

**AGENDA
PLANNING COMMISSION MEETING
CITY OF SHOREVIEW**

**DATE: November 27, 2018
TIME: 6:00 PM
PLACE: SHOREVIEW CITY HALL
LOCATION: 4600 NORTH VICTORIA**

**1. CALL TO ORDER
ROLL CALL
APPROVAL OF AGENDA**

2. APPROVAL OF MINUTES
October 23, 2018

3. REPORT ON CITY COUNCIL ACTIONS
*Meeting Date: November 5, 2018 and November 19, 2018
Brief Description of Meeting process- Chair John Doan*

4. NEW BUSINESS

A. STANDARD VARIANCE
*FILE NO: 2710-18-30
APPLICANT: Sandra Morgan
LOCATION: 4895 Churchill St*

5. OLD BUSINESS

A. COMPREHENSIVE SIGN PLAN*
*FILE NO: 2706-18-26
APPLICANT: Shepherd of the Hills Lutheran Church
LOCATION: 3920 Victoria Street North*

B. STANDARD VARIANCE/SITE AND BUILDING PLAN REVIEW*
*FILE NO: 2707-18-27
APPLICANT: Wold Architects
LOCATION: 1141 Lepak Court (Turtle Lake Elementary School)*

C. PUBLIC HEARING – 2040 COMPREHENSIVE PLAN*
*FILE NO: 2709-18-29
APPLICANT: City of Shoreview
LOCATION: City Wide
This item will be heard no earlier than 7:00 pm*

6. MISCELLANEOUS

A. City Council Meeting Assignments

- *December 3, 2018 - Commissioner Anderson, December 17, 2018- Commissioner Riechers*

B. Planning Commission Chair/Vice Chair Appointments for 2019

C. 2019 City Council Assignments

7. ADJOURNMENT

** These agenda items require City Council review or action. The Planning Commission will hold a hearing, obtain public comment, discuss the application and forward the application to City Council. The City Council will consider these items at their regular meetings which are held on the 1st or 3rd Monday of each month. For confirmation when an item is scheduled at City Council, please check the City's website at www.shoreviewmn.gov or contact the Planning Department at 651-490-4682 or 651-490-4680*

**SHOREVIEW PLANNING COMMISSION
MEETING MINUTES
October 23, 2018**

CALL TO ORDER

Chair Doan called the October 23, 2018 Shoreview Planning Commission meeting to order at 6:20 p.m.

ROLL CALL

The following Commissioners were present: Chair Doan; Commissioners Anderson, Peterson, Riechers, Solomonson, Wolfe and Yarusso.

APPROVAL OF AGENDA

MOTION: by Commissioner Solomonson, seconded by Commissioner Anderson to approve the October 23, 2018 Planning Commission meeting agenda as submitted.

VOTE: AYES: Anderson, Peterson, Riechers, Solomonson, Wolfe, Yarusso, Doan
NAYS: None

APPROVAL OF MINUTES

Minutes of September 25, 2018 Commission Meeting Minutes

MOTION: by Commissioner Solomonson, seconded by Commissioner Peterson to approve the September 25, 2018 Planning Commission meeting minutes as presented.

VOTE: AYES: Peterson, Riechers, Solomonson, Wolfe, Yarusso, Doan
NAYS: None
ABSTAIN: Anderson

Commissioner Anderson abstained, as he did not attend the September 25, 2018 meeting.

REPORT ON CITY COUNCIL ACTIONS

City Planner Castle reported that the minor subdivision at 736 County Road I W. was approved as recommended by the Planning Commission.

NEW BUSINESS

COMPREHENSIVE SIGN PLAN

FILE NO.: 2706-18-26
APPLICANT: SHEPHERD OF THE HILLS LUTHERAN CHURCH
LOCAITON: 3920 VICTORIA STREET NORTH

Presentation by Associate Planner Aaron Sedey

The application is to add an electronic message center into the existing monument sign. Currently, the monument sign is handled manually. The stone monument would be retained.

The church property is located in the R1, Detached Residential District. Electronic message centers are allowed in residential districts for churches if there is a Comprehensive Sign Plan. The maximum height of the sign face is 6 feet; the maximum area is 40 square feet. Message centers are allowed to be 35% of the total sign or 30 square feet, whichever is less with a minimum of 20 square feet. The display color is required to be amber.

Deviations are allowed when the following criteria are met:

- The color, materials, size and illumination are consistent
- Practical difficulty is present
- The sign plan is unified and has aesthetic appeal
- Approval does not confer a special privilege for the applicant
- The sign is effective, functional, attractive and compatible with community standards.

The proposed sign meets all criteria for setback, height, sign face height, hours of display and color. The deviations requested are:

1. Sign area at 41.76 square feet over the allowed 40 square feet; and
2. Minimum land use area of 29.6 sf. or 70.97%, which is above the allowed 14.5 square feet at 35 % of the total sign area.

Staff finds that keeping the sign base will mean the sign continues to be consistent with the facade of the church. However, the full color and size of the message center proposed would be inconsistent with Code. Practical difficulty is not present. It is the preference of the church to have a full color sign and larger size. Staff does not believe the requested deviations result in a more unified sign package and are not consistent with community standards. Approving these deviations would confer a special privilege.

Notices were sent to property owners within 350 feet. Another church has registered support and plans to request something similar with a full color message center. Two citizen comments request the sign be dimmed or darkened at night with the use of electricity.

Staff supports an electrical message center but is recommending denial of the application based on the proportional size proposed for the message center and use of full color display.

Commissioner Solomonson asked the comparison size of the message center for Presbyterian Church of the Way. Mr. Sedey stated the sign area is 70 square feet. The message center

proportion of the sign area is 29%. St. Odilia also has a message center sign, the proportional area of which is 27% of the total sign area.

Commissioner Riechers asked if the amber color requirement is due to the sign being in a residential district. Mr. Sedey answered, yes.

Commissioner Anderson asked if variances would be needed for the deviations. Mr. Sedey explained that within a Comprehensive Sign Plan, deviations are allowed.

Chair Doan verified that there are no other message signs that have other than amber color in residential districts in Shoreview. He noted that as digital signs become more advanced, there will be more requests to communicate with images. He asked if there are light standards for brightness. Mr. Sedey stated there is a measuring device for light, and the manufacturing company can be contacted to get the specifications. He noted that the amber color would not likely give clear images. Chair Doan asked if the sign area restriction is meant to control the amount of light emitted from the sign. Mr. Sedey answered that it is meant to mitigate the size of the electronic portion.

Ms. Miranda Oliver, Director of Operations, Shepherd of the Hills Lutheran Church, and **Jim Hamilton**, Hamilton Signs in Rosemount, introduced themselves. **Ms. Oliver** stated that the goal of the church is to update its accessibility to the public and do a better job of outreach. The current sign must be changed manually, which takes approximately 2 hours. It takes longer in the winter with the snow. Changing the sign to a message center has been a goal for a long time. The text and/or images would change every 6 to 8 seconds. The signs at St. Odilia and Presbyterian Church of the Way are quite large in comparison. There is a full color message sign at Willow Creek on Lexington and Hamline. An effort is being made to reduce light pollution by using LED lights. Parking lot lights are turned off at night.

Commissioner Yarusso asked if full color images would be changed every 6 to 8 seconds. **Ms. Oliver** answered that text can easily be read in that amount of time, but images would not necessarily change that often.

Chair Doan asked the light level of the sign and if there is a trend toward full color signs. **Mr. Hamilton** responded that the lights do not shine out. The LED light pushes around its shape. There have been no problems with the full color sign at Willow Creek. All automatic adjustments work well. He offered to supply specific details from the manufacturer. Everything now is being sold in full color. The size of this sign is to be able to provide more information. The message area is being changed any more often than what Code allows.

Commissioner Peterson agreed that allowing this application would set a precedent for other churches. He asked the reason for the larger size and whether the sign area could be reduced to the allowed 40 square feet. **Mr. Hamilton** stated that the top portion is the name of the church. The church is working with other organizations, such as the food shelf. The message center is the most important area to relay event information. **Ms. Oliver** added that the sign area could be 40 square feet, but that reduction to the message center which reduce the amount of information

in messages. The message base could be made bigger to achieve the right percentage, but the church prefers to use what is there.

Chair Doan opened the discussion to the public.

Mr. Charlie Altman, member of Shepherd of the Hills, stated that he works with the food shelf. Demand for various items changes daily. The size of this sign would allow messaging on food shelf needs.

Commissioner Solomonson stated that the City has taken a conservative stand for signs to emit as little light in neighborhoods as possible. While he appreciates the trend toward color, he does not support full color signs in residential neighborhoods. The Commission spent a lot of time on this ordinance, and he would like this sign to be in compliance as the other two churches.

Commissioner Yarusso noted the letter that from another church that would like to apply for a full color sign. Allowing this application would set a precedent. Conveying more information can be served with amber light. Images is an advertising concern. That is a conflict in a neighborhood. The sign ordinance should be changed before allowing these deviations from Code.

Chair Doan asked when the ordinance was last updated. Ms. Castle stated that the ordinance was last reviewed in 2011. It was a big step to go from manual signs to message centers. There was a lot of concern about the impact to neighborhoods which is the reason for the size limitation and use of the color amber.

Commissioner Riechers stated that she understands the desire for full color, but maintaining the amber light because of the neighborhood location is in respect of the code and the residents. She agreed that perhaps the ordinance should be reviewed.

Commissioner Anderson stated he would be less opposed to the size deviation but agreed with other Commissioners that changes should be addressed through the ordinance. He suggested a color sign be allowed during the day that would change to amber at night before it is turned off.

Commissioner Wolfe noted that many churches across the nation are now using full color signs. He would advocate looking at this issue again through the ordinance process.

Chair Doan requested a review of this ordinance at a workshop meeting. The ordinance is seven years old and warrants another review.

Commissioner Yarusso asked if it is allowable to have a sign of a full color display but only utilized as amber. Ms. Castle stated that it is her understanding that a full color sign can be programmed to only show one color. **Ms. Oliver** responded that she would be open to all suggestions. She noted the existing light of the identification sign is bright and would be dimmer with the new sign.

Ms. Castle noted that the ordinance reads that only the message has to be in amber light.

Commissioner Solomonson recommended tabling the matter.

MOTION: by Commissioner Solomonson, seconded by Commissioner Yarusso to table the Comprehensive Sign Plan submitted by Shepherd of the Hills Lutheran Church, 3920 Victoria Street N., for a freestanding monument sign with a message center until the November meeting. The review period will also be extended 60 days to a period of 120 days.

VOTE: **AYES - Anderson, Peterson, Riechers, Solomonson, Wolfe, Yarusso, Doan**
NAYS - None

SITE AND BUILDING PLAN REVIEW

FILE NO.: 2707-18-27
APPLICANT: WOLD ARCHITECTS
LOCATION: 1141 LEPAK COURT (TURTLE LAKE ELEMENTARY SCHOOL)

Presentation by City Planner Kathleen Castle

An application was received for improvements to Turtle Lake School that include 4 small building additions, parking lot and site improvements. The applicant has requested this matter be continued because the storm water management plan is over budget. Significant modifications are being made to the application. The review period will be extended 120 days.

MOTION: by Commissioner Riechers, seconded by Commissioner Peterson to table the Site and Building Plan Review and Variance applications submitted by Wold Architects on behalf of Independent School District #621 for building and site improvements at Turtle Lake Elementary School, 1141 Lepak Court. The review period is extended from 60 to 120 days.

VOTE: **AYES - Anderson, Peterson, Riechers, Solomonson, Wolfe, Yarusso, Doan**
NAYS - None

SITE AND BUILDING PLAN REVIEW

FILE NO.: 2708-18-28
APPLICANT: OAK HILL MONTESSORI
LOCATION: 4665 HODGSON ROAD

Chair Doan and Commissioner Yarusso recused themselves from discussion and a decision on this matter due to conflicts of interest. Chair Doan appointed Commissioner Peterson to take over as Chair.

Presentation by Niki Hill, Economic and Development Planning Associate

The proposal submitted is for an 18-foot diameter “Growing Dome” greenhouse structure on the north side of the school and south of the parking lot. The property is zoned O, Office, which allows private schools as a permitted use. City review and approval is based on finding no negative impacts that would conflict with the planned use of adjoining property.

Staff reviewed the plan in accordance with Comprehensive Plan policies and zoning standards. Surrounding land uses include: commercial to the south; low density single family residential to the west and north; high density senior residential to the northeast; and the City of North Oaks Institutional and Commercial uses to the east. The proposed use is consistent with the City’s 2008 Comprehensive Plan.

The structure location complies with the minimum 50-foot structure setback required from a front property line and 10-foot setback from a side property line. The structure will be over 200 feet from the nearest residential lot line with vegetation that will screen views of the structure from residential properties.

Property owners within 350 feet were notified of the request. No comments were received.

The Building Official requires that the spans of system be designed by a registered engineer or that an evaluation report be submitted from a nationally recognized agency. The foundation must be an engineered foundation system.

The Fire Marshal commented that verification is needed that the structure will meet fire code and meet the five listed criteria in the letter submitted.

Staff finds the proposal will not have an impact on adjoining properties or conflict with planned land uses in the area and is recommending approval with the three conditions listed and on the three findings of fact.

Commissioner Solomonson asked the height of the structure. **Ms. Erin Doan**, Head of School, Oak Hill Montessori, 4665 Hodgson Road, stated that the structure is 10 feet 2 inches in height at the center. She reported meeting with the Fire Marshal. The concern is coating on the structure and whether there are any flammable properties in the growing dome. Verification will be provided to the Fire Marshal from the manufacturer. This will be an important programming addition for children ages 16 months through 8th grade.

Chair Peterson opened the discussion to comments and questions from the public. There were none.

Commissioner Solomonson expressed his support for this educational tool that will have very low impact.

Chair Peterson agreed and stated it is part of the mission of the school. He noted that a condition of approval is full consultation with the Building Official and Fire Marshal.

MOTION: by Commissioner Riechers, seconded by Commissioner Anderson to recommend the City Council approve the Site and Building Plan Review application submitted by Oak Hill Montessori, 4665 Hodgson Road. Said approval is subject to the following:

1. A building permit is required prior to any construction activity.
2. The applicant shall address the comments from the Building Official and Fire Marshal prior to the issuance of a building permit.
3. Separate permits would be required for any electrical work done to the structure.

This approval is based on the following findings of fact:

1. The proposed land use is consistent with the designated Institutional land use in the Comprehensive Plan.
2. The proposed development complies with the standards of the City's Development Code.
3. The proposed improvements will not conflict with or impede the planned use of adjoining property.

VOTE: AYES: ANDERSON, PETERSON, RIECHERS, SOLOMONSON, WOLFE
NAYS: 0
ABSTAIN/RECUSED: DOAN AND YARUSSO

PUBLIC HEARING – 2040 COMPREHENSIVE PLAN*

FILE NO: 2709-18-29
APPLICANT: CITY OF SHOREVIEW
LOCATION: CITY WIDE

Presentation by City Planner Kathleen Castle

Minnesota law requires communities to update their Comprehensive Plans every 10 years. The City's last Plan was updated in 2008. Destination Shoreview 2040, the City's 2018 Plan is being presented to the Commission for review and comment.

The City approached revision of the Comprehensive Plan as an update and incorporated community engagement. This included Community Roundtable discussions to establish community vision, values and themes that are integrated throughout the plan. Community conversations were held to focus on key topics: Demographics, Land Use and Development, Economic Development, Housing and Neighborhoods, Natural Resources and Resiliency. Open houses were offered for property owners in areas where future land use designation change is proposed, as well as a number links on the City's website for resident participation. It is anticipated that the Comprehensive Plan will be presented to the City Council for adoption in December and then submitted to the Metropolitan Council.

The Chapters of the Comprehensive Plan are broken down into: 1) stating existing conditions; 2) identifying key issues; 3) presenting an analysis of the issues; and 4) listing goals, policies and recommended actions.

Key opportunities and challenges integrated throughout the plan include:

- To maintain quality neighborhoods and encourage reinvestment in older housing
- To provide a variety of housing choices to meet needs of older residents
- To retain business and promote expansion, adding retail services desired by residents
- To support redevelopment of older commercial/industrial areas that do not meet today's business needs
- To protect lakes, wetlands, natural environment
- To maintain public infrastructure

There are factors imposed by the Metropolitan Council that influence the Comprehensive Plan. Over the next 20-year period, the Metropolitan Council will look at average density, not that every development must be at 5 units per acre. The factors required by the Metropolitan Council are:

1. Shoreview is designated as a suburban community
2. Regional development framework requires an overall average density of 5 units per acre
3. A plan is needed for forecasted population and housing growth

The biggest chapter in the Comprehensive Plan is Chapter 4, Land Use. A number of planning issues are identified and discussed:

- Intensity of Land Use and Development - there is resistance to high density housing and different land use patterns, but development is changing. The difficulty is that with new development, there are higher land costs which requires a different development pattern than what residents are used to seeing, such as mixed use and higher density.
- Infill and Redevelopment shows how the City will grow. Less than 2% of land area remains in Shoreview for development. One of the key issues is how to protect established residential neighborhoods.
- Preserve and reinvest in neighborhoods.

The policy direction developed for land use recognizes the above-listed planning issues. Policy Development Areas (PDAs) will continue to be used a tool to guide future development. This tool has been used since the 1980s. PDAs provide guidance for areas that may see land use changes in the next 20-year period.

