOKING NORTH EAST



LOOKING NORTH



SEH Review of Verizon's Application for Proposed Tower Height Increase and Rezoning Verizon Site Name MIN Trappers

MIN TRAPPERS Capacity Analysis:

The statements regarding the 2 separate centerlines are correct regarding a larger coverage area:

- To accommodate the required antennas for each sector, and
- The separation of at least 8' apart (typically 10') to make room for cables and maintenance.

Review of the City of Shoreview Municipal Code as it applies to Verizon's proposed height increase, the proposed plans meets all the requirements including the following:

- The tower meets stealth requirements (antennas are inside a weather proof cover and not exposed).
- The tower will not have climbing pegs added to prevent unauthorized climbing.
- Radio Frequency (RF) Emissions and Interference, the Verizon site meets the FCC's Maximum Permissible Exposure (MPE).
- Siting/Setbacks, the proposed additional height meets the requirements for the tower's fall zone.

With regards to increasing the height of the tower itself, Verizon will be required to submit a structural analysis for the proposed tower and antenna sectors in order to meet the City of Shoreview Municipal Code.

If the City of Shoreview does not want to rezone the area to a TOD-2, they can consider allowing a variance for Verizon to deviate from current TOD-1 zoning requirements.



Human Exposure to Radio Frequency Fields: Guidelines for Cellular and PCS Sites

Primary antennas for transmitting wireless telephone service, including cellular and Personal Communications Service (PCS), are usually located outdoors on towers, water tanks and other elevated structures like rooftops and sides of buildings. The combination of antenna towers and associated electronic equipment is referred to as a “cellular or PCS cell site” or “base station.” Cellular or PCS cell site towers are typically 50-200 feet high. Antennas are usually arranged in groups of three, with one antenna in each group used to transmit signals to mobile units, and the other two antennas used to receive signals from mobile units.

At a cell site, the total radio frequency (RF) power that can be transmitted from each transmitting antenna depends on the number of radio channels (transmitters) that have been authorized by the Federal Communications Commission (FCC) and the power of each transmitter. Although the FCC permits an effective radiated power (ERP) of up to 500 watts per channel (depending on the tower height), the majority of cellular or PCS cell sites in urban and suburban areas operate at an ERP of 100 watts per channel or less.

An ERP of 100 watts corresponds to an actual radiated power of 5-10 watts, depending on the type of antenna used. In urban areas, cell sites commonly emit an ERP of 10 watts per channel or less. For PCS cell sites, even lower ERPs are typical. As with all forms of electromagnetic energy, the power density from a cellular or PCS transmitter rapidly decreases as distance from the antenna increases.

Consequently, normal ground-level exposure is much less than the exposure that might be encountered if one were very close to the antenna and in its main transmitted beam. Measurements made near typical cellular and PCS cell sites have shown that ground-level power densities are well below the exposure limits recommended by RF/microwave safety standards used by the FCC.

Guidelines

In 1996, the FCC adopted updated guidelines for evaluating human exposure to RF fields from fixed transmitting antennas such as those used for cellular and PCS cell sites. The FCC’s guidelines are identical to those recommended by the National Council on Radiation Protection and Measurements (NCRP), a non-profit corporation chartered by Congress to develop information and recommendations concerning radiation protection. The FCC’s guidelines also resemble the 1992 guidelines recommended by the Institute of Electrical and Electronics Engineers (IEEE), a non-profit technical and professional engineering society, and endorsed by the American National Standards Institute (ANSI), a nonprofit, privately-funded membership organization that coordinates development of voluntary national standards in the United States.

In the case of cellular and PCS cell site transmitters, the FCC’s RF exposure guidelines recommend a maximum permissible exposure level to the general public of approximately 580 microwatts per square centimeter. This limit is many times greater than RF levels typically found near the base of cellular or PCS cell site towers or in the vicinity of other, lower-powered cell site transmitters. Calculations corresponding to a “worst-case” situation (all transmitters operating simultaneously and continuously at



the maximum licensed power) show that, in order to be exposed to RF levels near the FCC's guidelines, an individual would essentially have to remain in the main transmitting beam and within a few feet of the antenna for several minutes or longer. Thus, the possibility that a member of the general public could be exposed to RF levels in excess of the FCC guidelines is extremely remote.

When cellular and PCS antennas are mounted on rooftops, RF emissions could exceed higher than desirable guideline levels on the rooftop itself, even though rooftop antennas usually operate at lower power levels than free-standing power antennas. Such levels might become an issue for maintenance or other personnel working on the rooftop. Exposures exceeding the guidelines levels, however, are only likely to be encountered very close to, and directly in front of, the antennas. In such cases, precautions such as time limits can avoid exposure in excess of the guidelines. Individuals living or working within the building are not at risk.

Consumer Help Center

For more information on consumer issues, visit the FCC's Consumer Help Center at www.fcc.gov/consumers.

Accessible formats

To request this article in an accessible format - braille, large print, Word or text document or audio - write or call us at the address or phone number at the bottom of the page, or send an email to fcc504@fcc.gov.

Last Reviewed 10/31/16





Buell Consulting, Inc.

1360 Energy Park Drive, Suite 210

Saint Paul, Minnesota 55108

(651) 361-8110

www.buellconsulting.com

*Site Acquisition
Permitting
Established 1991*

January 07, 2019

City of Shoreview
Department of Community Development
4600 Victoria Street N
Shoreview, MN 55126

RE: Rezoning Application – Verizon Wireless – Bucher Park

To Whom It May Concern:

As you are aware, Verizon Wireless previously withdrew its application to re-zone Bucher Park to allow for a 75' monopole in order to improve wireless coverage in the area. Verizon Wireless is now desirous to move forward as soon as possible and hereby requests to be placed on the next Planning Commission agenda for consideration.

Verizon Wireless has determined that the area in and around Bucher Park has inferior wireless coverage. Inferior coverage equates to dropped calls, increased buffering, slow download/upload speeds; in general, a slower, antiquated network.

The demand for wireless services grows every year as more and more families rely solely on wireless devices. From everything to basic phone calls to television streaming, music/movie uploads, video games, and apps that operate everything from your thermostat to your home security system; just to name a few functions of provided by wireless communications devices. It's paramount that wireless providers are able to provide the speed and capacity (bandwidth) necessary for today's mobile world.

To that end, Verizon Wireless is desirous to change the zoning of Bucher Park to allow for a 75' structure instead of the 60' structure that is currently allowed. I've enclosed a depiction from Verizon's RF Engineer showing the much larger area Verizon's able to cover with this 15' increase in structure height. This will allow for greater coverage/capacity to a much larger area of the city and will also decrease the need for as many tower/antenna sites in the future. Furthermore, we are proposing to construct a stealth pole with antennas internal to the pole that will allow for a future carrier's set of antennas in order for them to provide better coverage, too.

Criteria For Review:

d.(i): Per Verizon's Engineering and System Performance teams, this location of Shoreview has inferior wireless coverage that'll continue to get worse as more users/devices connect to the network and with the next generation of wireless (5G) which will be rolled out in the near future. Capacity (bandwidth) is critical to a 21st century network that's under constant pressure to provide a fast, reliable source for wireless connections from all types of devices. There are no other options within ½ mile for Verizon to build a 75' structure in order to achieve its objective.

d (ii): Verizon is proposing to replace an existing light pole with a more structurally sound light pole that can accommodate Verizon's antennas, a future carrier's antennas, and the city's lights to illuminate the hockey rink. The pole will be of stealth design (antennas internal to the pole) that

can be found at various other parks w/in the city. Currently, wireless structures up to 60' are allowed in the park; we are requesting a 75' structure in order to cover a larger area than a 60' pole would cover and will decrease the number of other tower/antenna locations in the future.

d (iii): We are proposing to replace a light pole that already exists. There are two light poles in the park that provide illumination to the hockey rink. The entire park is pretty well screened from view by large trees/vegetation that encompass the park and act as a buffer from the surrounding residential neighborhoods.

d (iv): Verizon has an existing installation at another park in the city: Sitzer Park. Other providers have towers/antennas w/in the city, too. Verizon abides by all local, state, and federal guidelines.

d (v): Section 207 will be met where applicable. Highlights:

-Color/Architecture: Verizon is proposing a light gray pole to replace the existing pole (other color options are available, too) with a stealth design to blend in with the natural surroundings of the park and also serve to illuminate the hockey rink.

-Verizon is proposing a small 6' x 6' building solution that will be encompassed by a wood cedar fence designed to screen the ground equipment from view (also, a good portion of the equipment will be screened from view by the hockey rink boards).

-There'll be no artificial lighting nor signage (other than what's required by the FCC) located at the site.

-Setbacks to all property lines will be met.

-The tall trees that encompass the park do make it more difficult to adequately propagate Verizon's signal; hence, a need to increase the height of the pole to 75' is necessary.

-Climbing pegs will not be added to the pole in order to help prevent unauthorized climbing

-A back-up generator will not be present at the site.

-RF Emissions will be well under what's allowed per the FCC guidelines

-Verizon will ensure that the site is properly maintained and in good appearance

-The pole will be constructed to allow for a future user below Verizon's antennas.

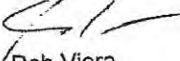
-There are no other viable alternatives with a ½ mile radius

d (vi): The pole will be constructed to accommodate a future wireless provider below Verizon's antennas and the city's lights.

d (vii): 60' structures are already allowed at this location. However, due to the existing terrain/vegetation, Verizon's coverage objectives can't be met with a 60' pole. A 75' pole will allow for greater coverage/capacity over a much larger area as well as decrease the number of other tower/antenna sites in the future.

Thank you very much, and please let me know of questions or if you'll require additional information.

Sincerely,



Rob Viera
Buell Consulting – Agent for Verizon Wireless
5096 Merrimac Lane N
Plymouth, MN 55446
612.801.2228
robertjviera@yahoo.com

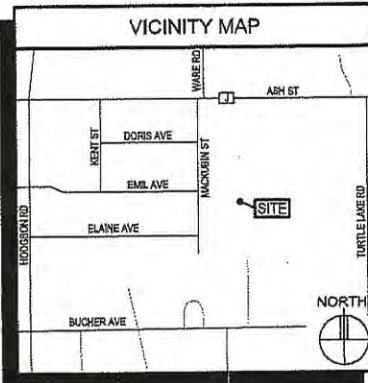


MIN TRAPPERS NEW BUILD

PROJECT INFORMATION

SITE NAME: MIN TRAPPERS
SITE ADDRESS: MACKUBIN STREET
 SHOREVIEW, MN 55126
COUNTY: RAMSEY
LATITUDE: N 45° 07' 19.62" (NAD83)
LONGITUDE: W 093° 07' 15.62" (NAD83)
**DRAWING BASED ON
 SITE DATA FORM DATED:** 01-17-18
BUILDING TYPE: VB OCCUPANCY: 5-2
SITE AREA: 544.3 SQFT

VICINITY MAP



SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION, & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	ENLARGED SITE PLAN
A-3	ANTENNA & EQUIPMENT KEY, CABLE BRIDGE PLAN, & NOTES
A-4	CABLE BRIDGE SECTION, PHOTO, GATE/FENCE ELEV. & DETAILS
A-5	OUTLINE SPECIFICATIONS
G-1	GROUNDING NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY

LOCATION SCAN



ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 03-07-18	ALL
B	ISSUED FOR OWNER SIGNOFF 03-08-18	ALL
C	ISSUED 03-22-18	ALL

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	JORDAN ALSTAD	03-02-18
OPERATIONS MANAGER	JONATHAN FOWLER	02-28-18
CONSTRUCTION ENGINEER	ALEX HOLZINGER	02-28-18

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW

NO CHANGES. CHANGES NEEDED. SEE COMMENTS.

CONTACTS

LESSOR / LICENSOR: CITY OF SHOREVIEW
 4650 VICTORIA ST N,
 ST PAUL, MN 55128
 KATHLEEN CASTLE (651) 460-4682

LESSEE: VERIZON WIRELESS
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55439
 RON REITER (612) 720-0092

**POWER UTILITY
 COMPANY CONTACT:** XCEL ENERGY
 1518 CHESTNUT AVE
 MINNEAPOLIS, MN 55403
 SCOTT TOMFORO (651) 779 3113

**TELCO UTILITY
 COMPANY CONTACT:** T.B.D.

ARCHITECT: DESIGN 1 ARCHITECTS LLC
 9973 VALLEY VIEW ROAD
 EDEN PRAIRIE, MN 55344
 (952) 903-8299

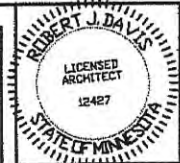
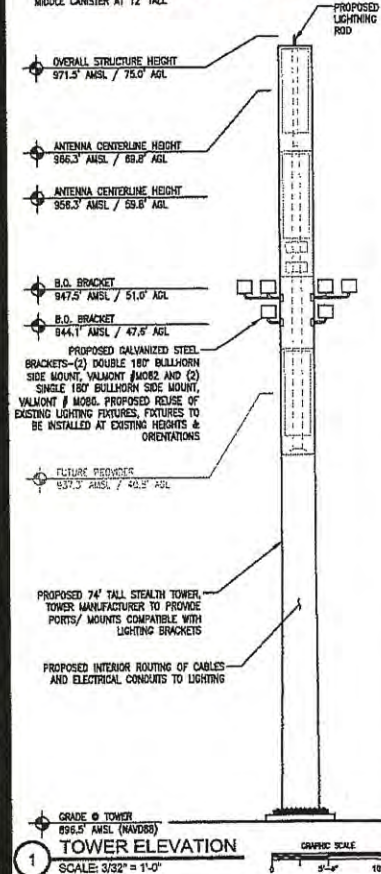
SURVEYOR: WIDSWETH SMITH NOLTING
 610 FILLMORE STREET - PO BOX 1028
 ALEXANDRIA, MN 55308-1028
 320-762-8149

**STRUCTURAL
 ENGINEER:** T.B.D.

**GEOTECHNICAL
 ENGINEER:** T.B.D.

TOWER ELEVATION

- NOTE:**
- TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND ARCHITECTURAL DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE ARCHITECT IMMEDIATELY.
 - TOWER FOUNDATION & SHELTER FOUNDATION TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE ARCHITECT.
 - TOWER TO BE GALVANIZED AND FINISHED BY TOWER MANUFACTURER TO MATCH SHERWIN WILLIAMS #SW 4030 NICKEL OR EQUIVALENT. TOWER MANUFACTURER TO PROVIDE THREE CANISTERS WITH MIN. DIAMETER OF 38" AND A FINISH TO MATCH TOWER. TOP & BOTTOM CANISTER AT 10' TALL AND MIDDLE CANISTER AT 12' TALL.