There are 19 PDAs that have potential for development or redevelopment that may impact adjoining existing land uses. PDAs identify possible future land use designations for development. An application that changes the existing land use requires a Comprehensive Plan Amendment. However, existing land uses may remain and zoning for a PDA is not being changed. The City is not promoting development in PDAs but is establishing policies for the future in the event a land use change is proposed. Three of the 19 Policy Development Areas received significant public comment.

PDA #6 is the Shoreview Commons residential neighborhood. The boundary of the PDA has been changed to only include properties north of Highway 96 and west of Dale Street. The current land use designation is RL, Low Density Residential. The Comprehensive Plan changes the land use to include RL, and also INST, Institutional; and RM, Medium Density Residential.

Future land use for this area is no longer guided for high density residential development. Overall density shall not exceed 8 units per acre with density to be concentrated in the western portion of the PDA. The PDA also addresses building height, size and buffer.

PDA #11 is Gramsie/Hodgson/Rice Street. Guided land use for the western portion has eliminated Mixed Use and replaced it with O, Office. Density is capped at 15 units per acre. High density residential is suitable due to the proximity of commercial, other high density residential land uses and frontage on Rice and Hodgson as well as the availability of transit. Land uses for the east side include INST, Institutional; C, Commercial; O, Office; and RM, Medium Density Residential. The west side land uses are RM, Medium Density Residential; RH, High Density Residential and O, Office. Recent tree removal has been addressed in the policy.

PDA #16 is new and includes the YMCA and Island Lake Golf Course. Land uses proposed are INST, Institutional; P, Park; and MU, Mixed Use. Ramsey County owns the golf course and is currently in the process of conducting a feasibility study of golf course operations. The County has a no net loss policy regarding any sale of County owned land to another party. While the City would prefer the golf course property be maintained as a park or open space, this property along with the YMCA property, may be attractive for development. Neither the YMCA nor Ramsey County are interested in selling at this time. Language has been added regarding traffic access and impacts to the adjoining residential area.

Chapter 5 - Transportation

Most transportation options fall within other jurisdictional authority—State, County and Metro Transit. Funding and resources for improvements is limited. Travel behavior is changing with changing demographics and societal and technological trends. This chapter addresses future infrastructure needs and assesses the gaps in the trail network. The City supports a multi-modal transportation system that provides safe and efficient movement throughout the community.

Chapter 6 - Economic Development

Business and industry do affect the City's quality of life. As a redeveloping community with limited land availability, new approaches are required to grow business, create jobs, provide services and expand the tax base. Redevelopment and reinvestment are key strategies. In the time span from 2010 to 2040, it is the City's goal to add approximately 3,000 jobs.

Policies to foster economic development include:

- Efforts to retain businesses and support expansion
- Attract businesses to provide employment opportunities and/or specific desired services
- Support redevelopment and reinvestment
- Strengthen Shoreview's competitive position
- Sustain and enhance economic strength of the community and overall quality of life.

Chapter 7 - Housing

Issues identified include aging in place, increasing housing choices for all levels of life cycle, encouraging reinvestment in housing and neighborhoods, and provide opportunity for mixed income housing. Shoreview housing is primarily a single-family residential. Affordable housing

is addressed and information included from the Metropolitan Council regarding the Area Median Income (AMI). This means that an affordable home at 30% of AMI would be \$82,500; 31% to 50% of AMI would be a home priced at \$145,000; and 51% to 80% of AMI would be a price range at \$235,000. The Metropolitan Council forecasts a growth in Shoreview of approximately 1,700 households from 2010 to 2030.

City policies in the Comp Plan for housing:

- Maintain quality of life in neighborhoods
- Strive for livable mixed income community
- Provide new housing opportunities
- Enhance access to housing for local workforce
- Partner with other organizations to maintain active role in affordable and mixed income housing.

Chapter 10 - Parks and Open Space

Issues in this Chapter identify the facts that demographics are changing and the possible need for different facilities and programs; the fact of aging park improvements that need reinvestment; the limited amount of land available for expansion; and that Ramsey County owns and maintains several parks and open space areas in the City.

Policy direction to address these issues:

- Enhancements to ensure park system meets needs of all residents
- Explore potential parkland acquisition to improve park system
- Continue and foster partnerships with organizations that add to the quality of the park system

Chapter 11 - Natural Resources and Resiliency

Issues in Chapter 11 are identified as protection of the urban forest from pests and diseases; recognizing impacts of development on the natural environment; conservation of natural resources; and recognizing the impacts of global warming.

Policies to address these issues:

- Support initiatives to conserve water supply
- Protect and replace plant species with diversified plants to address tree diseases/pests
- Enhance energy conservation efforts and sustainable practices for City operations and land development

Information for this public hearing was published October 10, 2018, and posted on the City website. Notices were mailed to those who participated in the process by submitting comments or signed petitions. Appendix IV has the comments received throughout the process. Staff is recommending the Commission hold the public hearing, make recommendations and continue the hearing to November 27th.

Commissioner Riechers asked if public comment is expected during the continuation of the public hearing. Ms. Castle stated that if there is further public comment, it will be presented at

the November meeting. It is important to allow public comment into the process as much as possible.

Commissioner Anderson noted that in the discussion of PDA #16, it is not noted that PDA #16 is currently zoned C1, Commercial. Ms. Castle explained that zoning is different from land use. The land use is INST, Institutional. The zoning is C1.

Chair Doan asked for clarification on the no net policy with Ramsey County. Ms. Castle stated that it applies to parks and open spaces. If the County is looking at disposing of land within the county park system, there is a no net loss policy that means if 10 acres are sold, another 10 acres needs to be found to replace what is sold. That policy is part of the County Charter. Notification to the municipality and property owners within 1000 must be made and a public hearing held before action can be taken to sell the property.

Chair Doan expressed great appreciation to staff for all their hard work and to residents who have participated and contributed to the process.

City Attorney Kelly stated that proper notice has been given for the public hearing.

Chair Doan opened the public hearing for Destination Shoreview 2040 for comments on all Chapters with the exception of Chapter 4, Land Use, comments of which will be taken separately.

Mr. Jeff Oldenauer, 4747 Hodgson, stated that in 2010, there were just over 10,000 households; Due to high density development, he questioned the number of households would only increase by 300 from 11,800 projected in 2020 to 12,100 in 2040. Ms. Castle explained that a number of housing developments have been recently approved. Based on the most recent development approved, the Metropolitan Council is projecting 12,100 households by 2040. **Mr. Oldenauer** stated that there are 19 PDAs and high density would add a high number of households. Ms. Castle stated that the Metropolitan Council takes into account the forecasted growth for the region and then applies that forecast to each community. It is not tied to the PDAs. As a community, the City needs to show it can meet the forecast of the Metropolitan Council.

Mr. Dave Roy, noted that the land at Gramsie and Hodgson is proposed for development. The traffic is terrible in that area. He asked how development can be proposed without addressing the roads and infrastructure around it.

Chair Doan explained that it would be impossible to answer all questions at this hearing. All comments and questions will be entered into the public record.

Chair Doan opened the hearing to public comment on Chapter 4, Land Use, PDA Nos. 1 through 5. There were no comments or public comment.

Chair Doan opened the public hearing for PDA #6, the Shoreview Commons residential area.

A resident from the corner of Dale and Highway 96, asked if homes will be taken away and change the density. Chair Doan explained that the Comprehensive Plan is a vision for the city to 2040. There is no intent to take anyone's home. There is no intent to use eminent domain for any reason.

Mr. Luke Bonawitz, 4053 Virginia Avenue, stated that it is shortsighted for residents to only focus on the PDA that might impact them without focus on the whole system. He asked if the Planning Commission took into consideration transportation and what is most suitable to get transportation for the proposed higher densities. Where he lives on Virginia Avenue it takes four hours on public transportation to reach Bethel University. How is the proposed density aligned with adequate transportation. Chair Doan stated that the Planning Commission takes seriously the intersection of land use and transportation. A few years ago there was an arterial study that looked at all the major corridors in the City, such as Highway 96, Hodgson, etc., and what is the most appropriate development in those areas that would be least impactful to neighborhoods. The McMillan at I-694 and Rice Street is at a location where there is a big transportation node. The same is true for the Shoreview Campus where the Loden is being built.

Mr. Bonawitz stated that he concurs with what is proposed at Gramsie and Hodgson.

Chair Doan opened the public hearing for PDA Nos. 7 through 10. There were no public comments or questions.

Chair Doan opened the public hearing to PDA #11, Gramsie, Hodgson, Rice Street.

Ms. Allison Rykken, 4025 Virginia Avenue, stated she is speaking on behalf of the neighborhood and read their statement which will be forwarded by email to the Commission for the record. Briefly, she stated it is a dream neighborhood both as parents and as individuals. The neighborhood has been meeting regularly since November 2017, when the land use designation for the property area was changed to high density and mixed use development. In May 2018, the property was clear cut to remove invasive species. The property is currently a black locust and buckthorn forest. Numerous residents adjacent to the property in Shoreview and Vadnais Heights have provided over 140 signatures raising their concern to remove high density designation on the property and restore low density development. In the 2040 proposal, high density is listed, but low density is not. The neighborhood is disappointed with the property owner and the response from the City. The neighborhood has had high turnover and all realized that the property at the end of Virginia Avenue would be developed at some point. At the time she and her husband purchased their property, the property at the end of Virginia Avenue was planned for medium density residential, 8 units per acre. Now high density is proposed, although capped at 15 units per acre instead of 17. And mixed use has been removed, for which the neighborhood is grateful. The neighborhood wonders why low density is not an option and why high density is needed. She requested consideration for property values, safety and quality of their neighborhood. Residents feel strongly that low density residential would impact these factors in a positive way. Building high end single family homes could increase property values, keep children safer, and would have the lowest impact on traffic and access to Hodgson. The neighborhood supports low density residential or office space. It is requested that high density

residential and medium density residential be removed from the plan and add low density residential.

Chair Doan opened the public hearing for PDA Nos. 12 through 15. There were no public comments or questions.

Chair Doan opened the public hearing for PDA #16, the YMCA/Island Lake Golf Course.

Mr. Merrill Morris, 1016 Island Lake Avenue, stated that he speaks for himself and for a group called Advocates for Island Lake. There are traffic concerns, especially with Arden Hills constructing Lexington Square with a new hotel and 500 more cars per day at the intersection of Red Fox Road and Lexington, which is already designated by Ramsey County Public Works as a “no capacity intersection.” The idea of further development behind Target and other businesses is a concern. There is also concern about the loss of the County park and potential loss of trails, pier and walking paths along the lake. Although the Comprehensive Plan expresses a preference to maintain a park area, residents are not convinced the City would be able to enforce that if it is sold to a developer. There is concern about the Island Lake and Milton Street neighborhoods that do not have sidewalks. If Milton Street were opened as proposed, it would create a danger for walkers from Deluxe, local schools and people who use the trails. This is a neighborhood with a lot of children. There is also concern about the YMCA. There are no plans to sell the property, but it is his understanding that if an offer too good to refuse were to come along, the property would be sold. The building is old, filled to capacity and no room to expand. The YMCA would like to have more use of the park space, but a good offer may lead them to look at another location. It may not happen in the next 2 or 5 years, but putting a land use designation of MU (Mixed Use) on the property is putting a “For Sale” sign on the property. It also impacts the County golf course. With another Comprehensive Plan in another ten years, there is time to further consider impacts of Mixed Use to this area, the YMCA and hold off on this designation.

Mr. Nick Thompson, 3446 Chatsworth Street North, stated that he and his wife were drawn to Shoreview because of the parks, trails, lakes, Community Center, YMCA. He is disappointed that the Metropolitan Council and City would try to change the land use designation that would change those amenities. This vision is not one he is interested in. This Plan does not represent the social values that he and others would like to see for Shoreview.

Ms. Robin Meyer Thompson, 3446 Chatsworth Street North, stated that the trails, the YMCA and open spaces are very important to her. She would oppose the change to a Mixed Use designation. She would also oppose the “no net loss” policy. Although other acreage may be designated for parkland, it likely would not be within walking distance for her and her husband.

Mr. Mark Connick, 996 Island Lake Avenue, stated his concern is about extending Milton Street and the increased traffic that it will bring to Island Lake. His children go up the street to see their grandmother. He is a biker and fully intends to use the existing trail in 2040. He requested no designation of Mixed Use, that it remain park. He fully supports the comments presented before him.

Mr. Steve Olson, 3680 Milton Street North, asked if the “not net loss” policy of Ramsey County means that if the golf course were developed, the new parkland would be kept in Shoreview. Also, Lexington traffic is becoming heavier and heavier all the time.

Chair Doan asked for any further comments on the Comprehensive Plan.

Mr. Kent Bergh, 259 Hanska Ct, stated that it appears society is at a real transportation shift with electric vehicles. He asked if development has been sufficiently thought through where development will be how it will be when everyone wants to be instantly connected to the internet and those with enough money or government can bring things down. When the electric grid goes down, has Shoreview thought about some type of self-generated power to keep things running.

Mr. Blake Ryan, 534 Tomlyn Avenue, asked the ramifications if the City does not meet the guidelines set by the Metropolitan Council. He and his wife grew up in Shoreview and knew they wanted to live in the City because it is largely single family homes and not so many apartment buildings. A year after purchasing their home, they were unhappy to learn that the property behind them might be rezoned for a high density development. His question is what are the ramifications of this decision.

Ms. Ann Thomas, 688 Highway 96, asked how residents will know the Commission’s and City’s responses to what has been said at this public hearing. Chair Doan stated that as the public hearing will be open until November 27, public comments will continue to be taken. There will be a Commission discussion at this meeting. If needed, a Commission workshop meeting can be held. It is important to get it right, and if there are lingering issues, the City can request an extension of the December 31st deadline. Ms. Castle stated that any changes recommended by the Planning Commission will be posted online.

Chair Doan added that neighboring cities have reviewed the Plan and provided comments. There is a process to make sure everyone’s voice is heard. The City Council will also hold a public hearing and make the final decision.

Mr. Charlie Altman, 5282 West Beach Court, expressed his appreciation to Ms. Castle for holding all the open forums and the tremendous amount of work it has taken for this process.

Mr. Bonawitz asked if the City ends up with more units than projected by 2040. In the 2008 Plan, did the City surpass the number of units for housing? If housing does not meet projected housing goals, what happens with a closed school district?

Chair Doan continued the public hearing to November 27, 2018. Public comment can continue to be taken during this period.

Commission Discussion

Commissioner Yarusso stated that the reason to put high density development at Gramsie and Hodgson is because that is one of the few corridors in Shoreview where there is a bus, although

it is only once an hour. Where existing transit is currently is part of the decision. Putting a PDA on the map does not mean there are plans in the works. The PDA responds to a “what if” scenario. An example would be the Shoreview towers. There is no thought that the towers would be abandoned, but technology is changing and the towers might go away. The Island Lake Golf Course depends on action by Ramsey County. There are no legal consequences if the density target is not reached. However, there will be no transit development without achieving the density target. Transit decisions are based on density to serve the most people. One of the few opportunities the City has to increase affordable housing units in the City is when working with a developer on medium or high density development. Affordable housing is needed to bring people to work at the retail services residents want. The PDAs are an opportunity for the City to be able to influence the type of development that occurs rather than just zoning. Without a PDA, a developer who meets zoning criteria could build the development.

Commissioner Solomonson thanked everyone who has participated in this process. He was surprised to hear that the YMCA in West St. Paul is being sold. Also, there are a number of golf courses being sold. The PDA allows the City to be proactive and protect the neighborhood to the south when development occurs. There have been corridor highway studies. The discussion of density in PDA #11 makes it difficult to envision what would be developed and whether high density would be appropriate. High density should be next to busy streets.

PDA #11

Commissioner Peterson stated he does not recall why there is not an option for low density in PDA #11. There would be more options if low, medium and high density were all options. The cap of 15 units per acre would make it less dense than Shoreview Estates. Adding low density would add more flexibility. If there is no vision, the YMCA could sell to anyone rather than complying with the City’s preference. He would not want to do anything to encourage the sale of the YMCA. In PDA #16 he would want it to be clear that only medium or low density would be allowed behind the YMCA. Also, there should be clarification on the park and access to the trail on the eastern portion.

Commissioner Anderson asked the schedule for Hodgson Road improvements. Castle stated that it is scheduled in 2021, but there are no design plans at this time. Commissioner Yarusso added that the County has identified the need for Hodgson Road improvements, but there is no money available. It cannot be predicted when funding will be available.

Commissioner Riechers agreed with Commissioner Peterson on the idea of adding low density to PDA #11. In looking at PDA 11 and 16, language has been added to the draft plan to protect lower density neighborhoods from added traffic. The higher density would bring more traffic. She would like to see the separation of high density from low density residential clarified in the plan for PDA #16.

Commissioner Wolfe agreed with the comments of other commissioners. He expressed appreciation to those who spoke for their ideas. He would be interested in seeing low density as an option for Gramsie. He thanked everyone for their views.

Chair Doan stated that in PDA #11 he would be open to adding low density. Density does not necessarily define height. It depends on design and placement on a parcel. When the Commission deliberated The McMillan, the developer was asked to move the footprint and orient the high density apartment building toward the highway. Regarding the “no net loss” policy of Ramsey County, it is his understanding that there is no requirement that the lost parkland would be replaced within the City. He stressed the role of the County. The City in this process is trying to guide what could happen there. There needs to be guidance for land use because there is no guarantee on market development. What is being done in PDA #16 is prudent. It is not a “For Sale” sign that would generate interest in the site. He asked about coordination with the school district on this plan. Ms. Castle stated that the school district received the plan and for comment, but no comments have been received.

Chair Doan noted that it is very difficult to predict the future in terms of transportation, but increased use of electrical vehicles or vehicles that can just be called at will may become a reality. Mobility of service is a new offer that will be coming and people will be buying a transportation subscription like any other service rather than having the asset of having car. He anticipates that by 2040, human driven cars will be prohibited in certain areas because people are too dangerous. For now, the present document forms a well developed, well engaged and well informed that represents the values of the community and will lead to good things in the future.

Commissioners noted corrections to the plan: the number of households do not agree in Chapters 3 and 7; PDA #16 needs to be changed in the Plan to reflect density in the western portion. PDA #11, add low density.

Commissioner Yarusso asked if adding low density means the entire property could be developed as low density, or there could be a blend of density and establish a target as part of a transition. Any number higher than 4 would need a mixture.

Commissioner Solomonson stated that the easiest thing would be to just add low density as an option. Commissioner Yarusso suggested that low density not be oriented toward Hodgson because a single family home would require a driveway.

Commissioner Riechers stated that regardless of density, access will be needed. Her concern with high density is traffic in the neighborhood. She would support medium density with language on each level of density as to how traffic would be managed.

Commissioner Yarusso responded that a common driveway for high density is more manageable than a driveway for each single family residence. Added language is needed so a property is not purchased and the City not able to influence how development occurs. Ms. Castle stated that if low density were developed, the City would look for a network of interior roads.

Chair Doan stated that to attract and maintain transit density is needed. The higher density use is already there for PDA #11. It would be prudent to add low density with a floor, such as 5 so it is not just straight low density. He noted that high density at 15 units per acre would be 90 units on the six acres that would generate approximately 450 trips per day. Hodgson alone generates over 11,000 trips per day. High density will not overflow or saturate Hodgson or Gramsie with

traffic. It is a bit of a misconception about what traffic high density generates. The increase on this site would be marginal. Low density makes sense but with an allowance above 4 units per acre.

Commissioner Solomonson stated that a floor of 5 is higher than the maximum 4 units per acre of low density. He would prefer to just state low density. His question is whether to keep high density with the cap of 15.

Commissioner Anderson stated that he would prefer medium density in PDA #11 with no cap. If high density is allowed, guidelines are needed on how density will be spread across the site.

Commissioner Peterson agreed with adding the low density designation to PDA #11 but with no specification of the number of units. There already is language in the plan regarding management of traffic.

Ms. Castle summarized that the Commission agrees low density should be added to PDA #11 with policies and guidelines regarding traffic and access. Staff will draft options on language for PDA #11.

PDA #16

Commissioner Riechers requested that high density not adjoin low density and that there be a transition between the two.

Commissioner Peterson suggested deleting the option for high density on the strip of land east of the YMCA and indicates low density. The second sentence in F. would be removed. Low density would also be designated for the golf course property. There is no reference to an option if the YMCA were removed. High density would be better close to Lexington, if the YMCA closed.

Commissioner Solomonson requested language to address the church expansion.

MISCELLANEOUS

City Council Meetings

Commissioners Wolfe and Peterson to respectively attend the November 5th and November 19th meetings. Commissioner Wolfe requested being scheduled in a different month next year.

ADJOURNMENT

MOTION: by Commissioner Solomonson, seconded by Commissioner Anderson to adjourn the meeting at 10:12 p.m.

ATTEST:

Kathleen Castle, City Planner

TO: Planning Commission
FROM: Niki Hill, AICP, Economic Development and Planning Associate
DATE: November 21, 2018
SUBJECT: File No. 2710-18-30; Variance – Detached Accessory Structure, 4895 Churchill Street, Sandra Morgan

INTRODUCTION

Sandra Morgan has submitted a variance application for the property at 4895 Churchill Street. The applicant is requesting a variance to locate a 10x16, 160 square foot shed in the side yard adjacent to a street. The shed was installed without the required City Permit. A variance from the Development Code standards can be granted provided practical difficulty is present. The application was complete November 8, 2018.

BACKGROUND AND PROJECT DESCRIPTION

The property is located on the southwest corner of the intersection of Robinhood Place and Churchill Street and is currently being used for single-family residential purposes. The parcel is .28 acres, has a lot area of 12,074 square feet, a lot width of 100 feet along Churchill, and a lot depth of 121.74 feet along Robinhood Place. Site improvements include the existing home, an attached two-car garage, driveway, patio and sidewalk areas. The topography of the property is generally level. Adjacent land uses include single-family residential to the north, south, east, and west.

The applicant is requesting to locate a pre-built 10 x 16 foot, 160 square foot, shed north of their existing garage. The proposed location of the shed is in the front yard, which is a side yard abutting a street and a variance has been requested.

DEVELOPMENT CODE

In accordance with Section 205.082(D5) Accessory Structures on parcels less than ½ acre are permitted provided certain standards are met. Accessory structures less than 200 square foot are permitted in an interior side or rear yard. A minimum 5 foot setback is required from the side lot line and a minimum of 10 foot side setback is required from the rear lot line.

Section 205.082(D)(5)(a) ii - Accessory buildings on corner lots shall be setback the same distance as the principal structure from the street right-of-way except as permitted in 205.080(D)(1).

Sheds are also limited to a height of 18 feet in height, with maximum 10 foot sidewalls and must meet other design standards.

VARIANCE CRITERIA

When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variances is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined as:

- 1. Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

2. *Unique Circumstances.* The plight of the property owner is due to circumstances unique to the property not created by the property owner.
3. *Character of Neighborhood.* The variance, if granted, will not alter the essential character of the neighborhood.

For a variance to be granted, all three of the criteria need to be met.

APPLICANT'S JUSTIFICATION OF PRACTICAL DIFFICULTY

The applicant states that they are requesting a variance to locate the shed in this location based on the current space available. The applicant states that there is nowhere else that they could have put the shed. The applicant also states that there is landscaping on the north side of the yard which mostly conceals the shed from the view of Robinhood Place.

See applicant's statement.

STAFF REVIEW

It is staff's opinion that practical difficulty is not present since all three criteria are not met.

Reasonable Manner. The applicants' proposal to place a shed on the property is reasonable, but there are other locations in the yard where it could be located that comply with City code.

Unique Circumstances. While staff is sympathetic to the applicants desire to retain the existing vegetation that was planted by the applicant's late mother, staff believes that the existing landscaping is not a unique circumstance to prevent the shed from being located in the rear yard. Additionally, the yard is flat and has ample space in which to locate the shed that meets the development code and would avoid this vegetation.

Character of Neighborhood. Staff believes that the approval of locating the shed in this location will change the character of the neighborhood. There are additional properties on corner lots that have already expressed interest in locating a shed in the similar location. Lastly, the proposed structure will be highly visible from that location as the existing vegetation is not sufficient to negate visual impacts.

PUBLIC COMMENT

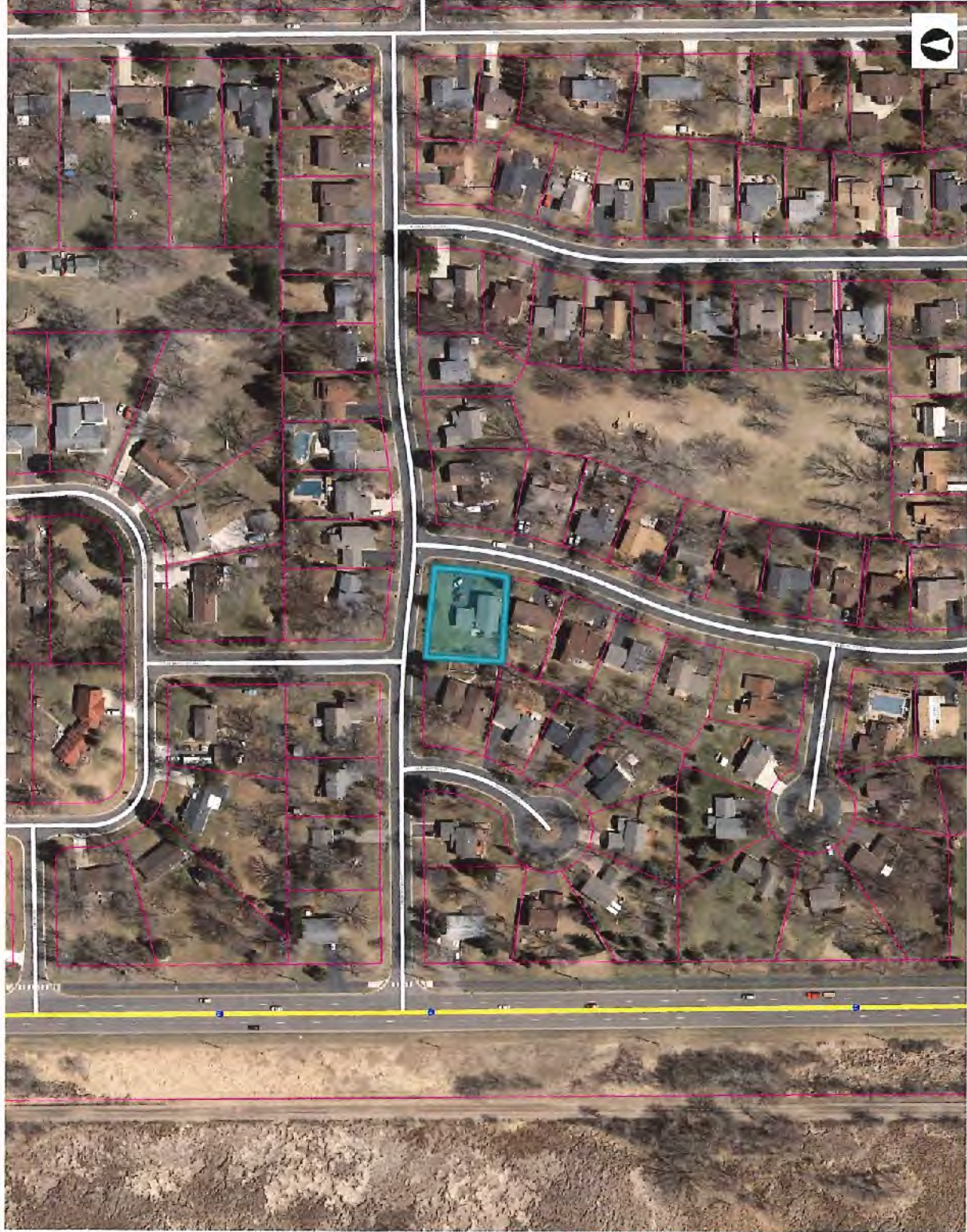
Property owners within 150 feet were notified of the applicant's request. One comment was received in support and two were opposed.

STAFF RECOMMENDATION

In Staff's opinion, practical difficulty is not present for the variance since all three criteria are not met. The shed could be located in accordance with the Development Code requirements.

Attachments:

- 1) Location Map
- 2) Submitted Statement and Plans
- 3) Response to Request for Comment
- 4) Motion



400.0 200.00 400.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet
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Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

Enter Map Description

Date: Fri, 07 Sep 2018

Notes:



Unique circumstances

The house at 4895 Churchill Street was originally owned by my parents Charles Willard & Phyllis "Elaine" Fuller.

I was only a child when we built this house and moved here in 1976.

My father Charles passed away in 2007, and my mother Elaine in 2017.

We (my husband Robert and I) purchased the property from my mother's estate.

We placed our pre-built shed in its current location because that is where there was adequate space available. There is nowhere else we could have put it. The layout and positioning of the landscaping were done by my parents.

Behind the garage was not a consideration as there is landscaping in that place which was planted by my late mother, and I do not want to disturb her beautiful work.

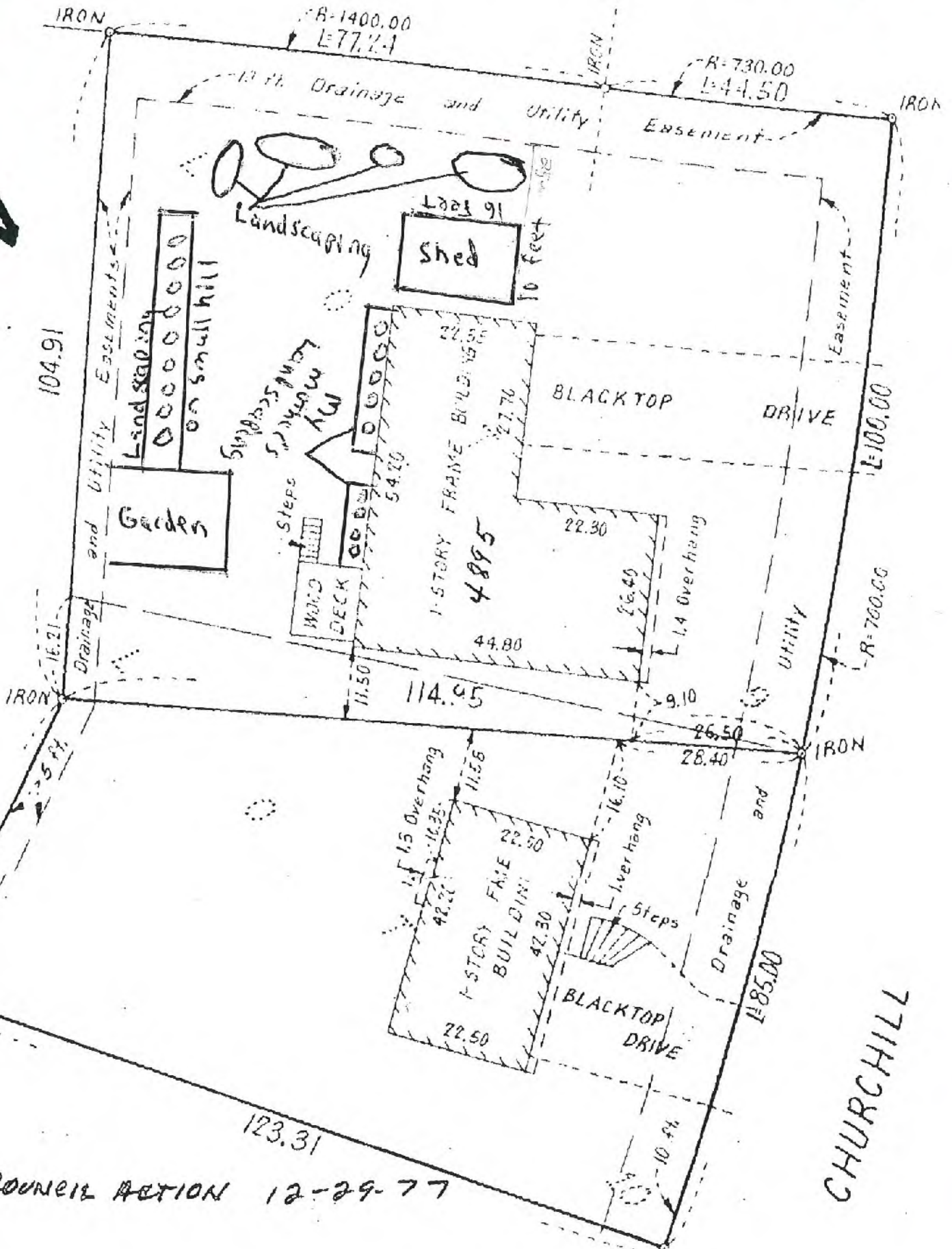
On the north side of the yard, there is landscaping which mostly conceals the shed from view from Robinhood Place.

Sandra Morgan
4895 Churchill Street
Shoreview, MN 55126

ROBINHOOD

258-76

PLACE



SEE COUNCIL ACTION 12-29-77





Nicole Hill <nhill@shoreviewmn.gov>

File No. 2710-18-30 4895 Churchill Street

Jeff Mettayer <jmettayer@icloud.com>
To: nhill@shoreviewmn.gov

Wed, Nov 14, 2018 at 2:50 PM

Hi Niki,

We would prefer NOT to see the neighbors' sheds located in front/side yards. Already another shed is showing up on another neighbor's property (front/side) and it looks to be a new and disturbing trend. (Oxford & Robinhood Place) We would prefer to have it located in their backyards where there appears to be plenty of room.

There already is an issue on this property with 5-6 cars and only 2 people living there and between the cars and shed, not a pleasant view for us neighbors.

Thanks,
Jeff & Mary Jo Mettayer
1037 Robinhood Place
(Residents for 41 years)

Sent from my iPad



Nicole Hill <nhill@shoreviewmn.gov>

Variance request comment

1 message

RON and ANGELICA VAN IPEREN <ang_n_ron@msn.com>

Fri, Nov 16, 2018 at 3:45 PM

To: "nhill@shoreviewmn.gov" <nhill@shoreviewmn.gov>

I received a comment sheet in regards to a variance for a shed at [4895 Churchill St.](#)

An emphatic "NO" should be the vote and shouldn't be up for consideration. This neighborhood is riddled with residential outbuildings and other "so called" improvements whose owners never got permits. Covenants are there for a reason including property values, considerations of safety, aesthetics and the environment. Multiple cars parked in the driveways-boats-sheds-where does it stop?

No way this should be allowed and there's another shed built at the corner of Oxford and Robinhood that's another eye sore and I'm wondering why that is there?

Thank you.