I hereby certify that the plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota.
 ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*
 Date: 03-22-18

DESIGN 1

9873 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-8299
 WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (612) 720-0092

PROJECT
 20171628904
LOC. CODE: 460134

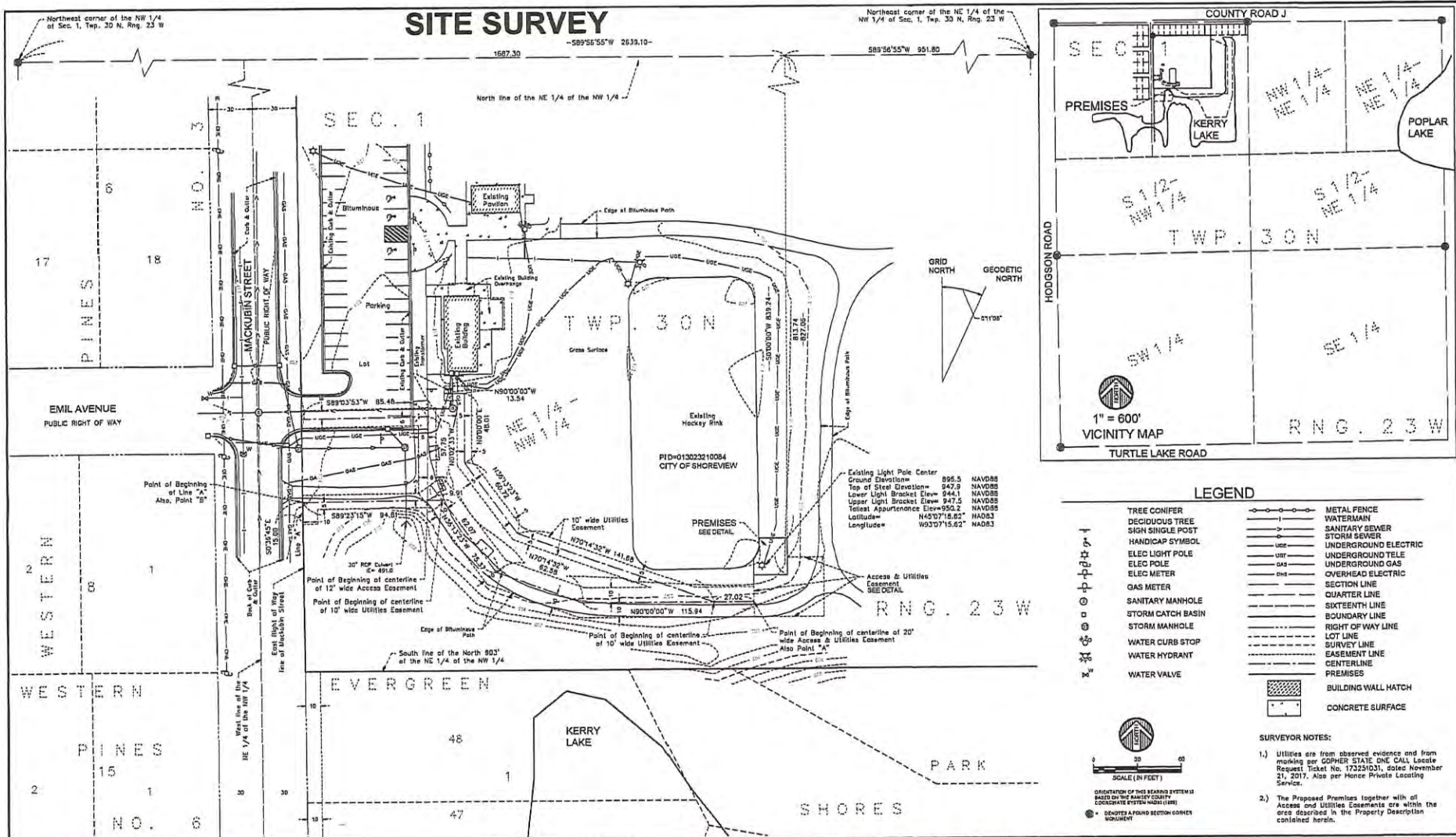
MIN TRAPPERS

MACKUBIN STREET
 SHOREVIEW, MN 55126

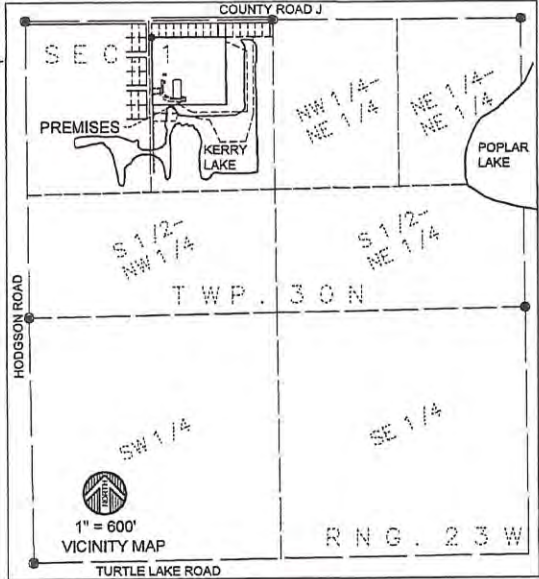
SHEET CONTENTS:
 CONTACTS
 ISSUE SUMMARY
 SHEET INDEX
 DEPARTMENTAL APPROVALS
 LESSOR APPROVAL
 PROJECT INFORMATION
 VICINITY MAP / LOCATION SCAN
 GENERAL NOTES

DRAWN BY:	R.E.P
DATE:	01-09-18
CHECKED BY:	R.M.K
REV. A	02-07-18
REV. B	03-08-18
REV. C	03-22-18

T-1



SITE SURVEY



LEGEND

—○—○—	METAL FENCE
— — —	WATERMAIN
—S—S—	SANITARY SEWER
—U—U—	STORM SEWER
—E—E—	UNDERGROUND ELECTRIC
—T—T—	UNDERGROUND TELE
—G—G—	UNDERGROUND GAS
—O—O—	OVERHEAD ELECTRIC
—S—S—	SECTION LINE
—Q—Q—	QUARTER LINE
—S—S—	SIXTEENTH LINE
—B—B—	BOUNDARY LINE
—R—R—	RIGHT OF WAY LINE
—L—L—	LOT LINE
—S—S—	SURVEY LINE
—E—E—	EASEMENT LINE
—C—C—	CENTERLINE
—P—P—	PREMISES
▨	BUILDING WALL HATCH
—	CONCRETE SURFACE

SURVEYOR NOTES:

- Utilities are from observed evidence and from marking per GOPHER STATE ONE CALL Locate Request Ticket No. 17329(DJ), dated November 21, 2017. Also per Horner Private Locating Service.
- The Proposed Premises together with all Access and Utilities Easements are within the area described in the Property Description contained herein.



SITE NAME:
MIN TRAPPERS

Ramsey County, MN

No.	Date	REVISIONS	By	CHK	APP'D

FIELD WORK: 11/30/17 CHECKED BY: SMK DRAWN BY: JPB/JMS

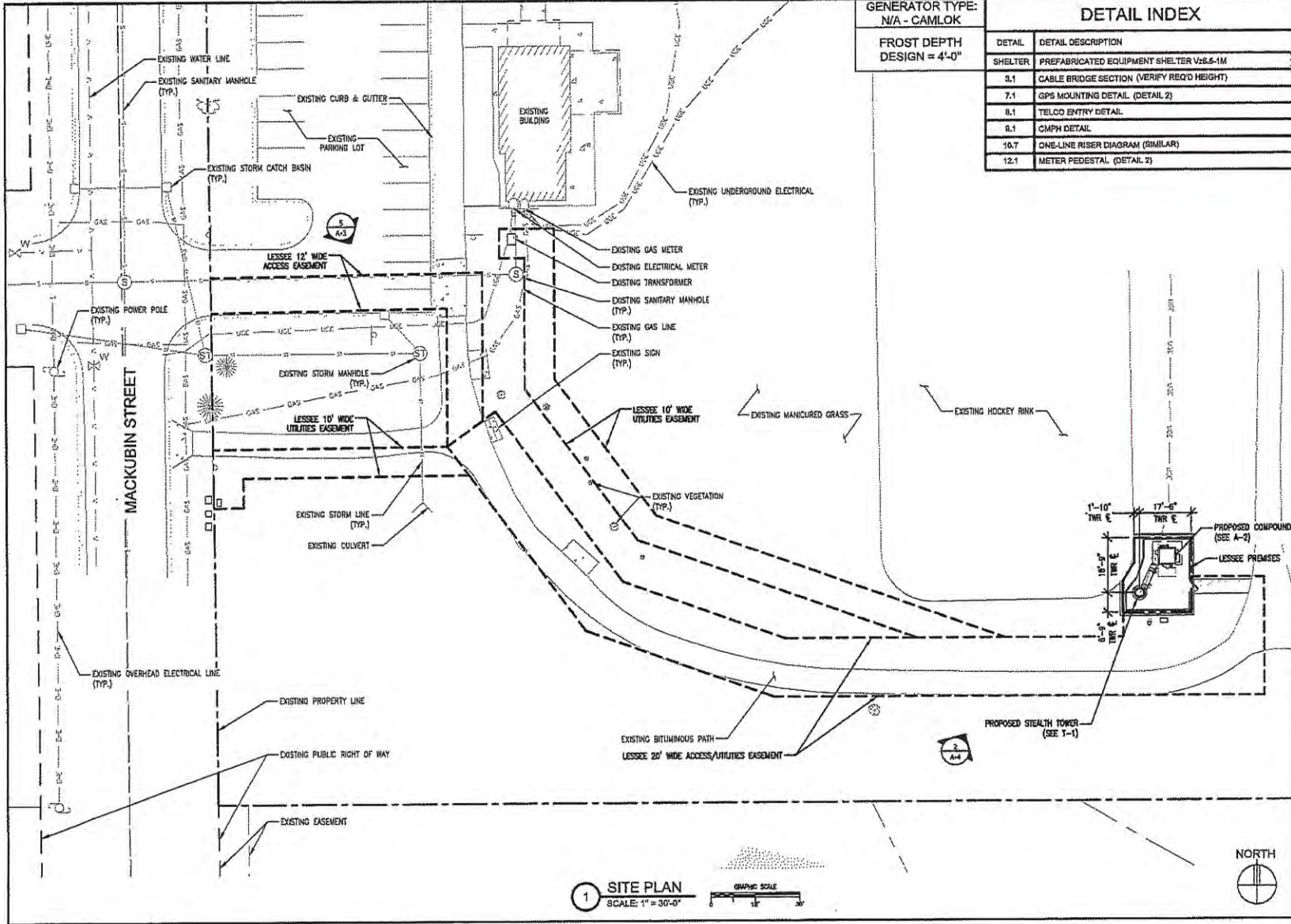
I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *[Signature]*
DATE: 3/15/18 SHAWN K. GOPHER, L.S. LICENSE # 43921

FULL SCALE ON 22x34" HALF SCALE ON 11x17" 049442468.000

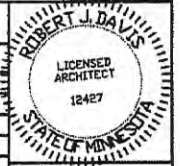
WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental

SHEET 2 OF 2 SHEETS



GENERATOR TYPE:
N/A - CAMLOK
FROST DEPTH
DESIGN = 4'-0"

DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SHELTER	PREFABRICATED EQUIPMENT SHELTER V2&S-1M
3.1	CABLE BRIDGE SECTION (VERIFY REQ'D HEIGHT)
7.1	GPS MOUNTING DETAIL (DETAIL 2)
8.1	TELCO ENTRY DETAIL
8.1	CMPH DETAIL
10.7	ONE-LINE RISER DIAGRAM (SIMILAR)
12.1	METER PEDESTAL (DETAIL 2)



I hereby certify that the plan, specification or report here prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota, ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*
Date: 03-22-18

DESIGN

8073 VALLEY VIEW RD,
EDEN PRAIRIE, MN 55344
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WWW.DESIGN16P.COM

verizon

1001 BURN LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
2017162904
LOC. CODE: 480134

MIN TRAPPERS

MACKUBIN STREET
SHOREVIEW, MN 55128

SHEET CONTENTS:
SITE PLAN
DETAIL INDEX

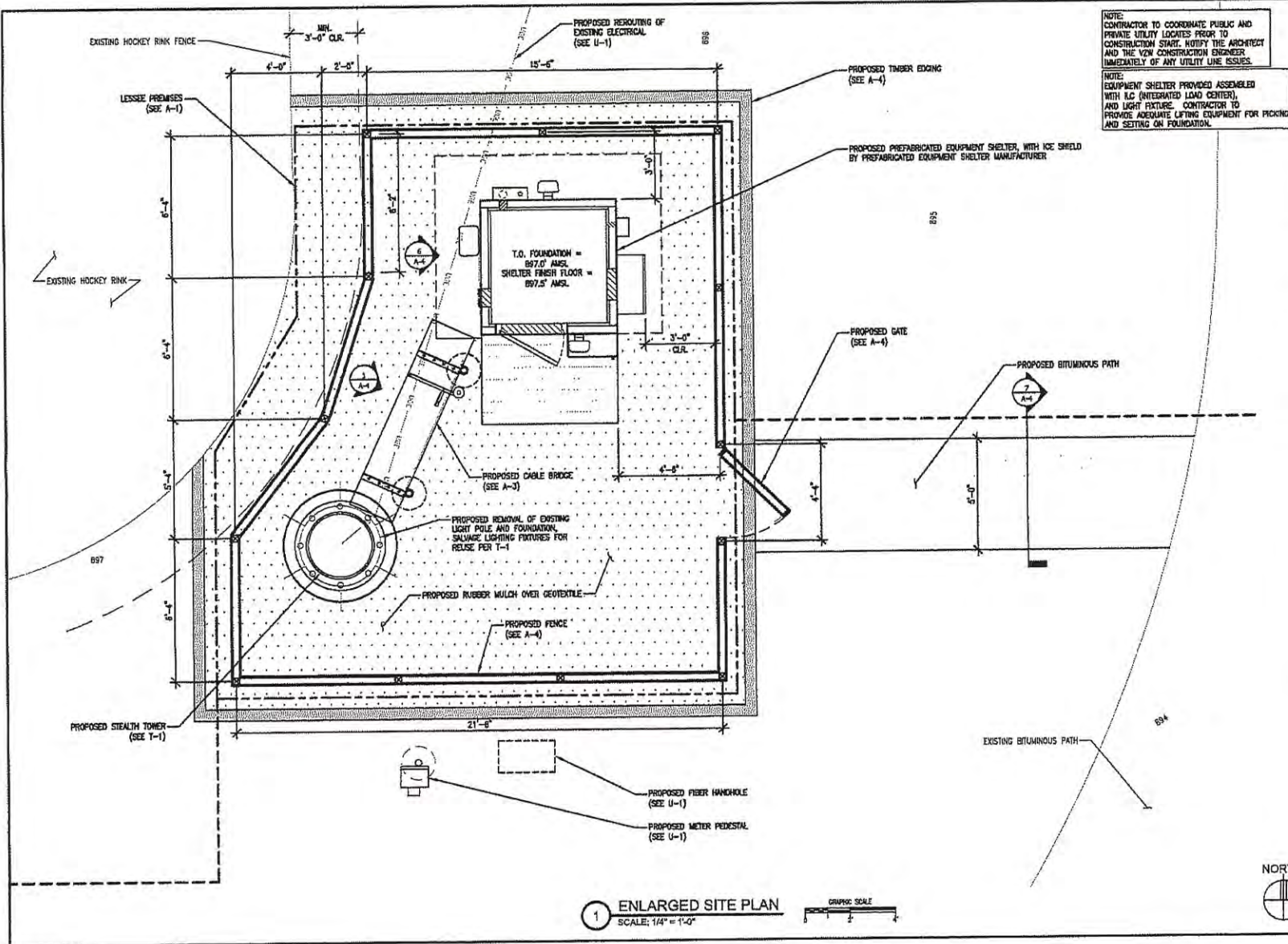
DRAWN BY:	R.E.P.
DATE:	01-09-18
CHECKED BY:	R.M.K.
REV. A	02-07-18
REV. B	03-08-18
REV. C	03-22-18

A-1

1 SITE PLAN
SCALE: 1" = 30'-0"

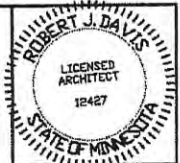
GRAPHIC SCALE
0 15 30





NOTE:
CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START. NOTIFY THE ARCHITECT AND THE VCM CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.

NOTE:
EQUIPMENT SHELTER PROVIDED ASSEMBLED WITH I.C. (INTEGRATED LOAD CENTER), AND LIGHT FIXTURE. CONTRACTOR TO PROVIDE ADEQUATE LIFTING EQUIPMENT FOR PICKING AND SETTING ON FOUNDATION.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
Signed:
01-23-18
Date:

DESIGN

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10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
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PROJECT
20171626904
LOC. CODE: 460134

MIN
TRAPPERS

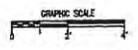
MACKUBIN STREET
SHOREVIEW, MN 55126

SHEET CONTENTS:
ENLARGED SITE PLAN

DRAWN BY:	R.E.P.
DATE:	01-09-18
CHECKED BY:	R.M.K.
REV. A	02-07-18
REV. B	03-08-18
REV. C	03-22-18

A-2

1 ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"



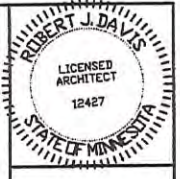
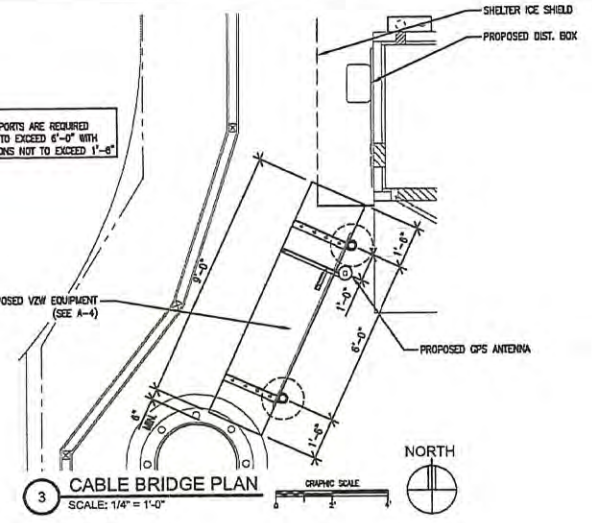
ANTENNA KEY											EQUIPMENT KEY					
SECTOR	AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWN/FTL	MECH DOWN/FTL	QTY	MANUFACTURER	MODEL	RRU PORT
Y	10'	1.1	TX/RX0	1	JMA WIRELESS	MX06FTB65-02	700/850 +45	95.9'	73.8'	89.8'	3'	0'	1	ERICSSON	4449	1
		1.2	TX/RX1	1			700/850 -45						1	ERICSSON	8843	3
		1.3	TX/RX0	1			AWS +45						1	ERICSSON	8843	1
		1.4	TX/RX1	1			AWS -45						1	ERICSSON	8843	2
		1.5	TX/RX0	1			PCS +45						1	ERICSSON	8843	4
		1.6	TX/RX1	1			PCS -45						1	ERICSSON	8843	6
Y	10'	2.1	TX/RX2	1	JMA WIRELESS	MX06FTB65-02	700/850 +45	95.9'	63.8'	59.8'	2'	0'	1	ERICSSON	4449	2
		2.2	TX/RX3	1			700/850 -45						1	ERICSSON	8843	4
		2.3	TX/RX2	1			AWS +45						1	ERICSSON	8843	3
		2.4	TX/RX3	1			AWS -45						1	ERICSSON	8843	4
		2.5	TX/RX2	1			PCS +45						1	ERICSSON	8843	7
		2.6	TX/RX3	1			PCS -45						1	ERICSSON	8843	8
Y	130'	1.1	TX/RX0	1	JMA WIRELESS	MX06FTB65-02	700/850 +45	95.9'	73.8'	89.8'	3'	0'	1	ERICSSON	4449	1
		1.2	TX/RX1	1			700/850 -45						1	ERICSSON	8843	3
		1.3	TX/RX0	1			AWS +45						1	ERICSSON	8843	1
		1.4	TX/RX1	1			AWS -45						1	ERICSSON	8843	2
		1.5	TX/RX0	1			PCS +45						1	ERICSSON	8843	5
		1.6	TX/RX1	1			PCS -45						1	ERICSSON	8843	6
Y	130'	2.1	TX/RX2	1	JMA WIRELESS	MX06FTB65-02	700/850 +45	95.9'	63.8'	59.8'	2'	0'	1	ERICSSON	4449	2
		2.2	TX/RX3	1			700/850 -45						1	ERICSSON	8843	4
		2.3	TX/RX2	1			AWS +45						1	ERICSSON	8843	3
		2.4	TX/RX3	1			AWS -45						1	ERICSSON	8843	4
		2.5	TX/RX2	1			PCS +45						1	ERICSSON	8843	7
		2.6	TX/RX3	1			PCS -45						1	ERICSSON	8843	8
Z	250'	1.1	TX/RX0	1	JMA WIRELESS	MX06FTB65-02	700/850 +45	95.9'	73.8'	89.8'	3'	0'	1	ERICSSON	4449	1
		1.2	TX/RX1	1			700/850 -45						1	ERICSSON	8843	3
		1.3	TX/RX0	1			AWS +45						1	ERICSSON	8843	1
		1.4	TX/RX1	1			AWS -45						1	ERICSSON	8843	2
		1.5	TX/RX0	1			PCS +45						1	ERICSSON	8843	5
		1.6	TX/RX1	1			PCS -45						1	ERICSSON	8843	6
Z	250'	2.1	TX/RX2	1	JMA WIRELESS	MX06FTB65-02	700/850 +45	95.9'	63.8'	59.8'	2'	0'	1	ERICSSON	4449	2
		2.2	TX/RX3	1			700/850 -45						1	ERICSSON	8843	4
		2.3	TX/RX2	1			AWS +45						1	ERICSSON	8843	3
		2.4	TX/RX3	1			AWS -45						1	ERICSSON	8843	4
		2.5	TX/RX2	1			PCS +45						1	ERICSSON	8843	7
		2.6	TX/RX3	1			PCS -45						1	ERICSSON	8843	8

- ADDITIONAL:
- (1) DISTRIBUTION BOX, MODEL RVZDC-8627-PF-48; (AT GRADE)
 - (12) ROSENBERGER HYBRID JUMPERS, MODEL HJ-C88912 (DIST. BOX TO RRU)
 - (24) COMSCOPE 1/2" COAX JUMPER, MODEL LDF4-50 10' (RRU TO DIPLEXER)
 - (12) COMSCOPE CBG12114-45-2X DIPLEXER (EQUAL QUANTITIES AT GRADE & ON TOWER)
 - (12) COMSCOPE 1 5/8" COAX CABLES, MODEL AW4-50 76' (DIPLEXER TO TOWER)
 - (12) COMSCOPE 1/2" COAX JUMPERS, MODEL LDF4-50 13' (DIPLEXER TO UPPER CENTERLINE)
 - (12) COMSCOPE 1/2" COAX JUMPERS, MODEL LDF4-50 3' (DIPLEXER TO LOWER CENTERLINE)
 - (6) COMSCOPE 7/8" COAX CABLES, MODEL AW4-50 86' (RRU TO UPPER CENTERLINE)
 - (6) COMSCOPE 7/8" COAX CABLES, MODEL AW4-50 76' (RRU TO LOWER CENTERLINE)
 - (6) RET JUMPERS (RRU TO ANTENNA & ANTENNA TO ANTENNA PER SECTOR)

TOWER RUN COAX CABLES LENGTHS AT:

UPPER CENTERLINE:	LOWER CENTERLINE:
CABLE BRIDGE = 14'	CABLE BRIDGE = 14'
RD CENTER = 70'	RD CENTER = 60'
EXTRA = 2'	EXTRA = 2'
TOTAL = 86'	TOTAL = 76'

NOTE: DISTRIBUTION BOXES, RRUS, AND DIPLEXERS TO BE INSTALLED ON CABLE BRIDGE, SEE 1/A-4



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota.
 ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
 Date: 02-22-18

DESIGN
 9972 VALLEY VIEW RD.
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 18021 DUSH LAKE ROAD
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 (612) 720-0022

PROJECT
 20171626904
 LOC. CODE: 460134

MIN
 TRAPPERS

MACKUBIN STREET
 SHOREVIEW, MN 55126

SHEET CONTENTS:
 ANTENNA & EQUIPMENT KEY
 CABLE BRIDGE PLAN
 ANTENNA MOUNTING DETAIL
 DIPLEXERS MOUNTING DETAIL

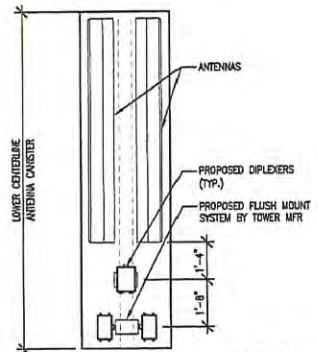
DRAWN BY:	R.E.P
DATE:	01-09-18
CHECKED BY:	R.M.K
REV. A	02-07-18
REV. B	03-08-18
REV. C	03-22-18

A-3

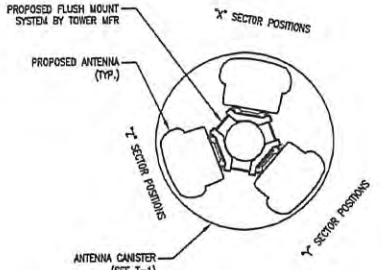
4 ANTENNA & EQUIPMENT KEY



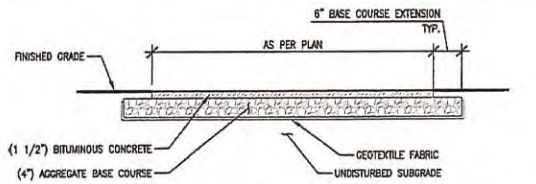
5 PHOTO: EXISTING ACCESS CONDITIONS
 VIEW: LOOKING SOUTHEAST



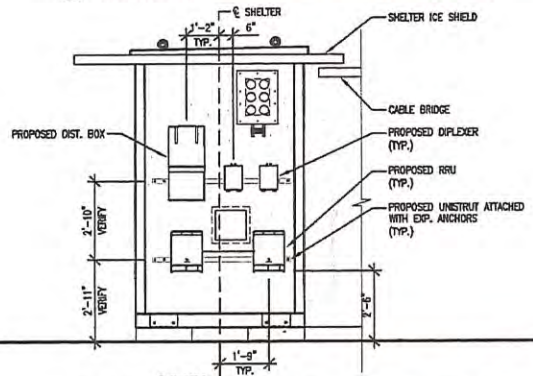
2 DIPLEXERS MOUNTING DETAIL
 SCALE: 1/4" = 1'-0"



1 ANTENNA MOUNTING DETAIL
 SCALE: 1/2" = 1'-0"



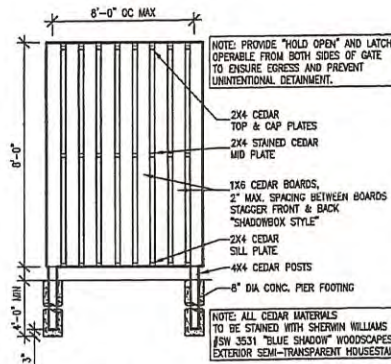
7 BITUMINOUS PAVING SECTION
SCALE: 1/2" = 1'-0"



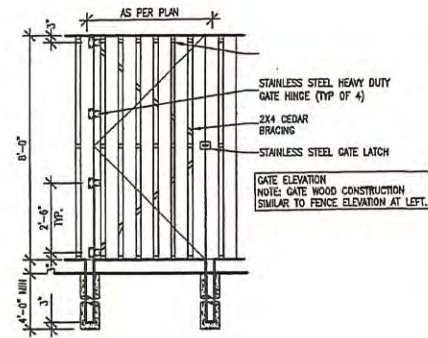
6 SHELTER ELEVATION
SCALE: 1/4" = 1'-0"



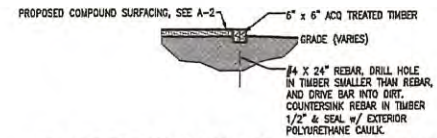
2 PHOTO
VIEW: LOOKING NORTHEAST



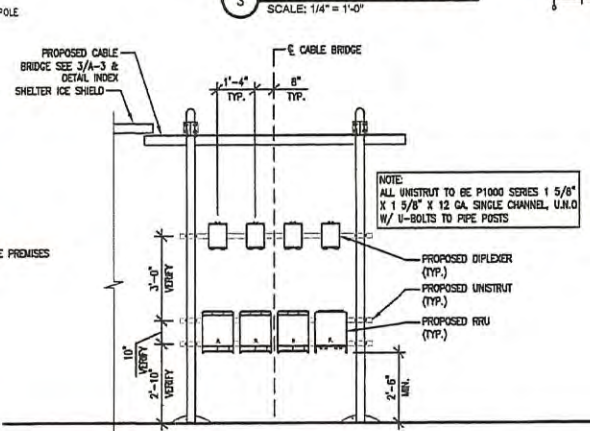
5 FENCE ELEVATION
SCALE: 1/4" = 1'-0"



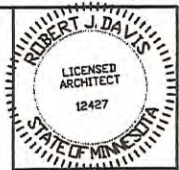
4 GATE ELEVATION
SCALE: 1/4" = 1'-0"



3 TIMBER EDGE DETAIL
SCALE: 1/4" = 1'-0"



1 CABLE BRIDGE SECTION
SCALE: 1/4" = 1'-0"



I hereby certify that this plan, specification or report, was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*
Date: 03-22-18



9773 VALLEY VIEW RD.
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(612) 735-0252

PROJECT
20171626504
LOC. CODE: 460134

MIN
TRAPPERS

MACKUBIN STREET
SHOREVIEW, MN 55126

SHEET CONTENTS:
CABLE BRIDGE SECTION
PHOTO
TIMBER EDGE DETAIL
GATE ELEVATION
FENCE ELEVATION
SHELTER ELEVATION
BITUMINOUS PAVING SECTION

DRAWN BY:	R.E.P
DATE:	01-09-18
CHECKED BY:	R.M.K
REV. A	02-07-18
REV. B	03-08-18
REV. C	03-22-18

A-4

GENERAL CONDITIONS

00 0001 PERMITS

Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor.

00 0002 SURVEY FEES

Survey shall be furnished by the Architect. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ).

01 0010 INSURANCE & BONDS

Contractor is to furnish insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warranty the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION

Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner-furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

01 0500 TESTING

Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS

Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Architect. Contractor is to attend a Pre-Construction Meeting of all parties involved, prior to the start of construction.

01 5100 TEMPORARY UTILITIES

Contractor shall maintain the job site in a clean and orderly fashion, providing temporary auxiliary facilities, waste disposal, and security (fence area or trailer module).

01 5300 EQUIPMENT RENTAL

Contractor shall furnish equipment necessary to expedite work.

01 5900 FIELD OFFICES & SHEDS

Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT

Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redlined drawings (As-Built) are to be given to the Architect at Job completion and submit "construction work complete memo" to Construction Engineer.

01 8000 TRUCKS & MILEAGE

Contractor shall provide transportation for their own personnel.

01 8300 TRAVEL TIME & PER DIEM

Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

01 9200 TAXES

Contractor shall pay sales and/or use tax on materials and taxable services.

SITEWORK

02 1000 SITE PREPARATION & DEMOLITION

Contractor is to mobilize within 7 calendar days of the Owner issuing a "START" document. Contractor will immediately report to Architect if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ. A Perimeter Silt Fence is to be maintained for the duration of the work. Existing light poles to be removed, backfilled & compacted with adequate soils.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION

N/A

02 2000 EARTHWORK & EXCAVATION

Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge.

02 5000 PAVING & SURFACING

New surfacing shall be according to plans. Contractor shall protect existing paving elements (parking lots, sidewalks, etc.) that are not in the scope of work. Damage resulting from divergent of this Article shall be compensated by Responsible Party and at a cost to be determined by the Property Owner, Architect & Owner.