A neighbor



Nicole Hill <nhill@shoreviewmn.gov>

Variance Application for Sandra Morgan

1 message

Debbie Pensini <dpensini@trendent.com>

Fri, Nov 16, 2018 at 3:45 PM

To: "nhill@shoreviewmn.gov" <nhill@shoreviewmn.gov>

Ms. Niki Hill,

My husband Alain Pensini and I are neighbors to the west of Sandra and Robert Morgan living at 4895 Churchill Street. Our backyards meet. We do not have a problem with the location of the shed they placed to the north of their garage. They both work hard to keep their lawn manicured and are respectful of their neighbors.

Please let us know if you have further questions in regards to this issue.

Sincerely, Debbie Pensini

Pensini's

4900 Robinhood Circle

Shoreview, MN 55126

Deborah Pensini PHR

Director of Human Resources

TREND enterprises, Inc.

300 Ninth Avenue SW * New Brighton * MN * 55112

Ph: 651-582-3547 FAX: 651-582-0650

dpensini@trendent.com



**PROPOSED MOTION
TO DENY VARIANCE
TO LOCATE SHED IN FRONT YARD
4895 CHURCHILL STREET**

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To deny the variance request, submitted by Sandra Morgan, 4896 Churchill Street, to locate a shed in the front yard of a corner lot,

VOTE:

AYES:

NAYS:

TO: Planning Commission
FROM: Aaron Sedey, Associate Planner
DATE: November 19, 2018
SUBJECT: File No. 2706-18-26, Shepherd of the Hills Lutheran Church, 3920 Victoria St, Comprehensive Sign Plan

INTRODUCTION

Shepherd of the Hills Lutheran Church, 3920 Victoria St N, submitted an application for a Comprehensive Sign Plan to replace an existing monument sign that has a readerboard sign with one that has an electronic message center sign. This was heard at the October 23rd Planning Commission and was tabled to a future Planning Commission Meeting due to concerns regarding the sign design and full color display. The full color display is being changed to a sing color (amber). The intent of the message center sign is to advertise the events and services of the Church. A Comprehensive Sign Plan is required because the property is zoned residential and an electronic message center sign is proposed.

SITE CHARACTERISTICS

The property is located on the southeast corner of Victoria St North and Gramsie Road and has an area of 4.72 acres and a width of 616' along Victoria St. The property is developed with the church structure and off-street parking lot. The church building is approximately 24,127 gross square feet in size. The building is located in the southern portion of the property with the parking area on the north and west side of the property. Access to the parking lot is gained from existing driveways off Victoria St and Gramsie Road.

The property is zoned R1, Detached Residential. Churches are considered quasi-public uses and are permitted in this zoning district through the site and building plan review process upon the finding that the use will not impede or otherwise conflict with the planned use of the adjoining property. The church is surrounded by low-density residential.

PROJECT DESCRIPTION

Signage on the property includes an existing monument sign along Victoria St and minimal wall signage on the building elevation. The only proposed change would be to the existing monument sign which is designed with a brick base and pillar and contains an illuminated cabinet sign panel with a manual readerboard. The sign, including the brick base and not the pillar, has a height of 7' 5" and a width of 8' 8".

The sign face has a height of 4'8" and a width of 8' 8" for a sign area of 40.44 square feet. The readerboard is incorporated into this sign panel and provides 3 lines of text.

The applicants are proposing to re-use the brick base and install a new sign with an electronic message center and cabinet sign. The proposed sign is designed to have a LED cabinet on the top to display the Church's name, which will be lit internally. The total sign face has a height

of 5' 2" and an area of 41.76 square feet, which includes the 29.6-square foot for the message center sign. The height of the sign structure is approximately 7' 5". The applicants originally asked to use a full color message center but have altered this to display in amber only. Please see the attached plans.

This application has been submitted because electronic message center signs on public/quasi-public properties zoned residential are permitted with a Comprehensive Sign Plan provided certain standards are met. Deviations from the City's sign standards can be allowed with a Comprehensive Sign Plan. The applicant is still requesting a deviation to the maximum area permitted for the sign for the message center.

DEVELOPMENT CODE REQUIREMENTS

Signs are regulated in Section 208 of the Development Code. Per Section 208.040 (B)(12), public/quasi-public uses zoned residential may have a freestanding sign provided it is a monument or ground style design. If the sign faces property planned for residential use, the sign area cannot exceed 40 square feet and the height of the sign face cannot exceed 6'. An electronic message center sign is permitted provided the sign meets criteria regarding area, location and orientation, display hours and color (Section 208.040 (B)((8)(a) and (c)). The message center sign must be integrated into a freestanding ground or monument style sign. The non-message center portion of the sign must include the name of the building or facility and be displayed with individual letters.

A Comprehensive Sign Plan is required since the proposal includes a message center sign and the property is adjacent to residential land uses. An approved plan may vary from the dimensional standards set forth in the Sign Code without approval of a formal variance provided the sign package results in attractive signage that is compatible with the premises and adjoining development. Considerations include location, materials, size, color and illumination (Section 208.060).

When a deviation to the regulations is proposed, the Comprehensive Sign Plan requires review by both the Planning Commission and City Council with the City Council taking final action. Approval of the plan needs to be based on the following findings (Section 203.040 (C)(2):

1. The plan proposes signs consistent in color, size and materials throughout the site.
2. Approving the deviation is necessary to relieve a practical difficulty existing on the property.
3. The proposed deviations from the standards of Section 208 result in a more unified sign package and greater aesthetic appeal between signs on the site.
4. Approving the deviation will not confer a special privilege on the applicant that would normally be denied under the Ordinance.
5. The resulting sign plan is effective, functional, attractive and compatible with community standards.

OCTOBER PLANNING COMMISSION

The Planning Commission reviewed this at their October 23, 2018 meeting and tabled the request and extended the review period from 60 to 120 days. The Commission at this meeting

seemed to be split on the size and proportions of the readerboard of the sign and the use of the full color display. A consensus of the Commission was that any change for the use of a full color display would be better suited as a code change to allow everyone to do it rather than allow one party at this time to utilize it.

STAFF REVIEW

The proposed sign was reviewed in accordance with the City's requirements for freestanding signs, message center signs and Comprehensive Sign Plans.

Freestanding Sign Standards

The proposed sign will replace the existing monument sign but utilize the existing brick sign base. The following table summarizes the proposal in comparison with the City's Sign Code standards. A deviation is being sought for the proposed sign area.

	SIGN CODE STANDARDS	PROPOSED SIGN
Minimum Location setback from property line	5 feet	15 feet; No change
Sign Height	16 feet	7 feet 11 inches
Sign Face Height	6 feet	5 feet 2 inches
Sign Area	40 square feet	41.76 square feet*

*Deviation required

The proposed 41.76 square foot sign area exceeds the maximum 40 square feet permitted. When a freestanding sign for a public/quasi-public use faces property planned for residential use, this stricter standard is imposed to minimize the visual impact on the residential land uses. The proposed sign will be perpendicular to the adjoining residential neighborhood to the west.

Message Center Standards

The applicant has stated that the sign will comply with the general standards identified in the Development Code related to audio/pyrotechnics, brightness, dimmer control and displaying amber in color. The following table reviews the proposed message center sign with the Code requirements for public/quasi-public use in residential zoning districts.

	SIGN CODE STANDARDS	PROPOSED SIGN
Land Use	Public/quasi-public	Public/quasi-public
Maximum Area	35% of the total sign area (14.6 square feet) or 30 square feet whichever is less	29.6 square feet*
Minimum Area	20 square feet	29.6 square feet*
Location and Orientation	Minimizes visual impact on adjoining residential properties	Yes
Hours of Display	11:00 pm to 6:00 am	11:00 pm to 6:00 am
Color	Amber	Amber

*Deviation required

Location and Orientation

The church is adjacent to all single-family residential land uses. While the location of the sign is not changing, the message center sign may be visible from some of the adjoining residential uses. The Staff has concerns about the visual impact due to the orientation of those homes, however, there is distance between the sign and residential homes due to a 77 foot ROW for Victoria St.

The Church would reduce some visual impact by following the portion of the Sign Code which does not permit the message center sign to be displayed between 11:00 pm and 6:00 am. Further the change to an amber display only should mitigate the visual impact.

Comprehensive Sign Plan Review

The intent of the Comprehensive Sign Plan is to allow flexibility from the sign standards without formal approval of a variance provided it results in an attractive sign that is compatible with the premises and adjoining development. Staff believes that what is proposed with the message center size isn't consistent with the findings necessary for the Plan to be satisfied.

1. *The plan proposes signs consistent in color, size and materials throughout the site.* The retained brick of the sign compliments the natural colors of the church building. The sign design is intended to provide a modernized look while simplifying the sign graphic so the message is easily read, but the readerboard size can be viewed as an inconsistency in what is allowed by code.
2. *Approving the deviation is necessary to relieve a practical difficulty existing on the property.* The deviation is to exceed the maximum 40-square foot sign area permitted since the proposed sign has an area of 41.76 square feet. In Staff's opinion, the practical difficulty relates to the character of Victoria Street, the sign location, and separation from adjoining residential land uses. While the property is situated on an arterial roadway, Victoria St off the 694 interchange, this portion of Victoria has residential character. The deviation for message center sign area isn't a practical difficulty from the property itself, rather a preference of the Church.
3. *The proposed deviations from the standards of Section 208 result in a more unified sign package and greater aesthetic appeal between signs on the site.* The existing brick base will be retained and the color complements the church building. The replacement of the readerboard with an electronic message center sign is intended to visually improve the look of the monument sign and improve advertising for church events and services. However, the readerboard size does not make it a more unified sign package.
4. *Approving the deviation will not confer a special privilege on the applicant that would normally be denied under the Ordinance.* The type of sign proposed is permitted on public/quasi public properties located in residential zoning districts. Staff does not believe the proposed deviation of overall sign size will provide the applicant with a special privilege, but sign proportion would, as it hasn't been allowed by City Code. Similar uses are subject to the being proportioned closer to 35% of the overall sign.

5. *The resulting sign plan is effective, functional, attractive and compatible with community standards.* The proposed sign package is effective, functional and compatible with the quasi-public use. The intent of the sign is to provide a more efficient method of communicating special events and services offered by the church. However the proportion of message center to overall sign is not consistent with Code for these types of signs in residential districts. Messages could still be conveyed using a more proportional sign.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of this request. No new comments were received.

RECOMMENDATION

Staff reviewed the proposal in accordance with the requirements for signage and a Comprehensive Sign Plan. While Staff appreciates the change from a full color display to an amber only display for the readerboard, the message center sign area is still a concern. The readerboard is larger than what has been allowed in similar signs approved.

However since the Planning Commission had mixed opinions in October regarding the deviation from the sign code permitting a larger freestanding sign and message center. This deviation may seem reasonable since the property is on Victoria an arterial road and near I694. Staff has included two motions for the Planning Commission to consider. The first motion is recommend approval of the Comprehensive Sign Plan to the City Council with conditions attached. The second motion is to recommend City Council dent the Comprehensive Sign Plan.

Attachments

1. Location Aerial Map
2. Submitted Plans
3. Proposed Motions
4. Attachment A — Sign Code



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

Enter Map Description

1,333.3 0 666.67 1,333.3 Feet

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NAD_1983_HARN_Adj_MN_Ramsey_Feet
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SHEPHERD OF THE HILLS

3920 North Victoria St
Shoreview, MN 55126

→ ID Sign



104"

56" H x 104" W = 40.44 sq ft total



97"

18" LED Cabinet

EMC

62" H x 97" W = 41.76 sq ft total



Jim Hamilton 651-247-8224
sales@hamiltonsign.com

MOTION
TO APPROVE AN AMENDMENT TO THE COMPREHENSIVE SIGN PLAN
SHEPHERD OF THE HILLS LUTHERAN CHURCH
3920 VICTORIA STREET NORTH

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the Comprehensive Sign Plan Amendment submitted by Shepherd of the Hills Lutheran Church, subject to the following conditions:

1. The sign shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.
2. The applicant shall obtain a sign permit prior to the installation of any signs on the property.
3. The message center sign shall:
 - a. Display text shall be use a minimum 6-inch character height to be readable by passing motorists without distraction.
 - b. Messages shall be displayed in their entirety to allow passing motorists to read the entire copy.
 - c. Messages shall not include telephone numbers, email addresses or internet urls.
 - d. Messages shall be displayed for a minimum of 8 seconds, and shall change instantaneously.
 - e. Messages be presented in a static display, and shall not scroll, flash, blink or fade.
 - f. Advertisement is limited to the goods and services offered on-site. Text shall be the dominant feature of the display.
 - g. The message center sign shall not be operated between the hours of 11:00 pm and 6:00 am.
 - h. Said sign shall comply with the City's standards regarding brightness and dimmer control.
 - i. The sign message or display shall be amber in color as to reflect code.

Approval is based on the following findings:

1. *The plan proposes signs consistent in color, size and materials throughout the site. The retained brick of the sign compliments the natural colors of the church building. The sign design is intended to provide a modernized look while simplifying the sign graphic so the message is easily read.*
2. *Approving the deviation is necessary to relieve a practical difficulty existing on the property. The deviation is to exceed the maximum 40-square foot sign area permitted since the proposed sign has an area of 41.76 square feet. In Staff's opinion, the practical*

difficulty relates to the character of Victoria Street an arterial roadway, the sign location, and separation from adjoining residential land uses.

3. *The proposed deviations from the standards of Section 208 result in a more unified sign package and greater aesthetic appeal between signs on the site.* The existing brick base will be retained and the color complements the church building. The replacement of the readerboard with an electronic message center sign is intended to visually improve the look of the monument sign and improve advertising for church events and services.
4. *Approving the deviation will not confer a special privilege on the applicant that would normally be denied under the Ordinance.* The type of sign proposed is permitted on public/quasi public properties located in residential zoning districts. Staff does not believe the proposed deviation of overall sign size will provide the applicant with a special privilege.
5. *The resulting sign plan is effective, functional, attractive and compatible with community standards.* The proposed sign package is effective, functional and compatible with the quasi-public use. The intent of the sign is to provide a more efficient method of communicating special events and services offered by the church.

VOTE:

AYES:

NAYS:

Regular Planning Commission Meeting – November 27, 2018

**PROPOSED MOTION
TO RECOMMEND DENIAL COMPREHENSIVE SIGN PLAN
SHEPHERD OF THE HILLS LUTHERAN CHURCH
3920 VICTORIA STREET NORTH**

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend denial to the City Council of the Comprehensive Sign Plan submitted by Shepherd of the Hills Lutheran Church, 3920 Victoria St N., for a freestanding monument sign with a message center.

VOTE:

AYES:

NAYS:

ATTACHMENT A - SIGN CODE REQUIREMENTS

208.040 Permitted Signs and Sign Standards:

(B) Standards, by Sign Type

(8) **Message Center.** Message Center Signs shall be integrated into a free-standing sign that is a monument or ground style sign, except as otherwise permitted for Gas Price Display and Incidental Signs. The non message center portion of the sign shall include the name of the building or facility. The name shall be displayed in an individual-letter format in letters that dominate all other names and graphics on said sign.

(a) General Provisions

(i) Display. The sign message shall be displayed to allow passing motorists to read the entire copy with minimal distraction. The minimum display period for any message shall be 8 seconds.

(ii) Audio or pyrotechnics. Audio speakers or any form of pyrotechnics are prohibited.

(iii) Brightness.

i. Lighting. Lighting shall be set at a minimum level which the billboard is intended to be read and shielded to minimize glare.

ii. The light level shall not exceed .3 foot candles above ambient light as measured from a pre-set distance depending on sign size. Measuring distance shall be determined using the following equation: the square root of the message center sign area multiplied by 100. Example: 12 square foot sign $A_i(12 \times 100) = 34.6$ feet measuring distance.

iii. Dimmer control. The sign must have an automatic dimmer control that automatically adjusts the sign's brightness in direct correlation to ambient light conditions. Said sign shall be equipped with a photo cell designed to measure the ambient lighting conditions and adjust the sign brightness as needed so as to be in compliance with this ordinance.

iv. No portion of the message may flash, scroll, twirl, fade in or out in any manner to imitate movement.

v. Display of messages shall be limited to those services offered on the property and time/temperature display.

(iv) Message center signs may be permitted as part of an incidental business sign in accordance with Section 208.040(B)(7).

(v) Only one message center sign, not including those as part of an incidental business sign, is permitted for each principal structure.

(b) Residential Zoning Districts

(i) Message Center signs are permitted when displayed on the site of an approved public or quasi-public land use, with a Comprehensive Sign Plan.

(ii) Maximum Area. The area of the message center sign shall be included in the maximum sign area permitted. The area of the message center shall not exceed 35% of the total sign area for the sign on which it is displayed or 30 square feet whichever is less. The maximum sign area may be exceeded to comply with the minimum sign area required.

(iii) Minimum Area. 20 square feet.

(iv) Location and Orientation. The location and orientation of the sign shall be placed on the property in a manner that minimizes the visual impact on adjoining residential properties.

(v) Hours of display. The sign shall be turned off and shall not display messages between the hours of 11:00 pm and 6:00 am.

(vi) Color. The sign message or display shall be amber in color.

Principal Signs, Freestanding.

(e) All freestanding signs associated with approved Public/Quasi-Public uses and residential developments shall be ground or monument-style. If a sign for such a facility will face property planned for residential use, the sign area shall not exceed forty (40) square feet and the height of the sign face shall not exceed six feet.