02 7800 POWER TO SITE

Contractor shall coordinate the electrical service to the building with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 2-1/2" Schedule 40 PVC, (schedule 80 PVC under roads and drives) Cable to be 3/0 THHN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including two (2) delectable ribbars; one each at 3" and 15" above conduit. Service shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time-On-Day" if available, and meter base shall be approved by utility provider.

02 7900 TELCO TO SITE

Contractor shall provide 2" SDR-11 HDPE conduit for fiber conduit as noted on Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large-sweep elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

Contractor to provide and install handholes as noted in the Drawings. Additional handholes shall be provided and installed a minimum of 500 feet on center at 90' bends if directional boring and every third bend if hand trenched. Handholes per Drawings and traffic-rated in roadways.

Contractor to provide and install Carbon expansion joint connections at shelter/platform location per manufacturer's specifications and recommendations.

02 8000 SITE IMPROVEMENTS

Areas bounded by fence and adjacent to Equipment Shelter shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep rubber mulch by J+W Rubber Mulch & Safety Surfacing Inc. (www.jrwrubbermulch.com) Phone: 651-222-9321. Product name: Safe Rock. Product color: GRAY. Rock rubber mulch smooth upon installation and edged by well-anchored ACO treated landscape timbers. Tops of timbers shall be flush with compound surfacing.

02 8201 FENCING

All wood fence materials shall be cedar and all Ritztag/fasteners shall be stainless steel. Stain of wood fence materials as noted in drawings. Fence accessories shall be completed within 7 days of tower erecting and Contractor shall provide for temporary security fence at base of Tower.

02 8500 IRRIGATION SYSTEMS

N/A

02 9000 LANDSCAPING

Contractor to restore turf areas damaged by construction by preparing soil, seeding & watering to maintain grass growth for 1 year. Contractor shall protect existing landscape elements that are not in the Scope of Work. Reasonable precautions shall be taken to ensure the health of existing trees and shrubbery. If conflicts arise regarding the location of root systems, branch lines, etc., the Architect must be contacted prior to performing Work that may cause damage. Damage resulting from divergent of this Article shall be compensated by the Responsible Party and at a cost to be determined by the Property Owner, Architect, and Owner.

CONCRETE

03 1000 CONCRETE FORMWORK

Concrete forms shall be dimension lumber, modular, or steel.

03 8000 TOWER FOUNDATION

Contractor shall arrange for delivery of anchors, and shall furnish and install materials per Tower Manufacturer Plans. Tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

03 8001 CATHODIC PROTECTION

N/A

03 9000 SHELTER FOUNDATION

Contractor shall furnish & install materials for shelter foundation. Concrete shall be 65 ±15' or equivalent, and 4,000 psi at 28 days. All reinforcing steel to be grade 60 (ASTM 615), anchor bolts are furnished by contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

MASONRY

N/A

METALS

05 0000 METALS

Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner-furnished materials. Fabrication and erection of steel items per AISC standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise. Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot-dip galvanized per ASTM A153 with minimum coating thickness Grade 55 (2.2 mil). Bolts shall meet ASTM F3125 and U-bolts SAE J429 Grade 5 minimum. Bolts and hardware to be hot-dip galvanized per ASTM A153. Field repair of galvanized coatings shall be per ASTM A780.

WOOD & PLASTICS

N/A

THERMAL & MOISTURE

N/A

DOORS AND HARDWARE

06 0000 DOORS AND HARDWARE

Door and Hardware by Prefab Manufacturer

FINISHES

09 5000 PAINTING

Contractor shall ensure that tower is marked if so described in the RFQ. Contractor shall provide materials and labor for all painting indicated in the architectural documents and shall touch-up construction related scrapes & scratches with appropriate paint. All painting shall exclude identification tags, labels, bar grating and mounting hardware.

SECTION CONSTRUCTION

13 1200 CABLE BRIDGE

Cable bridge to be 24 inch wide, 12 gauge, 'grip strut' supported no more than 8'-0" on center by 3 1/2" steel pipe and 3" x 5" x 1/4" x 30" long angle. Cable bridge overhang extensions not to exceed 1'-6". Steel to be hot dipped galvanized.

13 1400 ANTENNA INSTALL

Contractor shall install Owner's equipment and feed lines during erecting. Contractor shall sweep coax lines for continuity and copies of results to be left in equipment room before leaving site.

13 3513 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS

Contractor shall schedule delivery of Owner-furnished Tower, and provide cranes for unloading and erecting. Contractor to install antenna mounts. Contractor shall ensure the resistance of a 3/8" cable safety climb (DBI/Sola or equal) on the Tower.

MECHANICAL

15 4000 PLUMBING

N/A

15 5000 HVAC

HVAC by Prefab Manufacturer.

ELECTRIC

16 5000 LIGHTING AND ELECTRICAL

Contractor shall perform work as described on the UGITY plans.

16 6000 GROUNDING

Contractor shall make themselves familiar with and follow the current grounding standards of Verizon Wireless. Contractor shall perform work as shown on grounding plans. Any site-specific grounding issues not covered by the grounding standard are to be addressed by the Contractor to the Owner.

OWNER-FURNISHED EQUIPMENT & FEES

PREFABRICATED EQUIPMENT SHELTER WITH ICE SHIELD
STEEL-TITN TOWER
CABLE BRIDGE GRIP-STRUT, 10'-0" LENGTH
CAM-LOCK
COAX AND/OR CABLES
ANTENNAS & DOWNTILT BRACKETS
GPS & GPS MOUNTING
BUILDING PERMIT FEES
MATERIALS TESTING FEES
SPECIAL INSPECTIONS FEES

CONTRACTOR-FURNISHED EQUIPMENT

POWER TO SITE
TELCO TO SITE
CABLE BRIDGE, UNLO
CEDAR FENCING
LIGHTING FIXTURE MOUNTS & WIRING
CONNECTORS, BOOTS, & RELATED HARDWARE
RUBBER MULCH
TIMBER EDGING

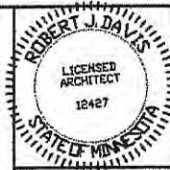
SCOPE OF WORK

CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

DEMOLITION OF LIGHT POLE & SITE PREPARATION

SITE WORK & SURFACING
SHELTER, & TOWER FOUNDATIONS
SET SHELTER, & ERECT TOWER
ROUTING OF GROUND, POWER, & FIBER
SITE GROUNDING
ELECTRICAL & TELEPHONE SERVICES
INSTALL ANTENNAS & CABLES
LIGHTING ON TOWER
CABLE BRIDGE
RUBBER MULCH & CEDAR FENCING
INSTALL TIMBER EDGING

Contractor to compare drawings against Owner's "Request for Quote", (RFQ), if discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
Signature

03-22-19

Date:



6873 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55424
(952) 938-4209
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10881 BUSH LAKE ROAD
BLOOMINGTON, MN 55425
(612) 720-0662

PROJECT
20171625904
LOC. CODE: 460134

MIN
TRAPPERS

MACKUBIN STREET
SHOREVIEW, MN 55126

SHEET CONTENTS:
OUTLINE SPECIFICATIONS

DRAWN BY:	R.E.P.
DATE:	01-08-19
CHECKED BY:	R.M.K.
REV. A	02-07-19
REV. B	03-08-19
REV. C	03-22-19

A-5

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment shelter and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment shelter, a separate Lead 1 shall be established around each foundation, and the two Lead 1 shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1 shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-rated compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8", spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not galvanized w/ Bentonite Slurry; if boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurred Bentonite encasement, drilling equipment will be used to be used to bore a hole for ground rod placement. Slurry shall be made from pelleted material ('Grounding Gravel'); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasement.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (7&8 5485B8E 'BROWN'), anti-oxidizing (R202242ZS EM 2522DH.75.312), or 10,000psi crimping (BURNDY VASC ZTC 14E2). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-lock washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized flange shall have zinc removed within 1" of weld area, and below surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment shelters by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted inside on the equipment shelter 'back' wall, or mounted to the equipment platform steel beam (location varies).
- * The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line ports. Note: Transmission line grounds also attach to the PGBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

'Whip' leads shall connect the buried external ground ring to the following items:

- * Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

* Two whips to flange(s) on each tower leg base, if none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

- * Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- * Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 feet perimeter and having 4 ground rods.
- * #2 SBTC leads shall extend up, and be clamped (brize clampshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:

- * Each corner post.
- * Each pair of gate posts.
- * Any line post over 20'-0" from a grounded post.
- * Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
- * Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Shelter/Platform and Other General Requirements (Including but not limited to):

- * Extend new Lead 216 up to shelter halo, remaining two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- * Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- * Opposite corners of the steel equipment platform.
- * Opposite corners of the roof shield over this equipment shelter.
- * Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- * Each HVAC package unit.
- * Commercial electric meter box.
- * Generator receptacle, if present.
- * Steel building skid, if shelter is metal frame.
- * Each air intake or exhaust fan vent louver.
- * Each generator vent hood or louver.
- * Generator exhaust stack, external.
- * Opposite corners of generator support frame, if separate from shelter.
- * Generator fuel tank, if separate from generator unit.
- * Mast building rain gutter, downspouts, and roof flashings within 25 feet.
- * Telco MPOF (Main Point of Presence), if external to equipment shelter.
- * Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

SYMBOL AND NOTE LEGEND

- ① #2 SBTC AROUND SHELTER/PLATFORM, TOWER, OR GUY ANCHOR
- 5/8" x 1/8" GALVANIZED STEEL GROUND ROD
- ⊙ TEST WELL PREFERRED LOCATION

--- #2 SBTC 'WHIP' LEAD

② (2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1

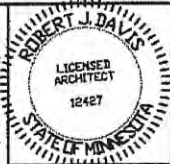
- Ⓐ AC HVAC UNIT
- Ⓑ BC BUILDING CORNER
- Ⓒ BO BOLLARD
- Ⓓ CBS CABLE BRIDGE SUPPORT POST
- Ⓔ CL CAN-LOCK
- Ⓕ EL ELECTRICAL SERVICE GROUND
- Ⓖ EM COMMERCIAL ELECTRICAL METER
- Ⓗ FH GUY ANCHOR PLATE
- Ⓘ FP FENCE POST
- Ⓚ GEN GENERATOR
- Ⓛ GATE POST, 3/4" BRAID STRAP TO LEAF
- Ⓞ GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
- Ⓜ HL HOOD OR LOUVER
- Ⓝ HB OUTSIDE OF HOFFMAN BOX
- Ⓦ ILC INTEGRATED LOAD CENTER
- Ⓜ MGB MAIN GROUND BAR
- Ⓜ MU GENERATOR MUFFLER
- Ⓜ PGB PORT GROUND BAR
- Ⓜ RFR FOUNDATION REINFORCING
- Ⓜ RS ROOF SHIELD
- Ⓜ SP STEEL BEAM
- Ⓜ SS STEEL POST
- Ⓜ STP STEEL PLATFORM
- Ⓜ TEL HOFFMAN BOX
- Ⓜ TGB TOWER GROUND BAR
- Ⓜ TBR TOWER BASE
- Ⓜ VP DIESEL FUEL VENT PIPE

Notes:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.

LEAD IDENTIFICATION & DESCRIPTION:

1 RING, EXTERNAL BURIED w/ ROOS	#2 SBTC
1A RING, CONCRETE ENCASED	#2 SBTC
2 DEEP ANODE (NO HYPOXAE CHUS)	ROD OR PIPE
3 RING TO BLDG STL FRAME	#2 SBTC
4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND	NEC 250.66
ROOS, ISOLATED FROM LEAD #1	NEC 250.66
5 RING TO GROUND BAR	(2) #2 SBTC
6 RING TO EXT MET OBJECT	#2 SBTC
7 DEEP ANODE TO LGB	NEC 250.66
8 AC PANEL TO WATER METER	NEC 250.66
9 EXT WATER TO INT WATER PIPES	NEC 250.66
10 INT WATER PIPE TO MGB	NEC 250.66
11-12 NOT USED	
13 AC PANEL TO MGB	NEC 250.66
14 MGB/FGS TO ROOF/HALL MET PNL	#2/0 1-STR
15 MGB/FGS TO FSB-NE SAME FLOOR	#2/0 1-STR
16 NOT USED	
16A EPOX TO CABLE ENTRY RACK	#1/0 1-STR
17 MGB TO CABLE SHIELDING	#6 1-STR
17A EPOX TO CABLE SHIELDING	#6 1-STR
17B MGB/FGS TO F-0 SPLICE SHELF	#1 1-STR
18 LOWEST MGB/FGS TO HIGHEST FGB	#2/0 1-STR
19 LEAD 18 TO OTHER FGBs, <6"	#2/0 1-STR
20 MGB/FGS TO BRANCH AC PNL	#6 1-STR
20A HARDEST GRID TO DISCONNECT PNL	NEC 250.66
20B GRID TO AC DISTR PNL	#6 1-STR
21 MGB/FGS TO INT HALD	#2 1-STR
21A INTERIOR 'GREEN' HALD	#8 1-STR
21B INT HALD TO EXT RING	#2 SBTC
21C INT HALD TO EQUIPMENT MTL	#6 1-STR
22 ROOF TOWER RING TO ROOF GRID	NFPA 780
23 MGB/FGS TO EPOX, SAME FLOOR	#1 1-STR
24 MGB/FGS TO CXR-HF LNR PROT	#6 1-STR
24 EPOX TO EACH PROTECTOR ASSEMBLY	#6 1-STR
24A LOWER PROT ASSY TO UPPER	#6 1-STR
25 RING TO NEAREST LIGHTNING ROD	#2 SBTC
26 LIGHTNING ROD SYS TO NEARBY MTL	NFPA 780
27 RING TO TOWER RING	(2) #2 SBTC
28 RING TO SHELTER RING	(2) #2 SBTC
29 BRANCH AC PNL TO BTTY CHG FRM	NEC 250.11
30 BRANCH AC PNL TO OUTLETS	NEC 250.11
31 MGB/FGS TO PNL, BTTY FRAMES	#2/0 1-STR
32 #31 TO BATTERY CHARGER FRAME	#6 1-STR
33 #31 TO BATTERY RACK FRAME	#6 1-STR
34 #31 TO PCU FRAME	#6 1-STR
35 #31 TO DSU FRAME	#6 1-STR
36 #31 TO PDU FRAME	#6 1-STR
37 MGB/FGS TO BTTY RETURN	NEC 250.11
37A MGB/FGS TO TEN TERM CURR SUPP	#6 1-STR
38 FGS TO PDU GB	#250MCM 1-STR
38A FGS TO PDU GB CARRIER SUPPLY	#2/0 1-STR
39 DC BUS DUCT TO NEXT SECTION	#6 1-STR
40 DC BUS DUCT TO MGB/FGS	#6 1-STR
41A MGB/FGS TO FSS	#2/0 1-STR
42-44 NOT USED	
45 MAIN AC PNL TO BRANCH AC PNL	NEC 250.11
46 BRANCH AC PNL TO OGD OUTLET	NEC 250.11
47 FGS TO INTD FRM	#6 1-STR
48 LEAD #31 TO INTD FRM	#6 1-STR
49 INTD FRM TO EQUIP SHELF	BY ESTABLISHERS
50 PDU BTTY RET TO #31	#2/0 1-STR
51 #50 TO TRANS FRM ESD CB PNR	#6 1-STR
52 TRANS FRM FUSE TO FRM OR BMR	#6 1-STR
53A MGB/FGS TO PDU/DBFS	NEC 250.11
54 MGB/FGS TO STATIC DEVICES	#6 1-STR
55 MGB/FGS TO CABLE AT ENTRY	#6 1-STR
56 MGB/FGS TO AC FRM RADIO XMTFR	#6 1-STR
57A MGB/FGS TO CSL GRD/RUNWAY	#2/0 1-STR
58A #41A TO ASLE FRAME	#6 1-STR
58B #58A TO EACH SCL FRAME GRND	#6 1-STR
60-69 NOT USED	
90 GENERATOR FRAME TO EXT RING	#2 SBTC



I hereby certify that this plan, specification or report, was prepared by me or under my direct supervision and that I am a duly registered Engineer under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

02-22-18 Date: _____



8074 VALLEY VIEW RD.
EDEN PRAIRIE, MN 56424
(952) 953-9299
WWW.DESIGNEP.COM



PROJECT
20171626904
LOC. CODE: 460134

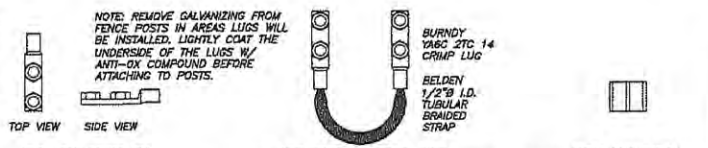
MIN
TRAPPERS

MACKUBIN STREET
SHOREVIEW, MN 55126

SHEET CONTENTS:
GROUNDING NOTES

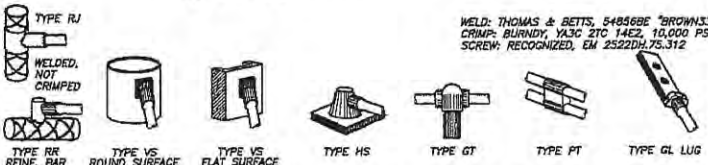
DRAWN BY:	R.E.P
DATE:	01-09-18
CHECKED BY:	R.M.K
REV. A:	02-07-18
REV. B:	03-08-18
REV. C:	09-22-18

G-1



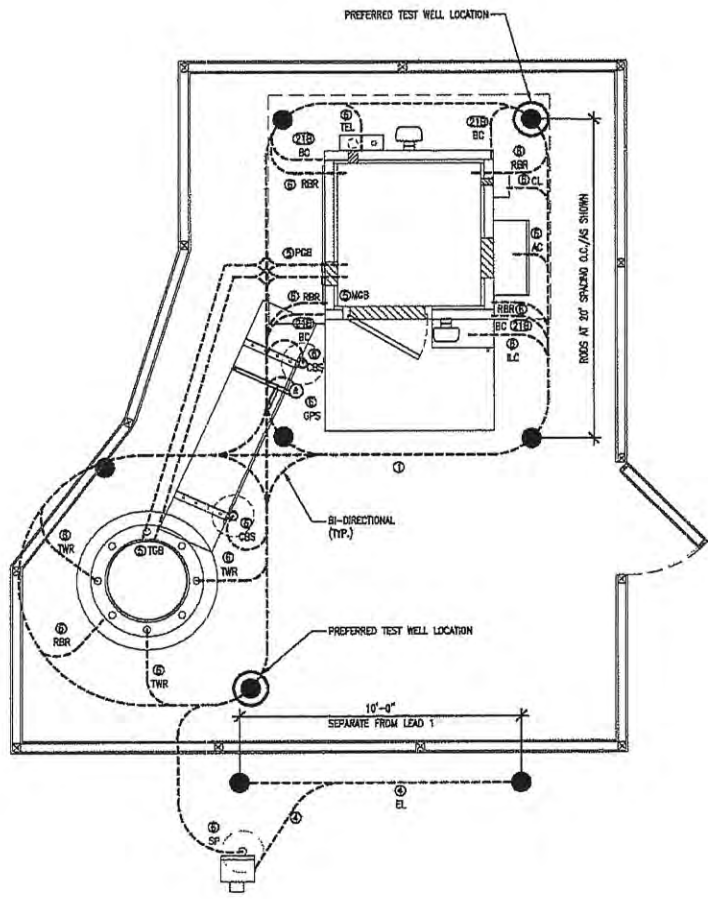
COMPRESSION CONNECTOR DETAILS

SCALE: NTS



EXOTHERMIC WELD DETAILS

SCALE: NTS



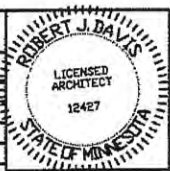
NOTE:
CONTRACTOR SHALL ENSURE THAT EACH WHIP IS
ROUTED TO LEAD 1 BY THE SHORTEST PATH, AND
BENDS SHALL NOT BE LESS THAN 12" RADIUS

1 GROUNDING PLAN
SCALE: NTS



GROUNDING DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
SHELTER	SHELTER GROUNDING VZ&S-1M
11.1	TEST WELL DETAIL, GROUND RING & ROD DETAIL
11.2	SHELTER HALO DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL & CONCRETE STOOP PENETRATION DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.
ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
Date: 03-22-16

DESIGN 1
9073 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 933-8299
WWW.DESIGN1EP.COM

verizon
1001 BUSH LAKE ROAD
SULLY, MN 55461
(612) 720-0082

PROJECT
20171626904
LOC. CODE: 460134

MIN TRAPPERS

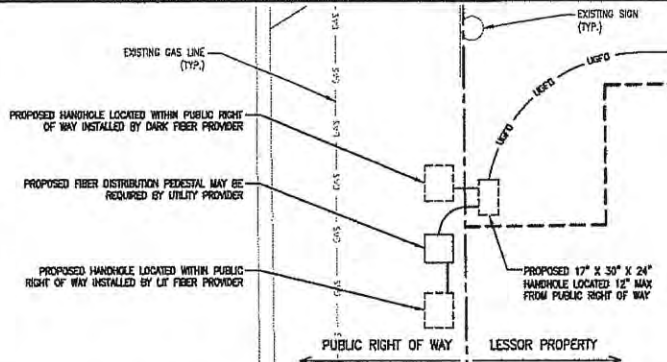
MACKUBIN STREET
SHOREVIEW, MN 55126

SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

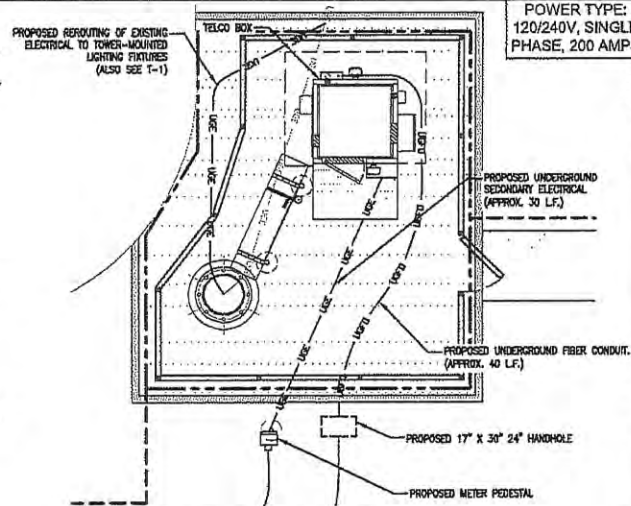
DRAWN BY:	R.E.P.
DATE:	01-08-15
CHECKED BY:	R.M.K.
REV. A	02-07-14
REV. B	03-08-15
REV. C	03-22-16

G-2

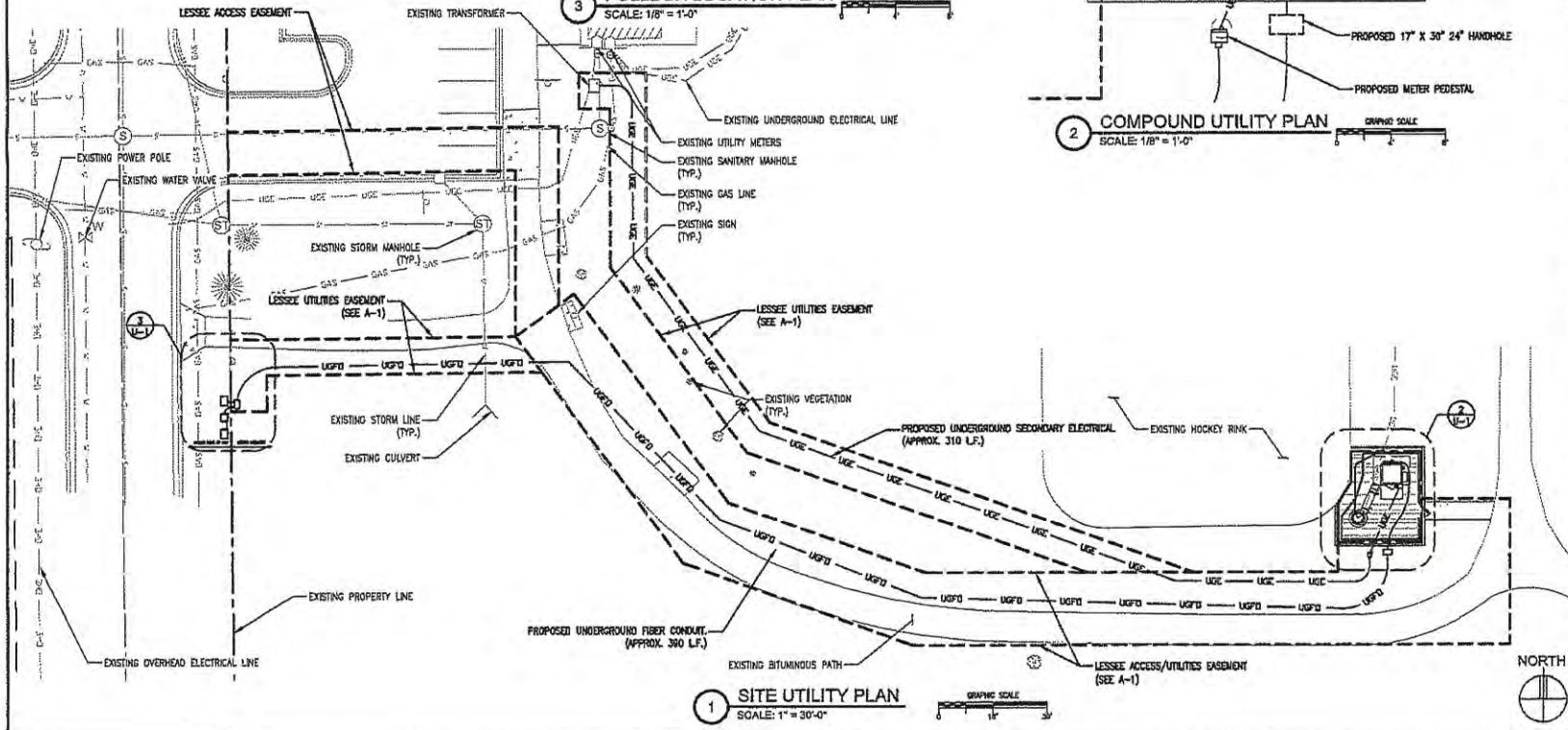
- GENERAL NOTES:**
- 1) CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START. NOTIFY THE ARCHITECT AND THE NEW CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.
 - 2) PRIMARY ELECTRICAL - DEPTH AND SPECIFICATION BY POWER UTILITY COMPANY. POST INSTALLATION RESTORATION BY CONTRACTOR.
 - 3) SECONDARY ELECTRICAL - INSTALL CONDUIT 32" BELOW GRADE WITH TWO (2) DETECTABLE RIBBONS.
 - 4) FIBER OPTIC - INSTALL CONDUIT 42" BELOW GRADE WITH PULL STRING, TRACEABLE WIRE AND TWO (2) DETECTABLE RIBBONS.



3 PULLBOX LOCATION PLAN
SCALE: 1/8" = 1'-0"
GRAPHIC SCALE

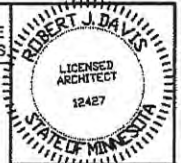


2 COMPOUND UTILITY PLAN
SCALE: 1/8" = 1'-0"
GRAPHIC SCALE



1 SITE UTILITY PLAN
SCALE: 1" = 30'-0"
GRAPHIC SCALE

POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPS



I hereby certify that this plan, specification or report, was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*
Date: 03-22-18

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10361 BUSH LAKE ROAD
SLOCOMBINGTON, MN 55638
(812) 730-0655

PROJECT
20171626804
LOC. CODE: 480134

MIN
TRAPPERS

MACKUBIN STREET
SHOREVIEW, MN 55126

SHEET CONTENTS:
SITE UTILITY PLANS
PULLBOX LOCATION PLAN
COMPOUND UTILITY PLAN

DRAWN BY:	R.E.P.
DATE:	01-25-18
CHECKED BY:	R.M.K.
REV. A	02-07-18
REV. B	03-09-18
REV. C	03-23-18

U-1

SITE SURVEY

PROPERTY DESCRIPTION: (per Old Republic National Title Insurance Company Commitment No. 103881, effective date July 26, 2017.)

The land referred to in this Commitment is described as follows:
 Lot 7, Block 3, WESTERN PINES NO. 2, Ramsey County, Minnesota and also the South 720 feet of the North 600 feet of the East 185 feet of the West 870 feet of the Northwest Quarter of the Northwest Quarter of Section 1, Township 30 North, Range 23 West.

SCHEDULE "B" EXHIBITS: (per Old Republic National Title Insurance Company Commitment No. 103881, effective date July 26, 2017.)

1-12.) Not related to the survey.

PREMISES DESCRIPTION:

That part of the Northeast Quarter of the Northwest Quarter of Section 1, Township 30 North, Range 23 West of the Fourth Principal Meridian, Ramsey County, Minnesota, described as follows:

Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence South 89 degrees 56 minutes 55 seconds West along the North line of said Northeast Quarter of the Northwest Quarter, a distance of 951.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 813.74 feet to the Point of Beginning of the premises to be described; thence continue South 0 degrees 00 minutes 00 seconds West, a distance of 25.50 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 23.00 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 11.90 feet; thence North 31 degrees 25 minutes 46 seconds East, a distance of 7.23 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 8.59 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 19.33 feet to the Point of Beginning.

ACCESS AND UTILITIES EASEMENT DESCRIPTION:

An easement for ingress, egress and utility purposes over, under and across the Northeast Quarter of the Northwest Quarter of Section 1, Township 30 North, Range 23 West of the Fourth Principal Meridian, Ramsey County, Minnesota, described as follows:

Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence South 89 degrees 56 minutes 55 seconds West along the North line of said Northeast Quarter of the Northwest Quarter, a distance of 951.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 827.05 feet to the Point of Beginning of the easement to be described; thence continue South 0 degrees 00 minutes 00 seconds West, a distance of 12.19 feet; thence North 30 degrees 00 minutes 00 seconds West, a distance of 23.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 18.17 feet to a point hereinafter referred to as Point "A"; thence continue South 0 degrees 00 minutes 00 seconds West, a distance of 10.00 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 47.48 feet; thence North 0 degrees 01 minutes 29 seconds East, a distance of 40.36 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 24.50 feet to the Point of Beginning.

TOGETHER WITH

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across said Northeast Quarter of the Northwest Quarter, the centerline of said easement is described as follows:

Beginning at the previously described Point "A"; thence North 90 degrees 00 minutes 00 seconds West, a distance of 115.94 feet; thence North 70 degrees 14 minutes 32 seconds West, a distance of 62.56 feet; thence North 35 degrees 13 minutes 23 seconds West, a distance of 75.37 feet and said centerline there terminating.