TO: Planning Commission
FROM: Kathleen Castle, City Planner
DATE: November 20, 2018
SUBJECT: File No. 2707-18-27, Variance/Site and Building Plan Review, Wold Architects – 1141 Lepak Court (Turtle Lake Elementary School)

INTRODUCTION

On behalf of Independent School District 621, Wold Architects submitted a Site and Building Plan Review and Variance applications for building and site improvements at Turtle Lake Elementary School, 1141 Lepak Court. The following improvements are proposed:

- 1) Four building additions for additional classroom space and a custodial room addition
 - a. Building Addition “C” on the northeast side of the school requires a variance to reduce the required 40-foot structure setback from Lexington Avenue right-of-way to 7.9-feet.
- 2) Parking lot improvements including:
 - a. Modifying the southern parking lot by creating separate pick-up/drop-off lanes
 - b. Installing a new parking lot north of the existing school
- 3) Construction of a stormwater management pond north of the new parking lot on the north side of the school. The softball field currently located in this area will not be relocated.

Please see the attached plans.

At the request of Wold Architects, the Planning Commission continued this application in October because significant changes were needed to the stormwater management plan. These changes have been made and the plans are ready for review. The application was complete on October 10, 2018.

BACKGROUND AND PROJECT DESCRIPTION

The property is located at the northwest corner of Lexington Avenue and Lepak Court. The property is 12.94 acres in size and has a width of 600 feet along Lepak Court. There is a wetland area located along the north and west property lines in the northern part of the property. The site is developed with the school building, parking and recreational facilities. Primary access to the site is off Lepak Court. A second access drive is located off of Lexington Avenue; however this access is gated and only used for school bus access.

The bond referendum passed in November, 2017 has enabled the School District to reinvest in their facilities. A number of projects are underway throughout the school district that involve remodeling, additions and other improvements. The proposed improvements at Turtle Lake Elementary are intended to address increased student enrollment and security. The additions

File 2707-18-27
Wold Architects/ISD 621
Turtle Lake Elementary School, 1141 Lepak Court

include 2 – two classroom additions, a four classroom addition and a custodial room addition. These additions are located on the east and west sides of the existing school building.

Building Additions “C” and “D” are less than the minimum 40-foot setback required from Lexington Avenue. Addition “D” maintains the existing setback of 35.9’ while Addition “C” is setback 7.9 feet from the right of way. This has prompted the variance request.

COMPREHENSIVE PLAN

The *2008 Comprehensive Plan* designates this property for Institutional use. Uses within this category include public and private schools, fire and police stations, city hall, water towers and other public or quasi-public uses. Surrounding planned land uses include low and medium-density residential, institutional, and natural.

The school use is consistent with this land use designation.

DEVELOPMENT ORDINANCE REQUIREMENTS AND REVIEW

The property is zoned R1, Detached Residential which allows schools as a permitted use. The Site and Building Plan review process enables the City to publicly review the plans and determine the impacts on the planned land use of adjoining properties. The City Council has the authority to approve the proposed use upon the finding that it will not impede or otherwise conflict with the planned use of adjoining property (Section 205.044 (B)). Conditions may be attached to site and building plan approval by the City Council to ensure compatibility with adjacent land uses.

SITE AND BUILDING PLAN REVIEW

Staff believes that the proposed expansion is compatible with the nearby residential and institutional land uses. The submitted plans have been reviewed in accordance with the Code standards. In the past, school uses have been reviewed in accordance with the standards of the O, Office District rather than the R-1, Detached Residential District, due to the nature of the use. The Office District standards (Section 205.044) have been used as a guide in Staff’s review of the proposal.

Site Plan

The proposal is to expand and remodel this building to better meet the needs of the expanding school. Building Additions “A” and “B” exceed the minimum structure setbacks required from a property line while Building Additions “C” and “D” are less than the minimum structure setbacks and require variances. Again, the OFC, Office Zoning District standards have been used as a guide for this proposal.

Property Line	Minimum Structure Setback Required (Office District, Section 205.044(D))	Current Setback	Proposed
Front (Victoria Street)	50 feet	94 feet	No Change
Side Lexington Avenue	40 feet	35.9 feet	7.9 feet (Building Addition "C")* 35.9 feet (Building Addition "D")*
West	50 feet	110 feet	75 feet

*Variance Required

Architectural Design

The additions are one story and have a height of approximately 14-feet, consistent with the existing building. The exterior of the proposed additions will blend in with the existing building utilizing a combination of brick, metal and glass. The design complies with the City’s architectural design standards (Section 206.050).

Mechanical equipment will be located on top of the roof and screened with a metal panel.

Parking and Access

Primary access to the property is gained from two driveway entry points on Lepak Court. The eastern driveway provides access to the south parking lot and school entrance via a one-way driveway. This south parking lot contains 78 parking stalls and is setback 10-feet from the Lepak Court right-of-way, less than the 20-feet required.

The western driveway provides access to the western parking lot which has 43 parking stalls. This driveway is also used by the school buses to drop off and pick up students. The buses are then routed to the north side of the building and exit the site from the driveway off of Lexington Avenue. This circulation pattern will remain the same.

Improvements to the driveway and parking areas are proposed to improve circulation and minimize conflicts particularly for parent drop-off and pick-up. The southern driveway will be divided into two parking lots by creating green space in between them. The western part of this new parking area will be devoted to parking while the eastern lot will serve as the parent drop-off and pick-up area and provide additional parking. The setback from the Lepak Court right-of-way will remain the same at 10-feet

The number of parking stalls on-site will increase slightly and exceeds the parking required by the Development Code. The following table provides a comparison regarding the number of stalls required, existing and proposed

Development Code (206.020 (B))	Classrooms	Required	Existing	Proposed
1.5 stalls per classroom	43	65 stalls	121	126

Stormwater Management

The property is located in the Rice Creek Watershed District and a permit is required for the project. There is an existing stormwater pond located in the northwest area of the property that will be expanded for this project. The new ponding area will be located immediately north of the proposed parking lot in an area currently occupied by a softball field. This field will not be relocated on the property.

The pond is designed as a wet pond and is intended to meet the Rice Creek Watershed District requirements. The ponding area will treat and capture stormwater runoff from the northern part of the school building, including Building Addition “C”, and the parking/driveway areas to the north and northwest of the building. This pond is designed to overflow into the existing pond.

Stormwater runoff from the southern part of the building, including Building Additions “A”, “B” and “D” and the parking and driveway areas south and southwest of the building will be directed to the public stormwater system located in Lepak Court.

VARIANCE CRITERIA

The applicant is requesting a variance to reduce the required 40-foot structure setback from Lexington Avenue right of way to 7.9’ for Addition “C”. Building Addition “D” will maintain the existing 35.9-foot setback from Lexington Avenue. When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variances is in keeping with the spirit and intent of the ordinance. Practical difficulty is defined as:

1. *Reasonable Manner.* The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.
2. *Unique Circumstances.* The plight of the property owner is due to circumstances unique to the property not created by the property owner.
3. *Character of Neighborhood.* The variance, if granted, will not alter the essential character of the neighborhood.

For a variance to be granted, all three of the criteria need to be met.

Applicant’s Justification of Practical Difficulty

The applicant submitted a statement that addresses practical difficulty. The difficulty on the site is due to the lot characteristics and improvements. The existing site is developed with parking and drives that surround three of the sides of the building causing a large addition to be impossible. To address the difficulty, the proposed plan is to provide 3 small classroom additions at three locations on the building. This is being done to spread the amount of students throughout the building so not overwhelm the existing internal circulation at one location. In addition, the three additions also allows for a more even distribution per grade, allowing for additions adjacent

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Turtle Lake Elementary School, 1141 Lepak Court

to each grade within the building and the three additions work with the existing parking and drives. Please see the attached statement.

Staff Review

Staff reviewed the variance request in accordance with the criteria and finds that practical difficulty is present.

Reasonable Manner. The applicant's proposal to expand the school is reasonable and is intended to address increased student enrollment and security. Two of the additions are located on the east side of the school adjacent to Lexington Avenue. The location of the additions spread the amount of students throughout the building so not overwhelm the existing internal circulation at one location and to provide an even distribution per grade. The addition on the northeast corner (Building Addition "C") is setback 7.9-feet from the Lexington Avenue right-of-way while Building Addition "D" is setback 35.9-feet from the same right-of-way.

Unique Circumstances. The site characteristics, interior floor plan and character of Lexington Avenue are unique circumstances that contribute to practical difficulty. The school is located in the southern part the property, and has parking and driveway areas on the north, west and south sides that impact how the facility can be expanded. The northern part of the property is dedicated to recreation space.

The proposed building expansion on the east side will provide additional classroom space for the students and custodial space. The existing interior layout of the building impacts how the building can be expanded.

Lexington Avenue was originally planned as a major thoroughfare and under the State of Minnesota's jurisdiction. The width of the right-of-way ranges from 190 feet to 220 feet wide and exceeds most other rights-of-way in the City. This road now falls under the jurisdiction of Ramsey County and there are no plans to expand this section of the roadway. The road surface is not centered in the right of way and is shifted to the east creating a large boulevard area that is about 110-feet wide adjacent to the school property. This is a unique circumstance.

Character of Neighborhood. Staff believes that the requested variance will not impact the character of the neighborhood due to the large right-of-way for Lexington Avenue, separation of the building from adjoining land uses and the retention of vegetation in right-of-way.

PUBLIC COMMENTS

Property owners within 350 feet were notified of the applicant's request. No written comments have been received. One phone call was received asking for clarification regarding the proposed setback in relation to the improved surface of Lexington Avenue.

STAFF RECOMMENDATION

The proposed plans conform to the requirements of the City's development regulations and the policies of the *Comprehensive Plan*. Therefore, staff recommends that the Planning Commission

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Wold Architects/ISD 621
Turtle Lake Elementary School, 1141 Lepak Court

hold the hearing and take testimony from all interested parties, and adopt Resolution No. 18-80 approving the setback variance. Staff is also recommending the Commission forward the Site and Building Plan Review application to the City Council with a recommendation of approval. The approvals are subject to the following conditions:

Variance

1. The structure setback from the Lexington Avenue right-of-way for Building Addition "C" is approved at 7.9 feet and for Building Addition "D" is approved at the current building setback of 35.9'.
2. Existing vegetation within the Lexington Avenue right-of-way shall be retained and not disturbed by these improvements.
3. The approval is subject to a 5 day appeal period.

Site and Building Plan Review

1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.
2. The approval will expire after one year a building permit has not been issued.
3. Obtain a Rice Creek Watershed District Permit and submit a copy to the City prior to the City prior to the issuance of a building or grading permit.
4. Any work in the Lexington Avenue right-of-way will require a permit from Ramsey County.
5. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building or grading permit for this project.
6. The applicant is required to enter into a Development and Erosion Control Agreement with the City. Said agreement shall be executed prior to the issuance of any permits for this project.
7. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

Attachments

1. Resolution 18-80
2. Location Map
3. Applicant's Statement and Submitted Plans
4. Motion Sheet

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**EXTRACT OF MINUTES OF MEETING OF THE
PLANNING COMMISSION OF SHOREVIEW, MINNESOTA
HELD NOVEMBER 27, 2018**

* * * * *

Pursuant to due call and notice thereof, a meeting of the Planning Commission of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 P.M.

The following members were present:
And the following members were absent:

Member introduced the following resolution and moved its adoption.

**RESOLUTION NO. 18-80
VARIANCE**

WHEREAS, Wold Architects, on behalf of Independent School District 621, submitted variance applications for the following described property:

*Section 3 Town 30 Range 23
Subj To 80 Ft Rd Esmt With Esmt And Ex S 300 Ft The W 600 Ft Of E 758 Ft Of Se 1/4 Of Se 1/4
Of Sec 3 Tn 30 Rn 23*

(This property is commonly known as 1141 Lepak Court)

WHEREAS, pursuant to the Development Code Sections 205.040 (C2b), a 40-foot minimum structure setback is required along minor arterial streets, including Lexington Avenue;

WHEREAS, the applicant requested to reduce this setback to 7.9 feet for a Building Addition "C" and to maintain the existing 35.9' setback for another Building Addition, "D"; and

WHEREAS, the Shoreview Planning Commission is authorized by State Law and the City of Shoreview Development Regulations to make final decisions on variance requests; and

WHEREAS, on November 27, 2018, the Shoreview Planning Commission approved the variances and adopted the following findings of fact:

Reasonable Manner. The applicant's proposal to expand the school is reasonable and is intended to address increased student enrollment and security. The placement of the two additions are on the east side adjacent to Lexington Avenue considers the existing floor layout and school needs. The addition on the northeast corner (Building Addition "C") is setback 7.9-feet from the Lexington Avenue right-of-way.

Unique Circumstances. The site characteristics, interior floor plan and character of Lexington Avenue are unique circumstances that contribute to practical difficulty. The site characteristics and interior floor plan impact how the facility can be expanded. The building is currently setback 35.9 feet from the Lexington Avenue right-of-way, less than the required 40-foot setback. Building Addition "D" will maintain this setback while Building Addition "C" will be setback 7.9 feet from the right-of-way.

The right of way for Lexington Avenue is excessive and ranges from 190 feet to 220 feet wide in this area. The road surface is not centered in the right of way and is shifted to the east creating a large boulevard area (about 110-feet wide) adjacent to the school property.

Character of Neighborhood. Staff believes that the requested variance will not impact the character of the neighborhood due to the large right-of-way for Lexington Avenue, separation of the building from adjoining land uses and the retention of vegetation in right-of-way.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance requests for property described above, subject to the following conditions:

Variance

1. The structure setback from the Lexington Avenue right-of-way for Building Addition "C" is approved at 7.9 feet and for Building Addition "D" is approved at the current building setback of 35.9'.
2. Existing vegetation within the Lexington Avenue right-of-way shall be retained and not disturbed by these improvements.
3. The approval is subject to a 5 day appeal period.

Site and Building Plan Review

1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.
2. The approval will expire after one year a building permit has not been issued.
3. Obtain a Rice Creek Watershed District Permit and submit a copy to the City prior to the City prior to the issuance of a building or grading permit.

4. Any work in the Lexington Avenue right-of-way will require a permit from Ramsey County.
5. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building or grading permit for this project.
6. The applicant is required to enter into a Development and Erosion Control Agreement with the City. Said agreement shall be executed prior to the issuance of any permits for this project.
7. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

The motion was duly seconded by Member and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 27th day of November, 2018

John Doan, Chair
Shoreview Planning Commission

ATTEST:

Kathleen Castle
City Planner

ACCEPTANCE OF CONDITIONS:

Independent School District 621

Name (Print)

Title

(STATE OF MINNESOTA)

(COUNTY OF RAMSEY)

(CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview Planning Commission held on the 27th day of November, 2018 with the original thereof on file in my office and the same is a full, true and complete transcript there from insofar as the same relates to adopting Resolution No. 18-80.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 27th day of November, 2018.

Terry C. Schwerm
City Manager

SEAL

Drafted By: Kathleen Castle
City Planner
4600 Victoria Street
Shoreview, MN 55126

Project Narrative

The Mounds View Public School District passed a bond referendum in November of 2017 for various projects that involve remodeling, school additions, and site improvements on most of the District's properties. These projects will be initiated and subsequently constructed in the next few years. The work to occur at Turtle Lake Elementary is proposed to commence during the spring of 2019. The proposed work includes building additions to respond to increasing student enrollment and address security concerns at the school. The additions include 2, two-classroom building additions, a four-classroom building addition, and a custodial room addition. There will also be interior renovations to the main entry, kitchen, and other small areas throughout the building. Site improvements to the pick-up/drop-up, and parking lots, as well as relocation of the softball field are also included.

To whom it may concern:

The Mounds View School District is requesting a variance at Turtle Lake Elementary School in regards to the proposed east building addition which is proposed within the required 40-foot setback along Lexington Avenue. Please note that the existing building is within the setback also.

The difficulty on the site is that parking and drives surround three of the sides of the building causing a large addition to be impossible. To address the difficulty the overall proposed plan is to provide 3 small classroom additions at three locations on the building. This is being done to spread the amount of students throughout the building so not overwhelm the existing internal circulation at one location. In addition, the three additions also allows for a more even distribution per grade, allowing for additions adjacent to each grade within the building and the three additions work with the existing parking and drives.

The proposed addition within the required setback is located to align with the existing loading dock wall which is also within the required setback so we believe the addition will not be perceived as going beyond the existing building.

Thank you for considering our proposed solution to the challenges of this project.

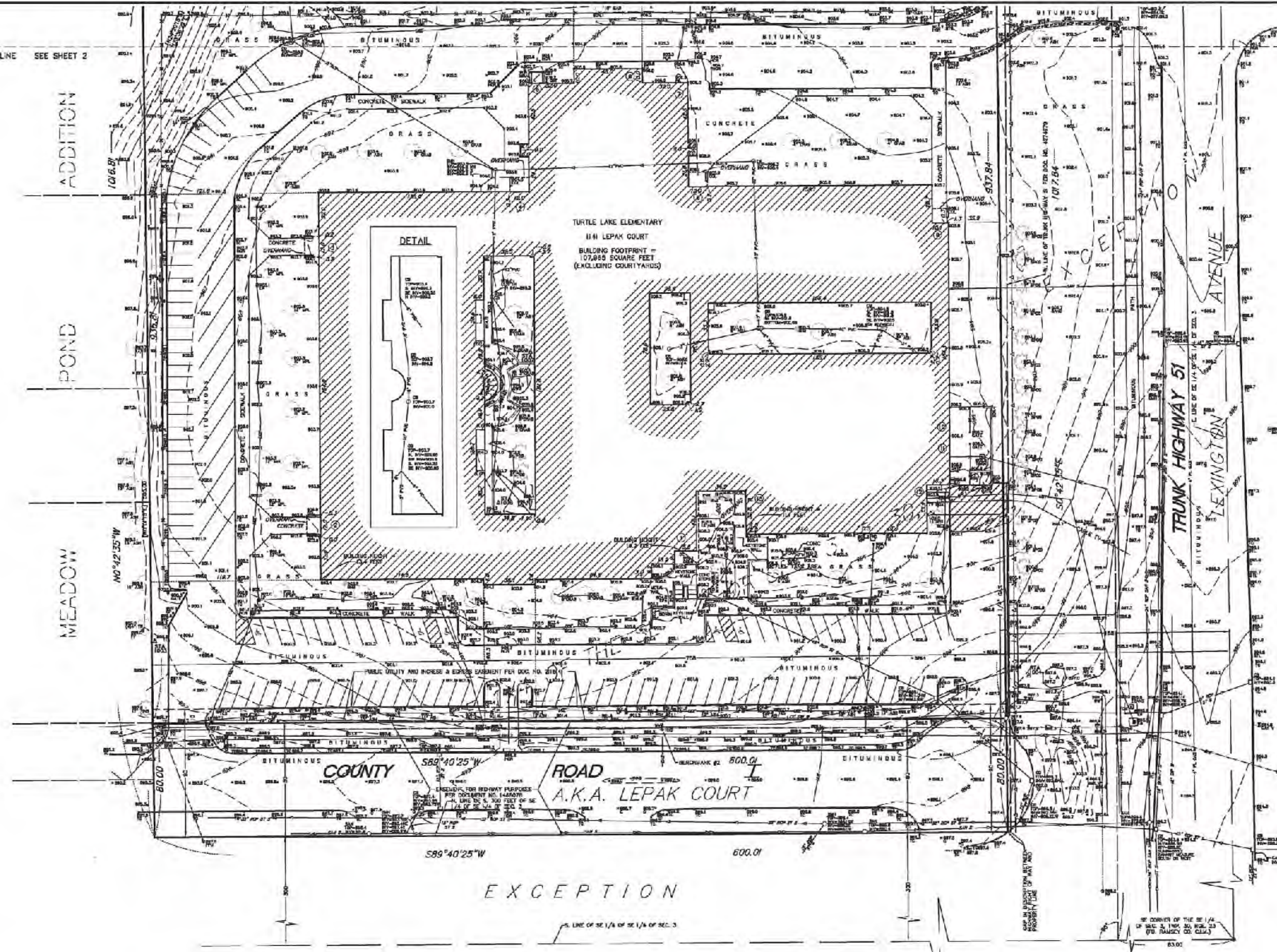
MATCH LINE SEE SHEET 2

MATCH LINE SEE SHEET 2

ADDITION

POND

MEADOW



LEGEND

- U Denotes iron monument set marked with P.L.S. No. 44900
- M Denotes found iron monument
- AC Denotes air conditioner
- BBH Denotes basketball hoop
- BE Denotes building entrance
- BL Denotes broom lock curb
- CAT Denotes catwalk
- CB Denotes catch basin
- CBS Denotes civil defense siren
- CMP Denotes corrugated metal pipe
- COL Denotes building column
- CST Denotes concrete step
- CWB Denotes concrete wall bottom
- CP Denotes ductile iron pipe
- EB Denotes electric box
- EMH Denotes electric manhole
- FCAP Denotes fire cap
- FF Denotes finished floor elevation
- FH Denotes fire hookup
- FP Denotes flag pole
- G Denotes gutter
- GM Denotes gas meter
- GP Denotes guard post
- GW Denotes guy wire
- HCR Denotes disabled ramp
- HCD Denotes disabled sign
- HCC Denotes communication hand hole
- HYD Denotes fire hydrant
- INV Denotes structure invert
- LA Denotes landscaping
- LD Denotes loading dock
- LP Denotes light pole
- MC Denotes metal cover
- MH Denotes man hole
- MRAL Denotes metal roll
- ONE Denotes overhead electric line
- OP Denotes over pipe
- PV Denotes post indicator valve
- PKS Denotes parking sign
- PP Denotes power pole
- PPLP Denotes power and light pole
- PPU Denotes power pole with underground utility
- PTBL Denotes plastic table
- PVC Denotes polyvinyl chloride pipe
- RCP Denotes reinforced concrete pipe
- RC Denotes ribbon curb
- RO Denotes roof drain
- SAM Denotes sanitary manhole
- SAM 2 Denotes sanitary sewer
- SAMC Denotes sanitary cleanout
- SMR Denotes storm manhole
- ST 2 Denotes storm sewer
- STC Denotes top of stormwater curb
- TAD Denotes truncated dome
- TR Denotes telephone box
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- TRANS Denotes transformer
- USD Denotes underground communication line
- USE Denotes underground electric line
- V Denotes vent
- VP Denotes vent pipe
- W Denotes water line
- WMH Denotes water manhole
- WV Denotes water valve

- ARB Denotes Arborvitae
- BAS Denotes Basswood tree
- COT Denotes Cottonwood tree
- CRAB Denotes Crabapple tree
- EVG Denotes evergreen tree
- MPL Denotes Maple tree
- PFB Denotes Scotch Pine tree
- SHB Denotes shrub
- SPDB Denotes Colorado Blue Spruce tree
- SPDBS Denotes Colorado Green Spruce tree
- SPR Denotes Spruce tree
- TR Denotes deciduous tree
- W Denotes White tree

Denotes non-access per Final Certificate No. 1922, Pt. B.3 Document No. 1427327 and QUL Claim Deed 4774949

BENCHMARKS

- 1) Ramsey County Plat #2803 located approximately 800 feet west of Lexington Avenue on west side of County Road 1. Elevation = 494.85 feet
- 2) Top of top rail of 841 hybrid wood of Lexington Avenue on the north side of County Road 1. Elevation = 492.43 feet
- 3) Ramsey County Plat #912 located at the northeast corner of Sherwood Drive and Lexington Avenue. Elevation = 499.52 feet

SURVEY CONTROL STATIONS

STA	NORTHING	EASTING	ELEVATION
1001	2 6587.288	560758.035	80.28
1002	2 6757.155	560763.017	888.57
1003	2 6082.347	560481.953	888.87
1004	2 6087.871	560586.370	887.85
1006	2 6159.356	560596.075	804.15
1007	2 6285.395	560548.470	815.65

AREAS

Gross = 610,396 square feet or 14.213 acres
 Net (excluding County Road Right of Way) = 452,855 square feet or 12.911 acres

DESCRIPTION OF PROPERTY SURVEYED

(Per Warranty Deed Document Number 144937)
 The East 788 feet of the Southeast Quarter of the Southeast Quarter of Section 3, T. 30, R. 23 except the South 300 feet and except the East 158 feet thereof subject to S.T.H. 51 together with a 30 foot easement for roadway purposes along the westerly line of S.T.H. 51 for a distance of 300 feet extending northerly from the southerly line of the Southeast Quarter of the Southeast Quarter, Ramsey County, Minnesota.
 [NOTE: Said 30 foot easement was released by the School District per QUL Claim Deed Document no. 1499350.]

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.
 [] Bearings and/or dimensions listed within brackets are per plat or record documents.

GENERAL NOTES

- 1.) Survey coordinates based Ramsey County System (North American Datum of 1983 Coordinates, Final adjustment December 17, 1998)
- 2.) Wellheads shown hereon are per delineation markers observed in the process of conducting the fieldwork. Markers were set by P.L.S. Made Engineering, May 15, 2018.

UTILITY NOTES

- 1.) Utility information from plans and markings was compared with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, proper State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities official to construction or design.
- 3.) Some underground utility locations are shown or marked on file by those utility companies whose locators responded to our Gopher State One Call, ticket number: 18030197.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
- 5.) Private utilities are shown as marked by Hance Locating Services, Inc. on April 23, 2018. Private utilities are those utilities installed for the use of their owner, typically by someone other than a Gopher State One Call registered utility operator.

FLOOR ELEVATIONS

- ① DENOTES DOOR NUMBER
- DOOR 1 = 900.20 FEET - TOP OF CARPET INSIDE DOOR
 - DOOR 2 = 804.20 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 3 = 804.26 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 4 = 804.25 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 5 = 808.23 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 6 = 808.28 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 7 = 808.23 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 8 = 808.21 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 9 = 808.28 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 10 = 808.28 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 11 = 809.58 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 12 = 804.15 FEET - TOP OF CONCRETE OUTSIDE DOOR
 - DOOR 13 = 806.20 FEET - TOP OF CONCRETE OUTSIDE DOOR



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 2nd day of May, 2018

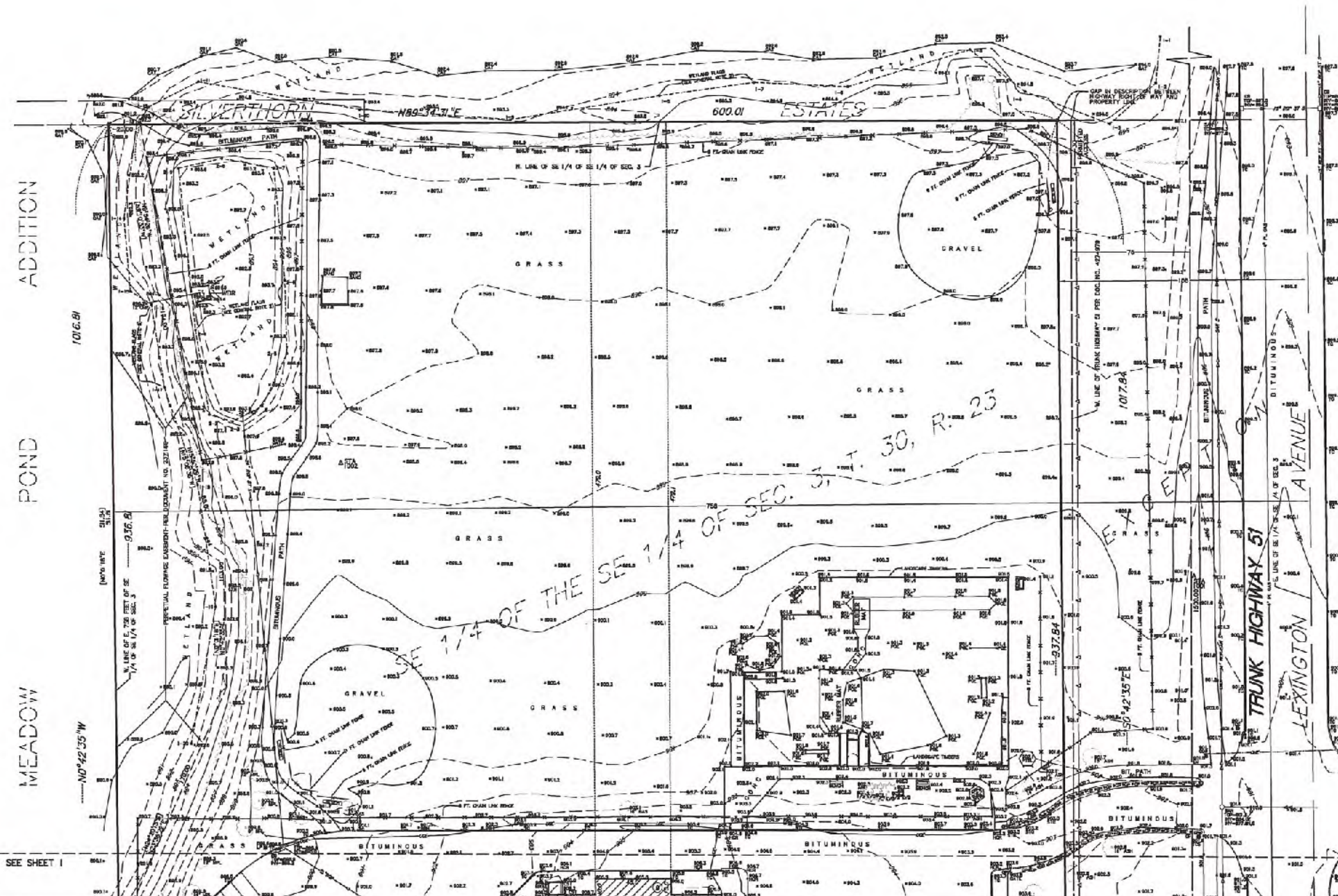
SUNDE LAND SURVEYING, LLC
 By: *Ailee J. Coyle*
 Ailee J. Coyle, P.L.S., Minn. Lic. No. 44900

Revision	By	Date

Creating Title: **BOUNDARY, LOCATION, TOPOGRAPHIC and UTILITY SURVEY FOR INDEPENDENT SCHOOL DISTRICT #621 Turtle Lake Elementary School**

SUNDE LAND SURVEYING 800 East Washburn Drive (2nd) - Suite 800
 Roseville, Minnesota 55059-3435
 651-426-1248 (Fax) 651-426-1919

Project: 18-210-0 By: PLS/AS/TA
 Town: 30 Range: 23 Section: 03 Date: 05/24/2018
 File: 18030197.dwg Sheet: 1 of 2



- LEGEND**
- Denotes iron monument set marked with P.L.S. No. 44900
 - Denotes found iron monument
 - AC Denotes air conditioner
 - BSH Denotes basketball hoop
 - BE Denotes building entrance
 - BTL Denotes beaver fall curb
 - CAT Denotes cattle
 - CB Denotes catch basin
 - CDS Denotes civil defense siren
 - CMP Denotes corrugated metal pipe
 - COL Denotes building column
 - CST Denotes concrete step
 - CWB Denotes concrete wall bottom
 - DIP Denotes ductile iron pipe
 - ES Denotes electric box
 - EWH Denotes electric hose
 - FCAP Denotes floor cap
 - FF Denotes finished floor elevation
 - FH Denotes fire hookup
 - FP Denotes fire pole
 - G Denotes gutter
 - GM Denotes gas meter
 - GP Denotes guard post
 - GW Denotes guy wire
 - HDR Denotes disabled ramp
 - HDS Denotes handicap sign
 - HHC Denotes communication hand hole
 - HYD Denotes fire hydrant
 - INV Denotes structure invert
 - LA Denotes landing
 - LD Denotes loading dock
 - LP Denotes light pole
 - MC Denotes metal cover
 - MH Denotes man hole
 - MPL Denotes metal roll
 - ONE Denotes overhead electric line
 - (P) Denotes per pipe
 - PIV Denotes post indicator valve
 - PKS Denotes parking sign
 - PP Denotes power pole
 - PPLP Denotes power and light pole
 - PPU Denotes power pole with underground utility
 - PTBL Denotes picnic table
 - PVC Denotes polyvinyl chloride pipe
 - RCF Denotes reinforced concrete pipe
 - RC Denotes ribbon curb
 - RD Denotes roof drain
 - SAN Denotes sanitary manhole
 - SAN S Denotes sanitary sewer
 - SANCS Denotes sanitary cleanout
 - SH Denotes storm manhole
 - ST S Denotes storm sewer
 - SIC Denotes top of summable curb
 - TAD Denotes truss dome
 - TB Denotes telephone box
 - TC Denotes top of concrete curb
 - TCS Denotes traffic control sign
 - TRANS Denotes transformer
 - UCU Denotes underground communication line
 - UE Denotes underground electric line
 - V Denotes vent
 - VP Denotes vent pipe
 - W Denotes water line
 - WH Denotes water manhole
 - WV Denotes water valve
 - ARB Denotes Arborvitae
 - BAS Denotes Basswood tree
 - COT Denotes Cottonwood tree
 - CRAB Denotes Crabapple tree
 - EVG Denotes evergreen tree
 - ML Denotes Maple tree
 - PINS Denotes Scotch Pine tree
 - SHB Denotes shrub
 - SPDB Denotes Colorado Blue Spruce tree
 - SPDB Denotes Colorado Green Spruce tree
 - SPR Denotes Spruce tree
 - TR Denotes deciduous tree
 - WL Denotes Willow tree
 - Denotes non-access per Final Certificate B.L. 1922, Pg. 63 Document No. 1627327 and Suit claim Dend 4274843

BENCHMARKS

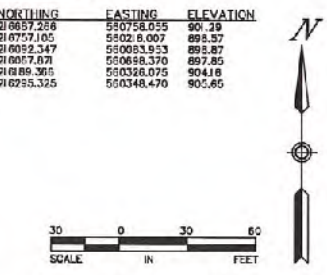
1) Ramsey County Site #8003 located approximately 500 feet west of Lexington Avenue on south side of County Road 1. Elevation = 899.85 feet.

2) Top of top rail of steel hydrant west of Lexington Avenue on the north side of County Road 1. Elevation = 902.42 feet.

3) Ramsey County Site #8112 located at the northeast corner of Shoredale Drive and Lexington Avenue. Elevation = 904.82 feet.