ACCESS EASEMENT DESCRIPTION:

A 12.00 foot wide easement for ingress and egress purposes over and across the Northeast Quarter of the Northwest Quarter of Section 1, Township 30 North, Range 23 West of the Fourth Principal Meridian, Ramsey County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence South 89 degrees 56 minutes 55 seconds West along the North line of said Northeast Quarter of the Northwest Quarter, a distance of 951.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 839.24 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 23.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 18.17 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 115.94 feet; thence North 70 degrees 14 minutes 32 seconds West, a distance of 62.56 feet; thence North 35 degrees 13 minutes 23 seconds West, a distance of 62.07 feet; thence South 89 degrees 23 minutes 23 seconds West, a distance of 8.91 feet to the Point of Beginning of the centerline to be described; thence North 0 degrees 02 minutes 33 seconds West, a distance of 57.79 feet; thence South 89 degrees 03 minutes 53 seconds West, a distance of 85.48 feet to the east right of way line of Mackubin Street and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said east right of way line of Mackubin Street.

UTILITIES EASEMENT DESCRIPTIONS:

A 10.00 foot wide easement for utility purposes over, under and across the Northeast Quarter of the Northwest Quarter of Section 1, Township 30 North, Range 23 West of the Fourth Principal Meridian, Ramsey County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence South 89 degrees 56 minutes 55 seconds West along the North line of said Northeast Quarter of the Northwest Quarter, a distance of 951.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 839.24 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 23.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 18.17 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 115.94 feet; thence North 70 degrees 14 minutes 32 seconds West, a distance of 62.56 feet; thence North 35 degrees 13 minutes 23 seconds West, a distance of 62.07 feet to the Point of Beginning of the centerline to be described; thence South 89 degrees 23 minutes 15 seconds West, a distance of 94.81 feet to the east right of way line of Mackubin Street, a point hereinafter referred to as Point "B" and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said east right of way line of Mackubin Street.

TOGETHER WITH

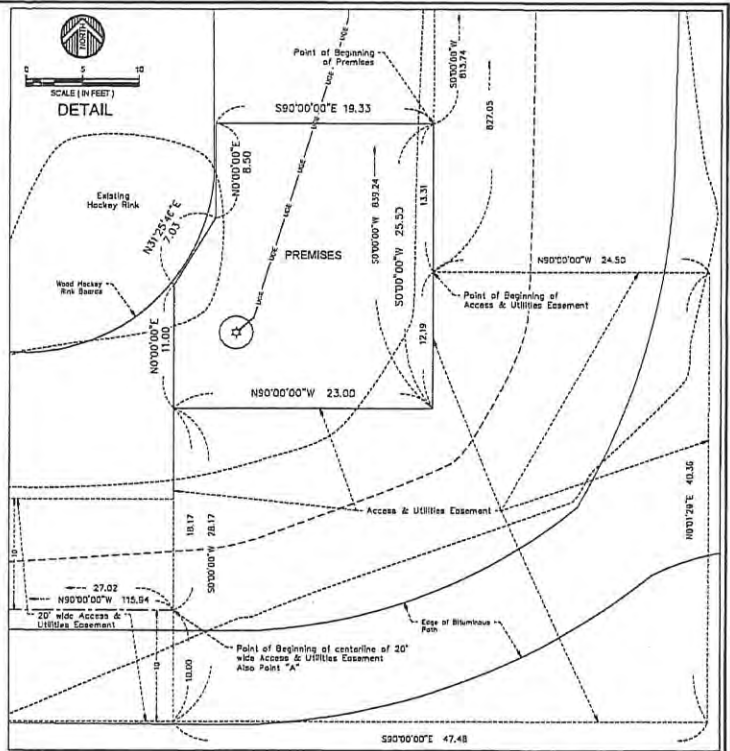
A 10.00 foot wide easement for utility purposes over, under and across said Northeast Quarter of the Northwest Quarter, lying between 0.00 feet and 10.00 feet to the left of the following described Line "A":

Beginning at the previously described Point "B", thence South 0 degrees 36 minutes 45 seconds East along said east right of way line of Mackubin Street, a distance of 15.00 feet and said Line "A" there terminating.

AND

A 10.00 foot wide easement for utility purposes over, under and across the Northeast Quarter of the Northwest Quarter of Section 1, Township 30 North, Range 23 West of the Fourth Principal Meridian, Ramsey County, Minnesota, the centerline of said easement is described as follows:

Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence South 89 degrees 56 minutes 55 seconds West along the North line of said Northeast Quarter of the Northwest Quarter, a distance of 951.80 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 839.24 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 23.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 18.17 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 27.02 feet to the Point of Beginning of the centerline to be described; thence North 70 degrees 14 minutes 32 seconds West, a distance of 141.89 feet; thence North 35 degrees 13 minutes 23 seconds West, a distance of 60.72 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 48.01 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 13.54 feet and said centerline there terminating.



SITE NAME:		MIN TRAPPERS	
Ramsay County, MN			
No.	Date	REVISIONS	By
1	11/01/17	CHECKED BY: SMK	JPB/UMS

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Shawn M. Noltung*
 SHAWN M. NOLTUNG, L.S.
 LICENSE # 49021
 DATE: 3/15/18

FULL SCALE ON 20'x30'
 HALF SCALE ON 11'x17'
 0494A2468,000



MIN TRAPPERS Capacity Analysis

2/15/2019

Jordan Alstad, RF Engineer – Verizon Wireless

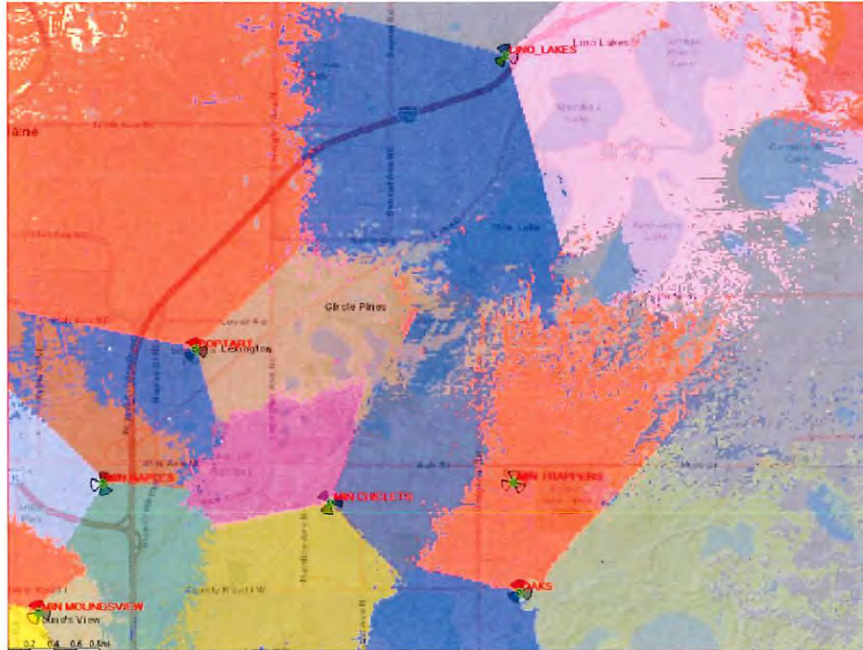
This document will demonstrate the purpose of the proposed Verizon cell site MIN TRAPPERS to be located in Bucher Park, and provide justification for the proposed additional height of the tower, above the existing maximum of 60' for a cell tower.

Capacity Offload vs. Coverage

Typically a new cell site is proposed by a wireless carrier for one or both of two reasons: Coverage and capacity. A site proposed due to a coverage need is simply intended to fill in an area where the existing wireless coverage is insufficient for devices to connect to the network. For Verizon's network, most often sites that are proposed for coverage needs are located in areas with relatively few customers, as most areas with larger populations have good coverage. Capacity needs are different, in that a capacity site is typically built in an area that has coverage from another site. A capacity need arises when the existing site is responsible for providing that coverage to a large amount of customers, to the point that it cannot handle all of the connections in that area.

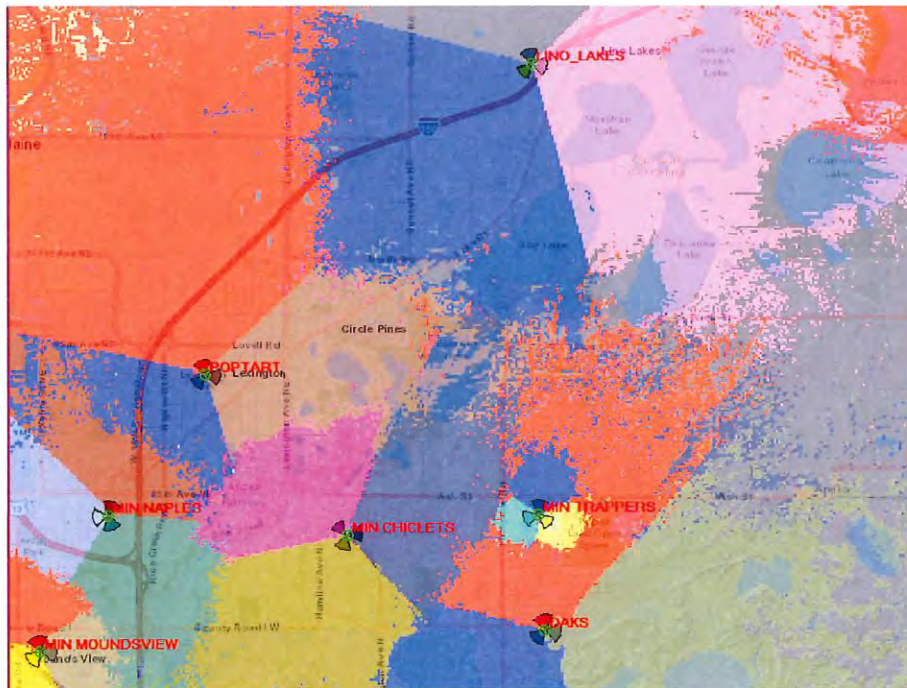
MIN TRAPPERS is proposed specifically as a capacity site. The existing site to the south, MIN OAKS, is serving a large area extending from the location of the site to the southern end of Lino Lakes. This means that all Verizon customers in northeast Shoreview are sharing network resources with many customers in Lino Lakes, contributing to the overloading of the existing site. The two maps on the following page illustrate this point:

Existing Coverage by Site in Northern Shoreview and Lino Lakes



Without the MIN TRAPPERS site (shown on the map as inactive), OAKS (light red area) serves all customers in northeast Shoreview in addition to many customers in southern Lino Lakes, resulting in network congestion

Existing Coverage by Site in Northern Shoreview and Lino Lakes



With the contribution of MIN TRAPPERS (blue, light blue and yellow areas surrounding the site) customers in the neighborhoods between Hodgson Rd and Poplar Lake will now be served by the new site, resulting in improved network connectivity, since they will not share network resources with customers served by OAKS

Centerlines in a Stealth Pole Design

One of the primary design factors for a cell site is the centerline of the antennas, that is, how high the antennas are on the tower. Typically, a higher centerline results in a larger coverage area, as the best way for a device to connect to the network is via line of sight to the antenna on the tower. Higher centerlines mean that the line of sight to devices can more easily overcome trees, buildings, elevation changes, etc. Stealth pole designs, such as the proposed MIN TRAPPERS site, require 2 separate centerlines. Verizon cell sites need 2 antennas at each sector of a site in order to deploy all of the band carriers it owns. At a non-stealth design, these antennas are installed side by side, but due to the stealth enclosure, they need to be installed one above the other. With 8' antennas being standard for optimal network performance, this requires 2 centerlines at least 8' apart, and typically 10' to allow room for cable and antenna maintenance.

The existing limit of 60' height for a tower puts the maximum centerline at 55' (including 4' above the antenna centerline and 1' of clearance below the top of the enclosure). This means that the second centerline would be at ~45'. These centerlines would not give us sufficient clearance above the trees surrounding the park and in the nearby neighborhoods, which means that the signals from the site will be seriously degraded, especially when the trees are in full bloom.

The proposed tower height of 75' (70' and 60' centerlines) will allow us sufficient clearance above the surrounding trees, ensuring that the customers in the area receive a better signal.

Conclusion

As more and more customers rely on their Verizon devices for a variety of communication and entertainment needs, the Verizon network needs to keep up with the demand by providing the best signal possible. MIN TRAPPERS, as proposed, will be a valuable addition to the Verizon network. It will ensure that customers in northeast Shoreview will have a signal that is not overloaded due to taxing the capacity of the existing OAKS site, and also not obstructed by nearby trees.



Kathleen Castle <kcastle@shoreviewmn.gov>

Bucher Park Rezoning

2 messages

Katie Larsen <KLarsen@linolakes.us>

Tue, Feb 19, 2019 at 2:15 PM

To: "Kathleen Castle (kcastle@shoreviewmn.gov)" <kcastle@shoreviewmn.gov>

Hi Kathleen,

We have no comments or concerns regarding the proposed rezoning from TOD 1 to TOD 2 for Bucher Park.

Thanks,

Katie A. Larsen, AICP

City Planner

City of Lino Lakes

[600 Town Center Pkwy](#)

[Lino Lakes, MN 55014-1182](#)

651-982-2426 direct

651-982-2400 main

651-982-2499 fax

katie.larsen@ci.lino-lakes.mn.us

Kathleen Castle <kcastle@shoreviewmn.gov>

Tue, Feb 19, 2019 at 10:13 PM

To: Katie Larsen <KLarsen@linolakes.us>

Thank you!

Kathleen Castle

City Planner

City of Shoreview

651-490-4682

kcastle@shoreviewmn.gov

[Quoted text hidden]

Response to Request for Comments

February 21, 2019

Dear Kathleen,

Thank you for notifying us about the proposed cellular tower to be erected at Bucher Park.

My wife and I live at 5939 David Court which is about 300 feet (100 yards) south of the proposed location.

There are many studies relating to the negative health affects of exposure to EMF radiation from cell towers. The "BRAG Report Guidelines for Distance from Cell Towers" grades from GREEN to BLACK for recommended distance from cell towers. Their GREEN (best) rating is for at least 500 yards. Their BLACK (worst) rating is 100 yards.

So our home (at 100 yards) is critically close to the proposed tower location and would be exposed to BLACK levels of antenna radiation. This radiation is of great concern for several reasons:

1. Personal health for our family.
2. Well documented negative affects on birds, animals, bees, and insects at the bottom of the food chain. Our neighborhood and Kerry Lake is a habitat for Robins, Gold Finches, Blue Jays, Egrets, Blue Herons, Ospreys, Bald Eagles, and many bees and insects on which they feed.
3. I telecommute for work every day developing hardware and software for HVAC control systems. I am concerned there may be interference to electronic equipment I use in my daily work such as oscilloscope, multimeters and low voltage (3 volt) micro controllers. This could jeopardize my livelihood.
4. Reduced property values by 20% based on the report "The Impact of Cell Phone Towers on House Prices in Residential Neighborhoods".
5. Based on the BRAG report; How could a cellular tower be justified on a children's playground when a school should be at least 500 yards away?

The US Government has recently been taking up the subject. "US Department of the Interior warns: communication towers threaten birds" is one such article.

Please do not permit the Cell Tower to be built at Bucher Park.

Thank you,

Les and Joelle Raney
5939 David Court
Shoreview, MN 55126

lraney@comcast.net
651.247.8887

(See the following pages for a list of peer reviewed studies on the topic.)

Response to Request for Comments

153 peer-viewed studies or articles reporting significant effects from EMF exposures on wildlife.

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Response to Request for Comments

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- Also see: http://www.bemri.org/publications/cat_view/2-publications/5-biological-effects-of-non-ionizing-radiation/17-wildlife.html



Kathleen Castle <kcastle@shoreviewmn.gov>

Bucher Park Tower

2 messages

LYLE R PATRICIA D JOHNSTON <lylerpatriciad@msn.com>

Wed, Feb 20, 2019 at 3:30 PM

To: "kcastle@shoreviewmn.gov" <kcastle@shoreviewmn.gov>

Hello,

Could you please set this meeting for a later date. I am not in favor of this tower project.