SURVEY CONTROL STATIONS

STA	NORTHING	EASTING	ELEVATION
1000	21697.258	550758.055	90.70
1002	216757.105	5502.8.007	895.57
1003	216092.347	550033.933	895.87
1004	216077.071	550658.370	897.85
1006	21686.365	550328.075	904.18
1007	216255.325	550348.470	905.60

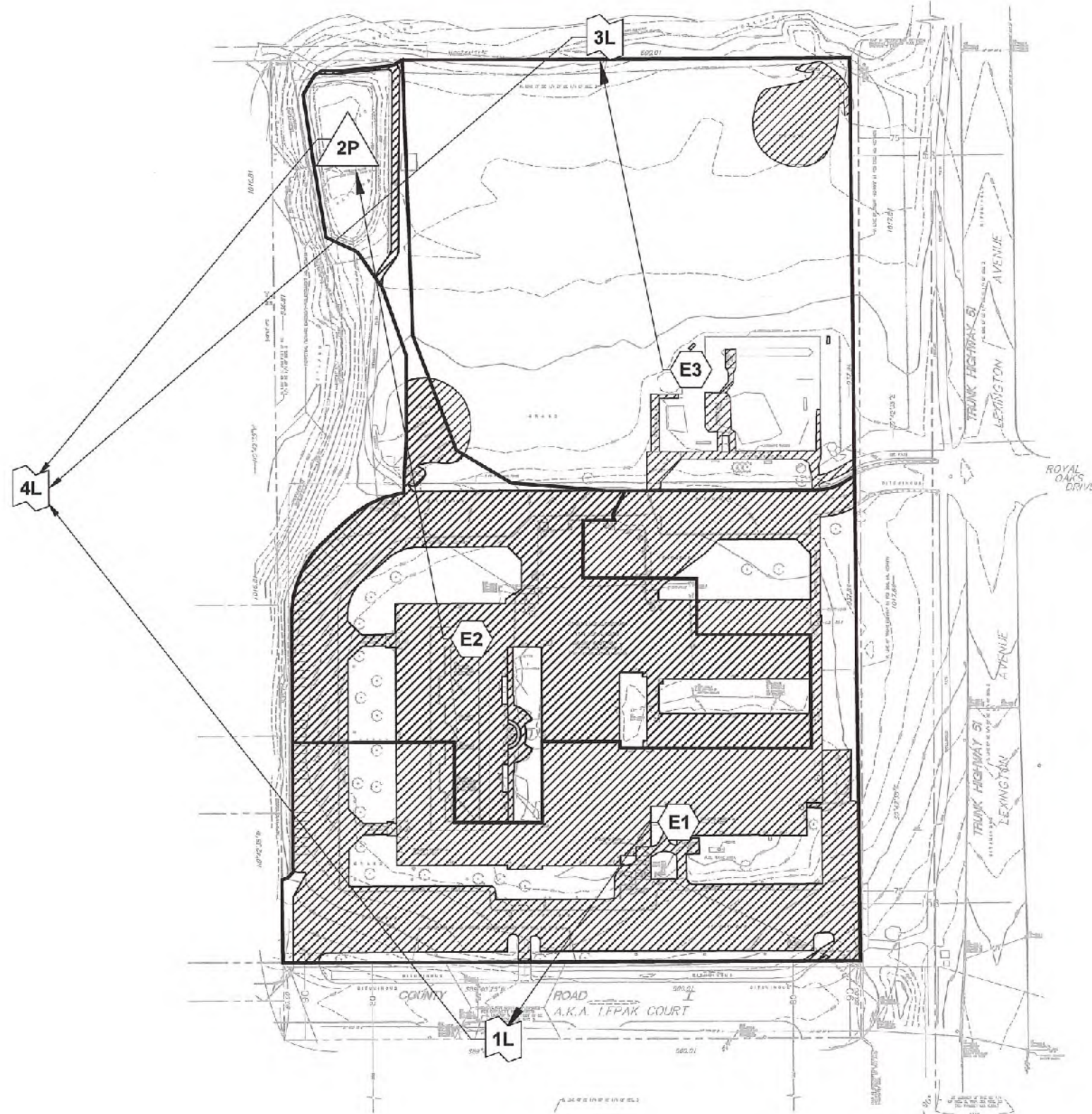


I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 21st day of May, 2018

SUNDE LAND SURVEYING, LLC.
By: *Alice J. Collier*
Alice J. Collier, P.L.S. Minn. Lic. No. 14900

MN



**TURTLE LAKE
ELEMENTARY
SCHOOL ADDITIONS
AND RENOVATION**

1141 Lepak Ct. Shoreview,
MN 55126

ISD #621: MOUNDS
VIEW PUBLIC SCHOOLS
4670 VICTORIA ST N
SHOREVIEW, MN 55116



**WOLD ARCHITECTS
AND ENGINEERS**

332 Minnesota Street, Suite 70200
Saint Paul, MN 55103

www.wold.com | 951.227.7777



PROFESSIONAL ENGINEER
under the laws of the State of MINNESOTA

DAVID A. REY
Registration Number: 45190 Date: 11/18/2018

Revision	Date	By	Check

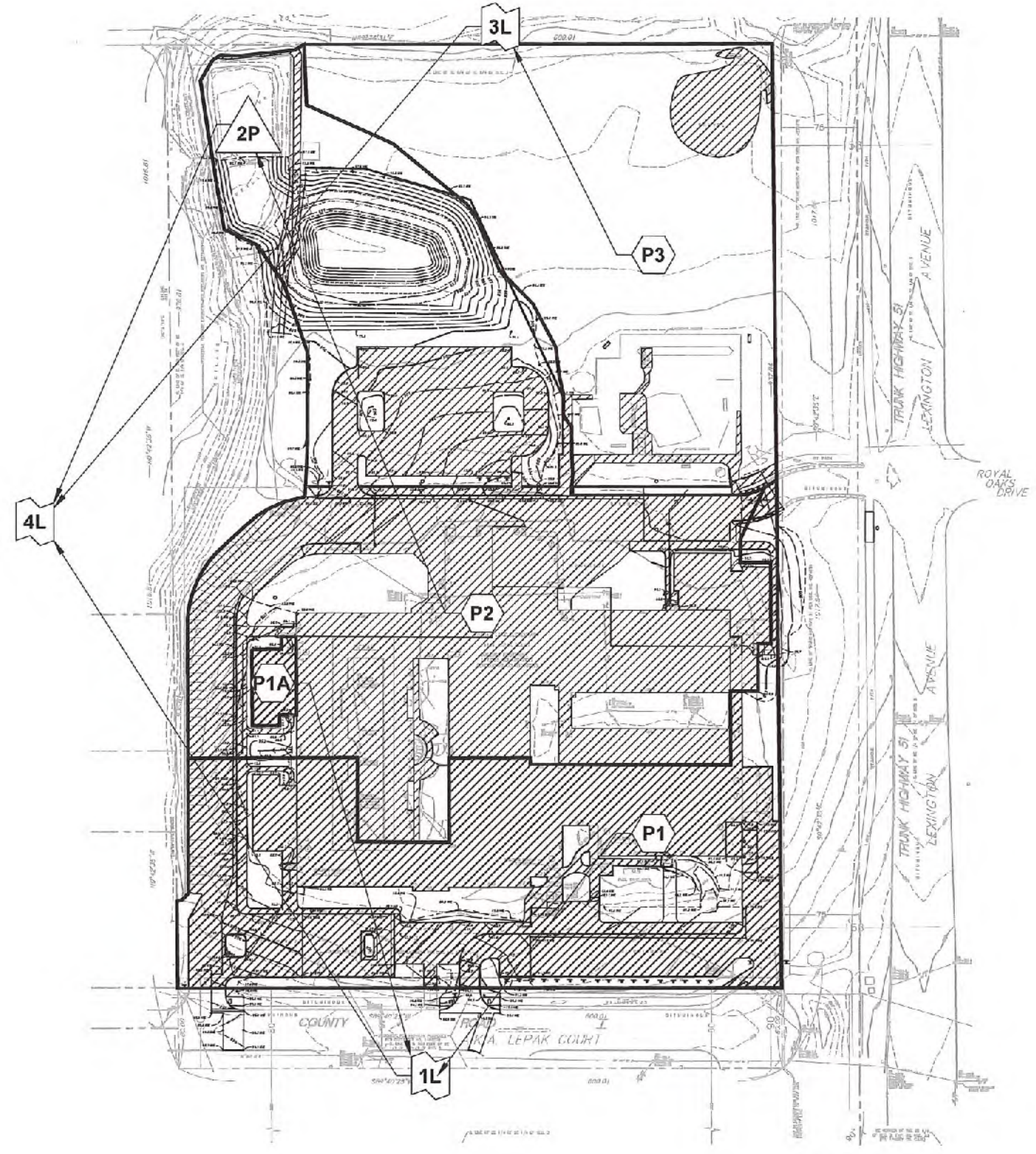
Count: 17255
Date: 11/18/2018
Drawn: BJD
Check: DGR

**EXISTING
DRAINAGE AREAS**

Scale: 1" = 60'
C0.01

C

MN



**TURTLE LAKE
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**WOLD ARCHITECTS
AND ENGINEERS**
312 Minnesota Street, Suite 700
St. Paul, MN 55101
Phone: 651.227.7773



Every design, no matter how simple or complex, requires the attention and expertise of a professional engineer or architect. The professional seal of the engineer or architect is a mark of quality and a guarantee of the highest standards of service.

DAVID A. REY
Registration Number: 40180 Exp: 11/16/2018

NO.	DATE	DESCRIPTION

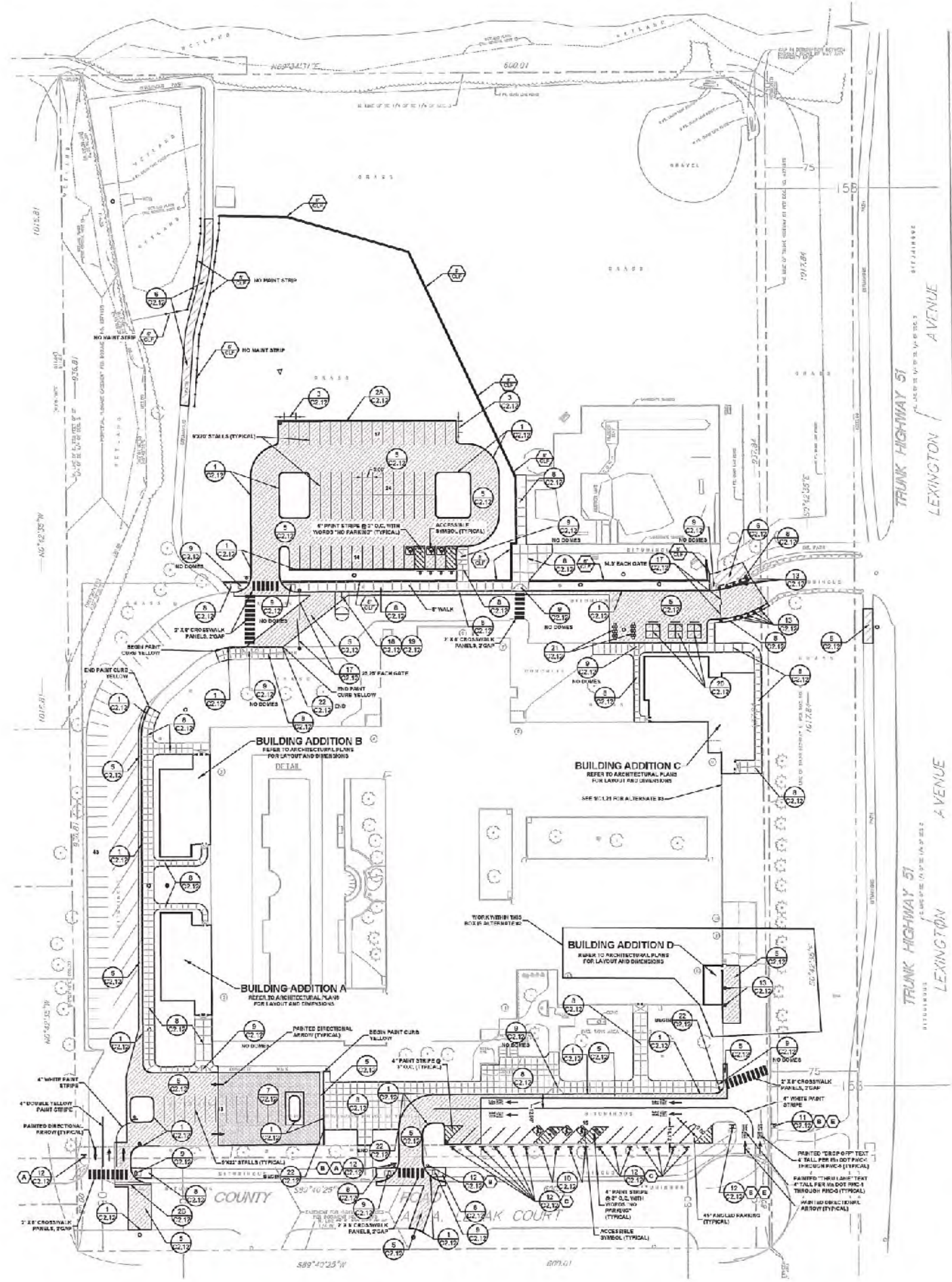
Drawn: BJD
Date: 10/16/2018
Checked: DAK
Scale: AS SHOWN

**PROPOSED
DRAINAGE AREAS**

Scale: 1" = 80'
C0.02

C

MN



NOTES:

1. REFER TO SHEET C1.21, GRADING AND DRAINAGE PLAN FOR GENERAL NOTES.
2. SIGNAGE SHALL BE INSTALLED 18" BEHIND THE BACK OF CURB OR EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODED OR SEEDED.
4. WHERE NEW SOO SHEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINTS BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOO SURFACE TO BE FLUSH WITH EXISTING.
5. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

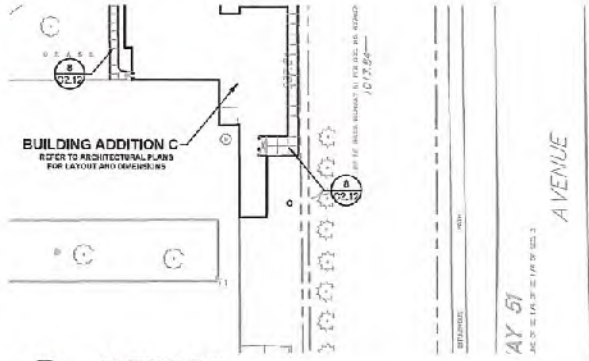
- REFERENCE KEY TO SITE DETAILS
DETAIL NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- ▨ PROPOSED CONCRETE WALK
- ▨ PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- ▨ PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- ▨ PROPOSED HEAVY DUTY PAVEMENT RECLAIM/REPAVE
- ▨ PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- ⊕ PROPOSED TRAFFIC CONTROL SIGN
- ⊙ PROPOSED BOLLARD
- ⊙ PAINTED ACCESSIBLE SYMBOL
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- ⊕ PROPOSED FLARED END SECTION (FES)
- ⊕ PROPOSED BUILDING STOP - REFER TO ARCHITECTURAL PLANS
- ⊕ PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE

SIGNAGE KEY NOTES

- A STOP MUTCD R1-1 (10'x30')
- B DO NOT ENTER MUTCD R5-1 (10'x30')
- C STOP AHEAD MUTCD R7-2 (12'x10')
- E STOP AHEAD MUTCD R7-2 (12'x10')

FENCING KEY NOTES

- 1 8" HIGH CHAIN LINK FENCE WITH TOP, MIDDLE, AND BOTTOM RAIL
- 2 8" HIGH CHAIN LINK FENCE WITH TOP, MIDDLE, AND BOTTOM RAIL



ALTERNATE #3
SCALE: 1" = 40'

SITE STATISTICS:

- SOUTH PARKING LOT**
EXISTING STALL COUNTS: 79 STALLS TOTAL, 73 STANDARD, 6 ACCESSIBLE.
PROPOSED STALL COUNTS: 28 STALLS TOTAL, 25 STANDARD, 3 ACCESSIBLE.
ACCESSIBLE STALLS REQUIRED/PROVIDED: 2/2 STALLS.
- WEST PARKING LOT**
EXISTING STALL COUNTS: 43 STALLS TOTAL, 41 STANDARD, 2 ACCESSIBLE.
PROPOSED STALL COUNTS: 43 STALLS TOTAL, 43 STANDARD, 0 ACCESSIBLE.
- NORTH PARKING LOT**
PROPOSED STALL COUNTS: 86 STALLS TOTAL, 82 STANDARD, 4 ACCESSIBLE.
ACCESSIBLE STALLS REQUIRED/PROVIDED: 2/2 STALLS.
- EXISTING BUS STALL PARKING COUNT: 12 STALLS**
PROPOSED BUS STALL PARKING COUNT: 12 STALLS

**TURTLE LAKE
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1141 Lepak Ct, Shoreview,
MN 55125

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4570 VICTORIA ST N
SHOREVIEW, MN 55118



**WOLD ARCHITECTS
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337 Marquette Street, Suite 2000
Shoreview, MN 55118

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DAVID A. REY
Professional Engineer
State of Minnesota
Registration Number 42182 Date 11/19/2018