Thank you

Patty Johnston

5814 Lametti lane Shoreview MN 55126

Get [Outlook for Android](#)

Kathleen Castle <kcastle@shoreviewmn.gov>

Wed, Feb 20, 2019 at 3:39 PM

To: LYLE R PATRICIA D JOHNSTON <lylerpatriciad@msn.com>

I will forward this on to the Planning Commission for their consideration.

Kathleen Castle

City Planner

City of Shoreview

651-490-4682

kcastle@shoreviewmn.gov

[Quoted text hidden]



Kathleen Castle <kcastle@shoreviewmn.gov>

Planning Commission meeting

2 messages

Marsha Panos <marsha.panos@gmail.com>

Wed, Feb 20, 2019 at 1:58 PM

To: Kcastle@shoreviewmn.gov

Notifications for the hearing were mailed out but several homes may have not received this. Comments were requested by tomorrow, Feb. 21. There are many issues to consider regarding the rezoning that could negatively impact the neighborhood. This short time frame does not allow for the research and preparation required for a proper response. We are requesting postponement on this hearing to a later date. This will allow us to prepare a more comprehensive response reflecting the views of the neighborhood to the rezoning.

Thank you for your consideration.

Sent from my iPad

Kathleen Castle <kcastle@shoreviewmn.gov>

Wed, Feb 20, 2019 at 3:38 PM

To: Marsha Panos <marsha.panos@gmail.com>

I will forward this on to the Planning Commission for their consideration.

Kathleen

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]



Kathleen Castle <kcastle@shoreviewmn.gov>

Concerns with Verizon request for a variance of the TOD1 within Bucher Park

3 messages

Peter Panos <pete.panos@gmail.com>

Tue, Feb 19, 2019 at 6:01 PM

To: kpeterson@shoreviewmn.gov, kcastle@shoreviewmn.gov

Cc: smartin@shoreviewmn.gov

- Has a gap in coverage been identified that greatly affects Shoreview residents? If not, what is the basis for considering the rezoning request?
- The park is zoned a TOD1 which only allows for a 60' tower. What has changed in the park to require a higher tower than was originally zoned for our area?
- Has an environmental impact study been completed?
- Has a property value impact study been completed for residents around the park, as there is statistical data/surveys from around the country that shows a potential value drop of up to 10% when this type of tower is erected?
- As this location is at the very north end of the city, if a majority of the coverage gap and benefit has been identified in Lino Lakes or Circle Pines, what locations have been looked at in those cities that may be more effective and appropriate?
- Potential income for the city cannot be used as a criterion as there is Federal Court precedent against it.
- While the health concerns of cell towers are still being debated, there are studies that show a potential health risk. This along with the potential to add additional antennas will have some parents not use the park over concerns for their children, and buyers of properties around the park shy away from this area due to this risk, whether real or perceived.

--

Peter Panos
496 Elaine Ave
651-503-7993

Kathleen Castle <kcastle@shoreviewmn.gov>

Wed, Feb 20, 2019 at 3:05 PM

To: Peter Panos <pete.panos@gmail.com>

Cc: Kent Peterson <kpeterson@shoreviewmn.gov>, Sandy Martin <smartin@shoreviewmn.gov>

Hi Peter -

I have attached the application materials as you have requested. At this time, I can offer the following to your questions. If you have any further questions, please let me know.

- Has a gap in coverage been identified that greatly affects Shoreview residents? If not, what is the basis for considering the rezoning request? [See the attached application materials which show the gap in coverage.](#)
- The park is zoned a TOD1 which only allows for a 60' tower. What has changed in the park to require a higher tower than was originally zoned for our area? [The City adopted the height requirements in 2001. At that time, a number of our City Parks were placed in the TOD 1 district which limited the height to 60' to minimize visual impacts on the nearby residential neighborhoods. The City has heard from cell providers that this 60-foot height limit causes some difficulty as tree coverage can interfere with the signal. In addition, towers that have a stealth design generally require a taller height due to the placement of the antennae inside the pole.](#)
- Has an environmental impact study been completed? [No, one is not required.](#)
- Has a property value impact study been completed for residents around the park, as there is statistical data/surveys from around the country that shows a potential value drop of up to 10% when this type of tower is erected? [No. Sitzer Park is zoned TOD 2 and has towers that are 75-ft tall. To the City's knowledge this has not caused a decline in property values. The property is currently zoned to permit a 60-foot tall tower. The measure to be used then is what impact an additional 15-foot height has on property values.](#)

- As this location is at the very north end of the city, if a majority of the coverage gap and benefit has been identified in Lino Lakes or Circle Pines, what locations have been looked at in those cities that may be more effective and appropriate? [The closest tower is located in North Oaks. This tower will improve coverage not only in Shoreview but our adjoining communities as well. If there is a structure within a 1/2 mile of the site proposed that is over 55' then that structure needs to be used for the wireless facilities. In this case, there are no other towers within the 1/2 mile radius.](#)
- Potential income for the city cannot be used as a criterion as there is Federal Court precedent against it. [Noted.](#)
- While the health concerns of cell towers are still being debated, there are studies that show a potential health risk. This along with the potential to add additional antennas will have some parents not use the park over concerns for their children, and buyers of properties around the park shy away from this area due to this risk, whether real or perceived. [Noted. The property currently is within a Telecommunications Overlay District . The measure that then needs to be used is what impact an additional 15-feet in height would have on health. Within the City, there are a number of wireless facilities located on public property and near residential neighborhoods - as well as employment centers.](#)

I hope this information is helpful.
Kathleen

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]

2 attachments

 **Application Materials.pdf**
2738K

 **MIN TRAPPERS Capacity Analysis.pdf**
434K

Kathleen Castle <kcastle@shoreviewmn.gov>

Wed, Feb 20, 2019 at 3:27 PM

To: Peter Panos <pete.panos@gmail.com>

Cc: Kent Peterson <kpeterson@shoreviewmn.gov>, Sandy Martin <smartin@shoreviewmn.gov>

One other item I should mention. You will see in the application materials that the proposed plans for the tower have been submitted by Verizon. While this is good information to have, the details of the tower design and equipment will not be addressed with the rezoning as that is done with the Wireless Telecommunications Permit that would follow if rezoned. Rezoning is considered per Code Section 203.052. The TOD District is 205.180. Here is a link to the Code. <https://www.shoreviewmn.gov/government/city-code>

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]

Dear MN Shoreview governed

I'm Chunyang Tan own and live in the house at Elaine Ave, Shoreview. My house is at the corner of Bucher Park and I can see kids playing in the Bucher park from my deck.

Here my family simply want to say **NO** this planning Verizon cellular tower inside the bucher park for the following reasons:

- (1) As mentioned in the letter I got, the tower will be 75 feet high which is considered very tall in the Park. There will be snow drop in the winter to potentially hurt kids playing with the snow in the winter. If a fence is going to build around it, together with the control room, it will take a lot of space of the limited Park area
- (2) Right now there is still a lot of health concern about the cellular signal, especially 5G. Kids are playing directly under the tower all the time. The potential threat to their health is very concerned by my family.
- (3) As shown in this picture, there is no need to build a tower in Bucher park as there is one in the Lexington ave.



Too much words to say but I vote no to this tower. Please read the Bucher park communities comment in the Nextdoor.com https://nextdoor.com/news_feed/?post=103076826 to find out our opinion.

Chunyang Tan

527 Elaine ave, shoreview.



Kathleen Castle <kcastle@shoreviewmn.gov>

Rezoning Bucher Park and Cell Tower

1 message

Karen Van Beusekom <kkvanb@icloud.com>

Wed, Feb 20, 2019 at 8:50 PM

To: Kcastle@shoreviewmn.gov

Hello Ms. Castle....

Please postpone and reschedule the rezoning of Bucher Park and decision to allow for a cell tower to be built. This would be appreciated and essential in order to allow the community time to consider the repercussions and/or advantages and respond.

Most people do not know this is being considered. Someone received a notice, although most did not ... including us. The word started to get out yesterday. Nobody I talked with has received a notice or is aware of this situation.

For that reason alone I would like to request that a detailed notice be sent to all homes in the surrounding neighborhoods of Bucher Park. There will need to be sufficient time following the receipt of the notice to do a bit of research on the impact this tower will have on individuals, the community, and Bucher Park.

Thank you for your time and consideration.

Sincerely,
Karen Van Beusekom

Sent from my iPhone

bucher park cell tower,

2 messages

Jason Movrich <jasonmovrich@hotmail.com>

Wed, Feb 20, 2019 at 11:21 PM

To: "kcastle@shoreviewmn.gov" <kcastle@shoreviewmn.gov>

Hello,

I am writing about the proposed change in allowing a 75 foot tower at Bucher Park. I am frustrated with the lack of communication of which this was rolled out. I noticed an ad in the local paper a year ago when Verizon was proposing this before. I reached out to the city and was given more info then, and was told that Verizon was withdrawing their application. But if Verizon were to re-apply, I would be notified. The person at the planning commission was given my information, and I was never notified of this recent application. I was informed only after a neighbor posted on the Nextdoor app that Verizon was once again proposing a tower. I was also informed that some neighbors, but not all, in the vicinity of the park were notified via a letter about the proposed changes. My family is within a handful of houses from the park and we were never sent a letter or notified in any other way.

Bucher park is a gem to our community. Our family moved to Shoreview 3 years ago. After we had checked out our soon to be future home, we walked over to Bucher park and sat there on a bench thinking of how our family would enjoy such a park for years to come. I don't think we ever envisioned an ugly, towering, cell tower with a building next to it as part of that dream. This is an active and vital park in our community. At any given day, there are a number of people enjoying this open space. From walking/running, tennis, basketball, sledding, ice skating, baseball games, soccer practices, etc. I have been to many parks that were underused and unappreciated- I have 2 young children-and this is not one of them. I don't understand what putting a cell tower in our park brings to our community. We use Verizon as our cell carrier and we have cell service throughout our house, including the basement. I don't see the need in this area. I feel this would also depreciate the values of our homes, that we have all invested in to be a part of this community. I don't see how this large ugly tower to the park brings anything to the table that we don't already have. How does this give back to our community or improve it? There are also the potential health risks of having a cell tower so close to so many park users, mostly children.

Even with what little communication the city has given the local residents, there is a dialogue going on with local community members in the app nextdoor, including a survey. This is a survey that can only be taken by local community members. An overwhelming majority do not support this cell tower. There are plenty of open land/places north and east of where the park sits to put this tower. I can think of the open Ramsey county land, or land north of J which would be more suited to this type of tower vs a park. It could even be placed in the Ramsey County yard waste site just East of the park. I have noticed that Verizon already has a tower on the water tower off of Lexington, not far from Bucher park. Is this proposed tower mainly to be used for service East of Bucher park? I have noticed that according to cellmapper.net, there is a large service gap in the Lino lakes and North Oaks area. There are plenty of open land/areas that a tower such as this could be built there instead.

I would also remind the city that we have invested heavily recently to make Bucher park a top notch park, including replacing the parking lot and playground equipment. Installing a large tower and building for a cellular company will only take us back, not forward, in making Bucker park even better place for our community.

Thank you.

Jason Movrich
[535 Elaine Ave](#)
Shoreview, MN 55126
320-492-0671

Kathleen Castle <kcastle@shoreviewmn.gov>
To: Jason Movrich <jasonmovrich@hotmail.com>

Thu, Feb 21, 2019 at 4:25 PM

Thank you for your email. Your comments will be forwarded to the Planning Commission.

Our notices are mailed to property owners within 350-feet of the park boundary. Based on your comments, it sounds like you did not receive one. What is your address?

Kathleen

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]



Kathleen Castle <kcastle@shoreviewmn.gov>

Cell tower at Bucher Park

1 message

mark brandenburg <markcbrandenburg@live.com>
To: "Kcastle@shoreviewmn.gov" <Kcastle@shoreviewmn.gov>

Wed, Feb 20, 2019 at 8:26 PM

Dear Shoreview City Planners,

I just learned that there will be a cell tower at Bucher Park. Please consider other options or keep to the shorter height for zoning. People use this park to be outdoors and enjoy the beauty. It will be unsightly and destroy the effect of the park. There must be a way to minimize the blight and keep the children nearby away from the effects of the tower.

Sincerely,

Mark Brandenburg
[534 Elaine Ave](#)
[Shoreview Mn 55126](#)

Get [Outlook for iOS](#)

To: Kathleen Castle, City Planner, City of Shoreview, City Council Members, and Mayor Sandy Martin
From: Christopher Nguyen, J.D.
Date: February 20, 2019
Re: Verizon Wireless Cellular Tower

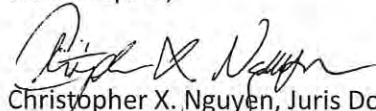
My name is Christopher Nguyen. I reside in Shoreview on County Road J. I can literally throw a stone from my backyard into Bucher Park. I am a concerned citizen and community member.

Recently, our community was sent notice that Verizon would like to receive a permit allowing it to create a tall cellular tower in the park where my nine and twelve-year-old daughters play every day in the summer and, of late, slide during the many snow days we have had here in the Mounds View School District. I write to inform you that I, and the vast majority of my neighbors, are against such a construction in our local park, and to ask for one of three solutions:

- a) simply deny the permit. I am familiar with *one* resident who is not even confirmed as living in the community as being supportive of the tower. *Every* other community member I have had the time to communicate with—in any medium has written they are against the plan.
- b) recommend a different location. Could the tower be placed on Hodgson/Rice street?
- c) provide the community with additional time to forward a community response consistent with notions of fair play and due process. The letters notifying residents of the plan were dated and sent United States Postal Service on February 13 with a demand for responses by February 21. With families, jobs, and many other responsibilities, allowing less than a week for the community to come together on a decision is simply unconscionable.

I live in a great city. We have a great community here and my family loves Bucher Park. I ask that Verizon not be allowed to violate its sanctity, that the city and its officials not risk potential health impacts to my family—particularly my children, and that the city—through its elected officials, heed the will of the people in the community whom they were elected to represent and serve. For this relief I pray. Please contact me with any questions you might have on my interests and positions on this matter. For this relief I pray.

With Respect,



Christopher X. Nguyen, Juris Doctor
651.338.6168 | Nguyen.X.Christopher@gmail.com



Request for Comment

When one concerns about property values, what other cell carriers will have access to the "Verizon" tower, long term ^{health} affects of a higher tower radio waves. I also find it difficult to believe their new tower solely benefit better cell reception.

Therefore, I am not in favor of granting the proposed change to the cell tower in Bucher Park.

Name: Eugene M Nichols

Address: 5910 Doud CT
Sporeview 55126 MN

Request for Comment

- 1 How Much Money is City Going To Receive From
A Cell Tower? is it worth it. -
- 2 Fencing + Guide wires - Safety issue.
- 3 Many Studies have been done on Health
Concerns around Cell Towers - 5G and
Future Technology will likely be worse,
Rather Than better.
- 4 Depending on which Survey you go by - Property
Values drop from 10-20% near Cell Towers -
and 94% of People Surveyed Say They would
Take into Consideration if a Cell Tower was
Nearby -
- 5 Why Cant this be Located in Commercial
Area Near Hwy 49 and Co Rd J?

Name: John Olsiad

Address: 498 Flaine -

651-592-8120 -

The Impact of Cell Phone Towers on House Prices in Residential Neighborhoods

by Sandy Bond, PhD, and Ko-Kang Wang

abstract

This article examines whether proximity to cellular phone towers has an impact on residential property values and the extent of any impact. First, a survey approach is used to examine how residents perceive living near cellular phone base stations (CPBSs) and how residents evaluate the impacts of CPBSs. Next, a market study attempts to confirm the perceived value impacts reported in the survey by analyzing actual property sales data. A multiple regression analysis in a hedonic pricing framework is used to measure the price impact of proximity to CPBSs. Both the survey and market sales analysis find that CPBSs have a negative impact on the prices of houses in the study areas.

The introduction of cellular phone systems and the rapid increase in the number of users of cellular phones have increased exposure to electromagnetic fields (EMFs). Health consequences of long-term use of cellular phones are not known in detail, but available data indicates that development of nonspecific health symptoms is possible.¹ Conversely, it appears health effects from cellular phone equipment (antennas and base stations) pose few, if any, known health hazards.²

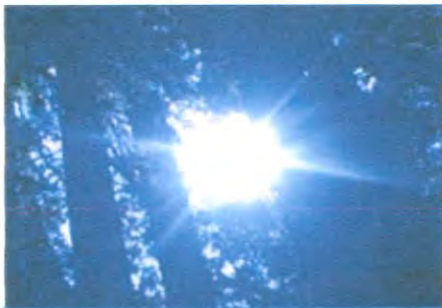
A concern associated with cellular phone usage is the siting of cellular phone transmitting antennas (CPTAs) and cellular phone base stations (CPBSs). In New Zealand, CPBS sites are increasingly in demand as the major cellular phone companies there, Telecom and Vodafone, upgrade and extend their network coverage. This demand could provide the owner of a well-located property a yearly income for the siting of a CPBS.³ However, new technology that represents potential hazards to human health and safety may cause property values to diminish due to public perceptions of hazards. Media attention to the potential health hazards of CPBSs has spread concerns among the public, resulting in increased resistance to CPBS sites.

Some studies suggest a positive correlation between long-term exposure to the electromagnetic fields and certain types of cancer,⁴ yet other studies report inconclusive results on health effects.⁵ Notwithstanding the research results, media reports indicate that the extent of opposition from some property owners

1. Stanislaw Szmigielski and Elizbieta Soblczewska, "Cellular Phone Systems and Human Health—Problems with Risk Perception and Communication," *Environmental Management and Health* 11, no. 4 (2000): 352–368.
2. Jerry R. Barnes, "Cellular Phones: Are They Safe?" *Professional Safety* 44, no. 12 (Dec. 1999): 20–23.
3. R. Williams, "Phone Zone—Renting Roof Space to Ma Bell," *The Property Business* 12 (April 2001): 6–7.
4. C. M. Krause et al., "Effects of Electromagnetic Field Emitted by Cellular Phones on the EEG During a Memory Task," *Neuroreport* 11, no. 4 (2000): 761–764.
5. Independent Expert Group on Mobile Phones, *Mobile Phones and Health* (Report to the United Kingdom Government, 2000), <http://www.iegmp.org.uk>.

Appendix II Summary of the Survey Results

Variable	Response	Valid Percent (%)	
		Case Study	Control
Occupancy	Homeowner	78.5	94.2
	Tenant	21.5	5.8
How long have you lived there?	Less than 6 months	8.0	2.6
	6 months–1 year	8.6	4.5
	1–4 years	25.1	27.7
	More than 5 years	58.3	65.2
How would you rate the desirability of your neighborhood?	Superior	27.4	30.9
	Above Average	37.4	36.8
	Average	28.5	27.0
	Below Average	5.6	4.6
	Inferior	1.1	0.7
Would you be opposed to construction of a cell phone tower nearby?	Yes		72.1
	No		27.9
When you purchased/began renting was the cell phone tower already constructed?	Yes	39.3	
	No	60.7	
Was the proximity of the cell phone tower a concern to you?	Yes	20.0	
	No	80.0	
Would you have gone ahead with rental/purchase if you had known a cell phone site was to be constructed?	Yes	73.9	
	No	26.1	
Is location of a cell phone tower a factor you would consider when moving?	Yes		83.4
	No		16.6
Is the cell phone tower visible from your house?	Yes	45.7	
	No	54.3	
If yes, how much does it impact on your view?	Very obstructive	9.6	
	Mildly obstructive	24.5	
	Barely noticeable	66.0	
In what way does it impact on the enjoyment of living in your house?	Views	11.8	
	Aesthetics	20.6	
	Health concerns	36.8	
	Change in property value	19.9	
	Other	11.0	
Effect a nearby cell phone tower would have on the price/rent you would pay for the property	Tower wasn't constructed	53.1	
	Pay substantially more	0.0	0.0
	Pay a little more	2.3	0.0
	Pay a little less	2.8	37.6
	Pay substantially less	0.6	45.4
	Not influence price	51.4	17.0
% Effect a nearby cell phone tower would have on the price/rent you would pay for the property	20% higher or more	5	3.2
	10–19% more	10	1.6
	1–9% more	14	2.4
	1–9% less	33	19.2
	10–19% less	24	36.0
	20% or a greater reduction	14	37.6
Concern about the possibility of harmful health effects in the future	Does not worry me	50.3	19.9
	Worries me somewhat	38.0	38.4
	Worries me a lot	11.7	41.7
Concern about the stigma associated with houses near the cell phone sites	Does not worry me	54.6	20.8
	Worries me somewhat	33.9	45.0
	Worries me a lot	11.5	34.2
Concern about the affect on your properties value in the future	Does not worry me	61.3	15.4
	Worries me somewhat	25.4	37.2
	Worries me a lot	13.3	47.4
Concern about the aesthetic problems caused by the tower	Does not worry me	63.3	18.2
	Worries me somewhat	25.4	37.0
	Worries me a lot	11.3	44.8



“Our lives begin to end
the day we become
silent about things that
matter.”

- Martin Luther King, Jr.

Electromagnetic Health.org

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[EMF Help Blog™ #5 – How far away from a cell phone tower is considered ‘safe’?](#)

08.02.2011 by emily Category [Electromagnetic Health Blog](#)

BLOG #5



How far away from a cell phone tower is considered 'safe'?

Of course, the farther away from radiation-emitting towers and antennas the better, as our bodies are not adapted to this kind of biological disruption and exhibit signs of distress at the cellular level. Scientists who have read the decades of literature on this topic believe there may be no 'safe' exposure level, particularly when it comes to chronic exposures.

I recommend each of you watch the [video presentations from the Commonwealth Club of California](#), the nation's leading public affairs forum. This footage will give you an excellent, and truly unparalleled education on this important topic. The half-day program, "[Health Effects of Electromagnetic Fields](#)", is available in small 10-20 minute video segments for convenient viewing.

All of the experts at the event, the largest yet in the United States on this topic, agreed governments need to institute '*biologically based*' *human exposure guidelines*, not the exposure guidelines we have today that are concerned only with physics with no relationship to biological effects. The experts cited effects on fertility, neonatal and human heart irregularities, cognitive function, impacts on DNA, among many other concerns. They expressed grave concern about the long-term effects of chronic, whole body radiation and, importantly, effects on children who are more vulnerable.

BRAG Report Guidelines for Distance from Cell Towers

The [BRAG Antenna Ranking of Schools Report](#) calls for at least a 1,500 foot setback of any antenna from a school. This is about $\frac{1}{4}$ mile, or roughly 5 city blocks. To be categorized with the best BRAG grade of **Green**, a school would have to have no antennas within 0.25 miles and have less than 6 antennas within 0.6 miles.

To be classified as "**Black**", the worst BRAG Grade, schools would have two of the three possibilities: the closest antenna within 0.06 miles (~100 yards); more than 12 antennas within 0.25 miles and/or more than 75 antennas within 0.6 miles.

Dr. Magda Havas states, “If we want children to do their best academically, emotionally, physically and socially, schools should be microwave-free—free from ambient radiation from neighborhood antennas, as well as free from wireless internet.” She adds, “Not only have symptoms of electrohypersensitivity been demonstrated at exposures that are a fraction (0.04%) of U.S. exposure guidelines, but the guidelines themselves, which are based on an assumed 30-minute exposure, do not take into consideration the effects of realistic exposure durations, such as chronic exposures experienced in school, office or residential settings.”

Reflections

Another factor little understood, that guidelines do not take into consideration but on which there is mounting scientific evidence, is the importance of *‘reflections’*, which sometimes increase our RF exposures to levels well over current FCC safety guidelines. FCC guidelines are presently only concerned with *heating* effects of radiation, overlooking the non-thermal effects on biology from frequencies, modulation of the signals, etc., as well as the effects from reflections.

The risks from ‘reflections’ is an important consideration to understand, as reflections are common near cell phone antennas, impacting homes, schools and work environments.

For example, one bau biologist found that his home, while not in the direct line of radiation exposure from a nearby neighborhood cell tower, nonetheless was being highly impacted by it because the radiation was bouncing off a nearby metal garage door on an angle toward his house. An important [new paper by Vermeeren et al, 2010](#) describes a study at the Swiss ITIS wireless emissions testing laboratory documenting the importance of considering the “reflective environment”.

Magda Havas, PhD says research in [Zory’s Archives](#) also shows “people themselves can also reflect microwave radiation, and two people standing near each other may have up to 3 times higher exposure (or lower exposure due to shielding) depending on the geometry of the radiation and the location of the people.” While some radiation is absorbed into the body because we are conductive, our bodies will also reflect radiation.

Metal In or On the Body

Another important consideration with reflections has to do with people who have metal implants, dental braces or who spend a lot of time in metal wheelchairs. There are heartbreaking cases of people who literally cannot function, or who have seizures or mental disorders linked to these appliances, and especially in the case of internal implants, which are difficult to reverse.

I have counseled and helped remediate the homes of people with metal rods in their bodies, and also discovered certain perfectly healthy children had seizures after getting metal braces put in their mouth. *It is clear people with metal on or in their bodies (even metal dental fillings) are having a very hard time in the wireless age.* Doctors and dentists need to be informed of this and non-metal implants, braces and fillings used instead.

I recommend everyone order a copy of a [Primer on Electrosensitivity](#) by the U.K. charity Electrosensitivity-U.K. and share this excellent compilation of the research and clinical understanding with their doctors and other health related personnel.

Beyond the ‘electrosensitivity’ symptoms near cell antennas, German doctors have found that the proportion of newly developing cancer cases is significantly higher among people who live within 400 meters of a cell phone transmitter. The relative risk of getting cancer in the study increased by 200% after 5 years operation of the transmitter. ([H. Eger et al. “The Influence of Being Physically Near to a Cell Phone”](#).)

In Israel, [Wolf et al \(2004\)](#) found that within 350 meters of cell phone antennas there was a 300% increased incidence of cancer among men and women and a 900% cancer increase among women alone.

Questions? Schools may e-mail Campaign for Radiation Free Schools at: Questions@EMF-Help.com.

This blog brings the wisdom of world-class experts in electromagnetic fields to your school. In the next Blog, we will interview a second expert in EMF mitigation and learn how exactly he goes about assessing an environment for electromagnetic fields. Don't miss it! It is in the field where the most important learning takes place.

Advisors to the EMF-Help Blog™ include David Carpenter, MD, Director of the Institute for Health and the Environment, University of Albany, USA; Magda Havas, PhD, Trent University, Canada; Alasdair Philips, Powerwatch, U.K.; Vicki Warren, BSEE, CIE, CERSA, BBEC, Past Executive Director, Institute for Bau Biology & Ecology, USA; Karl Maret, MD, M.Eng., President, Dove Health Alliance, USA; and science writer, B. Blake Levitt, author of “Electromagnetic Fields: A Consumers Guide to the Issues and How to Protect Ourselves”, USA.

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.....*End Blog #5*



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1 EXISTING PHOTO
ASH STREET, VIEWED SOUTH

PS-1A
DATE: 03-27-18
DRAWN BY: MJS
PER REV. C

PROJECT: 20171626904
MIN TRAPPERS
MACKUBIN STREET
SHOREVIEW, MN 55126

**VERIZON
WIRELESS**
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

DESIGN 1
9973 VALLEY MEW ROAD
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



1 PROPOSED IMAGE
ASH STREET, VIEWED SOUTH

PS-1B
DATE: 03-27-18
DRAWN BY: MJS
PER REV. C

PROJECT: 20171626904
MIN TRAPPERS
MACKUBIN STREET
SHOREVIEW, MN 55126

VERIZON WIRELESS
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

DESIGN 1
9973 VALLEY MEW ROAD
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



1 EXISTING PHOTO
TURTLE LAKE ROAD, VIEWED WEST

PS-2A
DATE: 03-27-18
DRAWN BY: MJS
PER REV. C

PROJECT: 20171626904
MIN TRAPPERS
MACKUBIN STREET
SHOREVIEW, MN 55126

**VERIZON
WIRELESS**

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

DESIGN 1

9973 VALLEY MEW ROAD
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



1 PROPOSED IMAGE
TURTLE LAKE ROAD, VIEWED WEST

PS-2B
PER REV. C
DRAWN BY: MJS
DATE: 03-27-18

PROJECT: 20171626904
MIN TRAPPERS
MACKUBIN STREET
SHOREVIEW, MN 55126

**VERIZON
WIRELESS**

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

DESIGN 1

9973 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGN1EP.COM



1 EXISTING PHOTO
DAVID COURT, VIEWED NORTH

PS-3A
DATE: 03-27-18
DRAWN BY: MJS
PER REV. C

PROJECT: 20171626904
MIN TRAPPERS
MACKUBIN STREET
SHOREVIEW, MN 55126

VERIZON WIRELESS
10801 BUSH LAKE ROAD
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 PER REV. C
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 DATE: 03-27-18

PROJECT: 20171626904
MIN TRAPPERS
 MACKUBIN STREET
 SHOREVIEW, MN 55126

VERIZON WIRELESS
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (612) 720-0052

DESIGN 1
 9973 VALLEY MEW ROAD
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM



1 EXISTING PHOTO
MACKUBIN STREET, VIEWED SOUTHEAST

PS-5A
DATE: 03-27-18
DRAWN BY: MJS
PER REV. C

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1 PROPOSED IMAGE
MACKUBIN STREET, VIEWED SOUTHEAST

PS-5B
PER REV. C
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1 EXISTING PHOTO
 BUCHER PARK, VIEWED SOUTH

PS-6A
 PER REV. C
 DRAWN BY: MJS
 DATE: 03-27-18

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**PROPOSED MOTION
APPROVAL**

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To recommend the City Council approve the Rezoning request submitted by Buell Consulting/Verizon Wireless for Bucher Park, 5900 Mackubin Street, subject to the following conditions:

1. This approval rezones the property from TOD-1, Telecommunications Overlay District – One, to TOD-2, Telecommunications Overlay District – Two. The underlying zoning designation will remain unchanged as the R-1, Detached Residential District.
2. Rezoning is not effective until a Wireless Telecommunications Facility (WTF) agreement is executed.

The recommendation is based on the following findings:

1. The rezoning is consistent with the Comprehensive Plan, and the requirements of the Development Code. The park use of the property will remain and the underlying zoning will remain as R-1, Detached Residential.
2. The increased height permitted in the TOD-2 District will not have a significant adverse impact on the surrounding planned residential land uses. Impacts will be mitigated by the park's size, characteristics, natural features and City design standards.
3. The increased height permitted in the TOD-2 District will not impact the park use.

VOTE:

AYES:

NAYS:

Regular Planning Commission Meeting – February 26, 2019

**PROPOSED MOTION
TABLE**

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To table the Rezoning request submitted by Buell Consulting/Verizon Wireless for Bucher Park, 5900 Mackubin Street and extend the review period from 60 to 120 days. Additional information is needed from the applicant that address the impacts of the increased height change on the adjoining residential land uses.

VOTE:

AYES:

NAYS:

Regular Planning Commission Meeting – February 26, 2019