Revision	Date	By

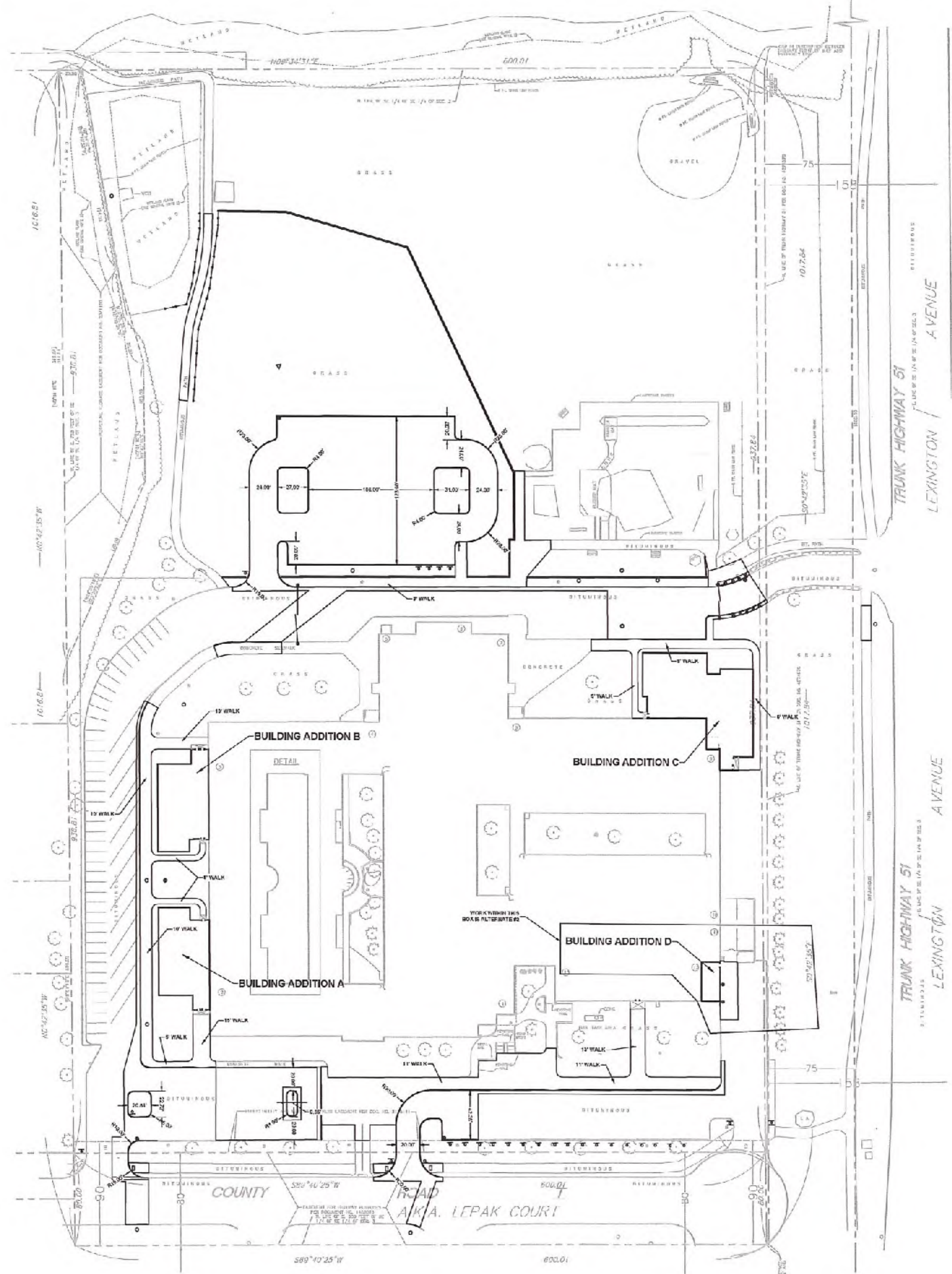
Scale: 1" = 40'

FINISHING PLAN

Scale: 1" = 40'

C1.21

MN

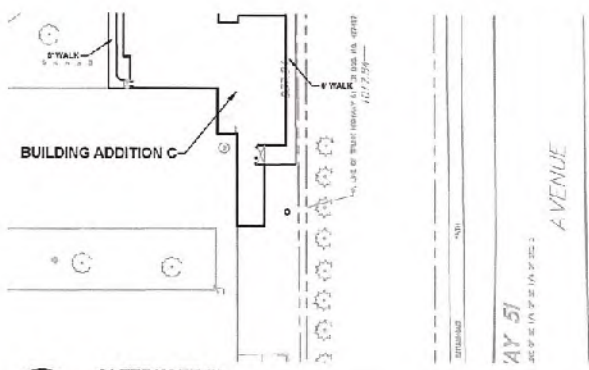


NOTES:

1. REFER TO SHEET C1,21, GRADING AND DRAINAGE PLAN FOR GENERAL NOTES.
2. ALL APPLICABLE DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, CENTERLINE OF FENCE, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
3. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
4. SIGNAGE SHALL BE INSTALLED 1' BEHIND THE BACK OF CURB OR EDGE OF PAVEMENT.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- BASELINE FOR DIMENSIONS
- ⊕ POINT OF INTERSECTION
- PROPOSED CHAIN LINK FENCING WITH MAINTENANCE STRIP
- 4 PROPOSED TRAFFIC CONTROL SIGN
- PROPOSED BOLLARD
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- △ PROPOSED PLANNED END SECTION (PES)
- PROPOSED BUILDING STYCO - REFER TO ARCHITECTURAL PLANS
- * PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE



1
C1,21
ALTERNATE #3
SCALE: 1" = 40'

**TURTLE LAKE
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SCHOOL ADDITIONS
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MN 55125

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4570 VICTORIA ST N
SHOREVIEW, MN 55116



**WOLD ARCHITECTS
AND ENGINEERS**
332 Minnesota Street, Suite 62000
Minneapolis, MN 55412
wold.com | 612.777.7773



This project was prepared by Wold Architects and Engineers, Inc. under the supervision of David A. Rev, a Professional Engineer in the State of Minnesota.

DAVID A. REV
Registration Number: 01182 Date: 11/16/2013

Revision	By	Date

Client: **ISD 621**
Date: **11/16/2013**
Drawn: **BJD**
Checked: **DAR**

GEOMETRIC PLAN

Scale: 1" = 40'
C1,22



**WOLD ARCHITECTS
AND ENGINEERS**
11234 Avenue S, Suite 2000
Shoreview, MN 55128



David A. Rey
Professional Engineer
No. 116167014

David A. Rey
Professional Engineer
No. 116167014

Revision	Date	By

Compt: 172254
Date: 11/16/2018
Drawn: BJR
Check: DRR

**GRADING AND
DRAINAGE PLAN**

GEOTECHNICAL TABLE

REFER TO SPEC 21 02 00 BATHWORK AND UNIT PRICES
NOTE: DEPTHS LISTED IN TABLE BELOW DO NOT INCLUDE REMOVAL
OF SUITABLE SOIL REQUIRED TO MEET PROPOSED GRADES.

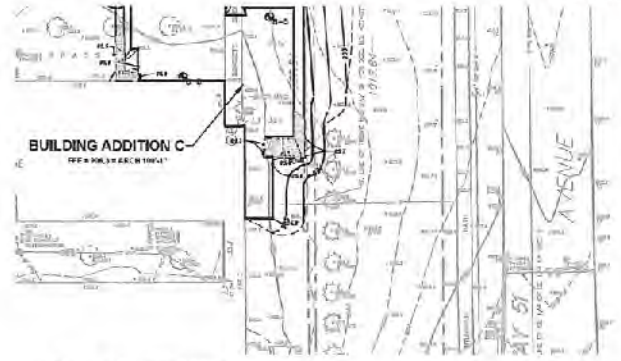
BORING	APPROXIMATE DEPTH OF EXCAVATION (ft)
B4	3.5
B5	10
B6	8
B7	11
B8	3
B9	4.5
B10	3.5
B11	3
B12	8
B13	12
B14	7

BENCHMARKS (FIELD VERIFY BEFORE USING)

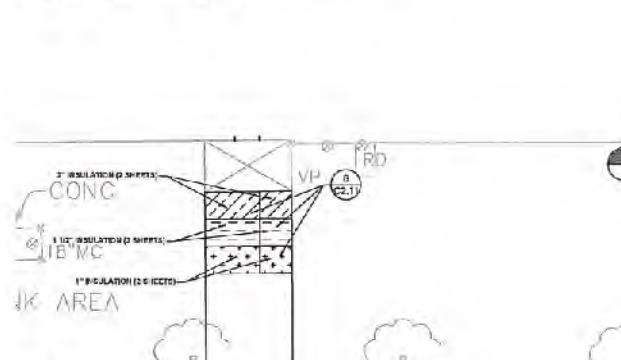
1. RAMSEY COUNTY DISC #992 LOCATED APPROXIMATELY 800 FEET WEST OF LEONGTON AVENUE ON SOUTH SIDE OF COUNTY ROAD L. Elevation = 829.155 Feet
2. TOP OF TOP RIM OF FIRST HYDRANT WEST OF LEONGTON AVENUE ON THE NORTH SIDE OF COUNTY ROAD L. Elevation = 822.43 Feet
3. RAMSEY COUNTY DISC #9112 LOCATED AT THE NORTHEAST QUADRANT OF SHORWOOD DRIVE AND LEONGTON AVENUE. Elevation = 829.32 Feet

GENERAL NOTES

1. ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NEPDS PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. ALL SIGNAGE LAYOUTS MUST BE DESIGNED BY THE CONTRACTOR AND APPROVED BY LOCAL AUTHORITIES.
5. INSTALL CONTROL FENCING AND BARRICADE AS NECESSARY TO PROTECT THE PUBLIC.
6. INSPECT SITE AND REVIEW SOIL BORINGS TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
7. REFER TO SPECIFICATIONS FOR DEWATERING REQUIREMENTS.
8. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
9. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND STOOOP DIMENSIONS AND LAYOUT.
10. REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, PART OF SECTION 01 18, FOR EROSION CONTROL REQUIREMENTS. SECTION 21 02 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
11. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREET'S CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
12. MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
13. ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
14. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
15. PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
16. PROPOSED ELEVATIONS SHOWN TYPICALLY AS 01.1 OR 01 SHALL BE UNDERSTOOD TO MEAN 801.1 OR 801.
17. SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE. SPOT ELEVATIONS WITH LABELS OUTSIDE THE BUILDING PERIMETER INDICATE PROPOSED GRADES OUTSIDE THE BUILDING. SPOT ELEVATIONS WITH LABELS INSIDE THE BUILDING PERIMETER INDICATE PROPOSED FRESH FLOOR ELEVATIONS.
18. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO CORRECTLY PERFORM ALL WORK INDICATED ON THE DRAWINGS. SUPPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
19. NO FINISHED SLOPES SHALL BE FACED 2 HORIZONTAL TO 1 VERTICAL (0:1), UNLESS OTHERWISE NOTED.
20. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED, SHALL RECEIVE AT LEAST 2" OF TOPSOIL AND SHALL BE RESEED OR SOILED. REFER TO SHEETS C1.61, LANDSCAPING PLAN, FOR SOIL AND SEED LOCATIONS. ALL OTHER AREAS DISTURBED BY CONSTRUCTION NOT SPECIFICALLY IDENTIFIED TO RECEIVE A CERTAIN SEED MIX SHALL BE SEED WITH SEED MIX #2.
21. WHERE NEW SOIL MEETS EXISTING SOIL, EXISTING SOIL EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOIL SURFACE TO BE FLUSH WITH EXISTING.
22. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED OR RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
23. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAIN TILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERWAY PER MINNESOTA PLUMBING CODE. THE ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PILING OR SIMILAR).
24. LOCATE ALL EXISTING UTILITIES, VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
25. CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC. AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE THROUGH SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC. AS REQUIRED.



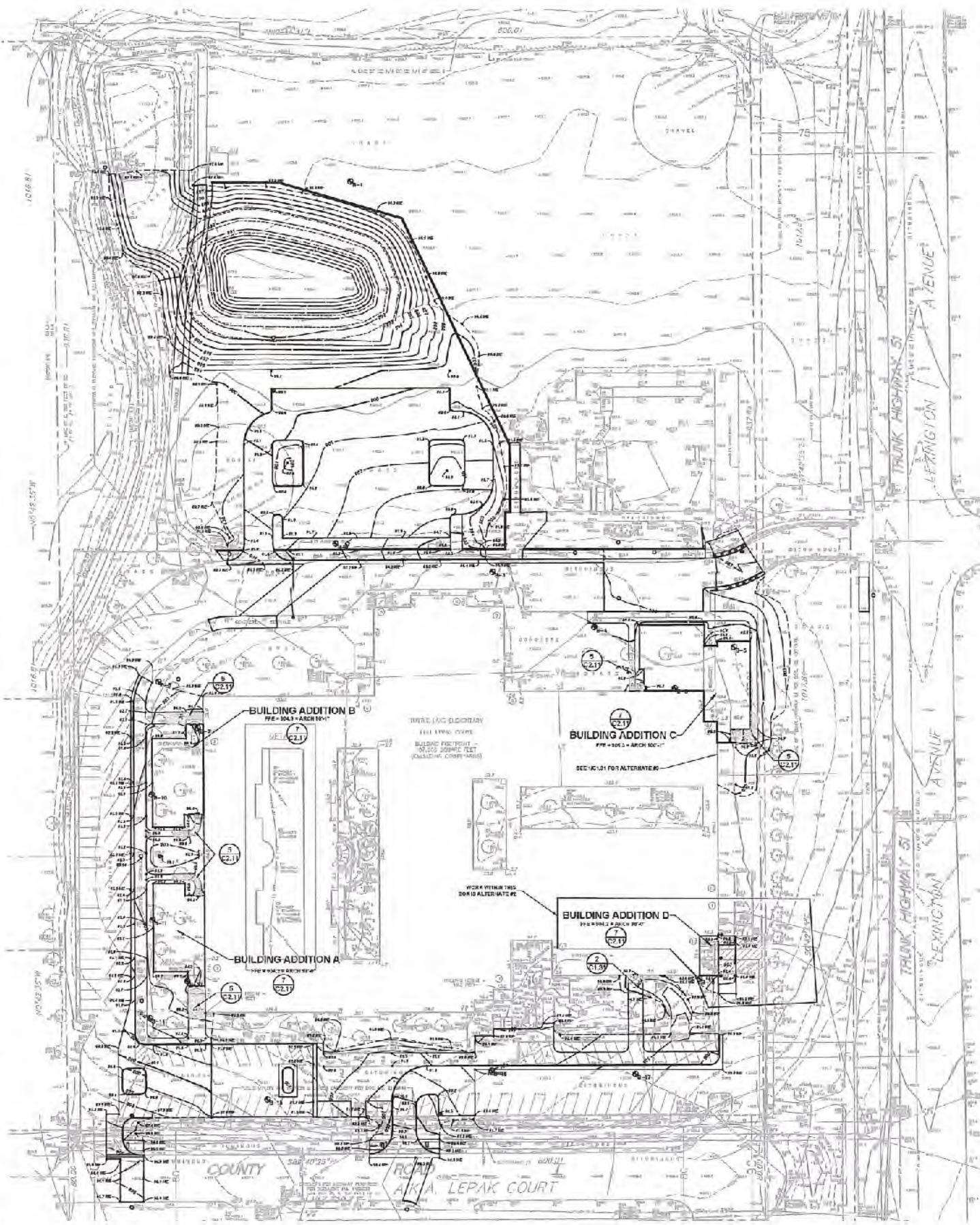
**1 ALTERNATE #3
SCALE: 1" = 40'**



**2 FOAM LAYOUT
SCALE: 1" = 10'**

MN

C



**TURTLE LAKE
ELEMENTARY
SCHOOL ADDITIONS
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1141 Lopak Ct, Shoreview,
MN 55125

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**WOLD ARCHITECTS
AND ENGINEERS**

3123 Franklin Street, Suite 10, Shoreview,
Minnesota 55125

Phone: 612.227.2773

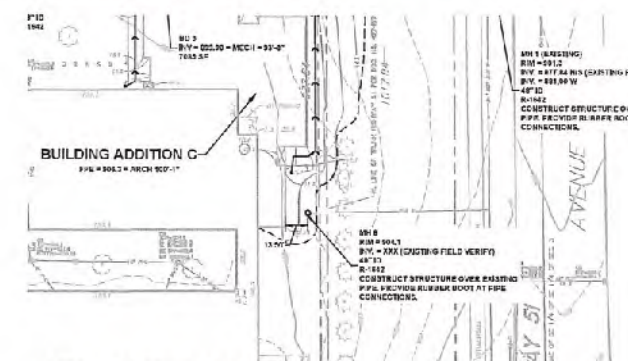
ARCHITECT: JAMESON
ASSOCIATES
AND
AJA
ARCHITECTS
AND ENGINEERS

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SACT ELEVATION
ME = MATCH EXISTING
EOP = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED DRAINILE / FINGER DRAIN
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROVIDE MINIMUM 18" VERTICAL SEPARATION AT CROSSING - PROVIDE
VERTICAL BENDS IN WATERMAIN AS REQUIRED TO ACCOMPLISH
CENTER LINE LENGTH WATERMAIN PER CONSTRUCTION.
- PROPOSED BUILDING STOOD - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

NOTES

1. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
2. ALL SANITARY SEWER PIPE SHALL BE PVC PIPE (ASTM D 2064, SDR 26), UNLESS OTHERWISE NOTED. SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2421.
3. ALL STORM SEWER PIPE SHALL BE RCP, CLASS II (MIN.), WITH FLEXIBLE WATERTIGHT JOINTS IN ACCORDANCE WITH ASTM C-361 OR PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
4. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - A. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - B. ACCEPTABLE MANUFACTURERS / PRODUCTS:
 1. PERIOD, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 2. PRESSURE, "HARVEST OF GROUNDED RINGS"
 3. OR APPROVED EQUAL.
5. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURE OR MANHOLE OR SINKHOLE).
6. LOCATE ALL EXISTING UTILITIES, VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
7. PRIOR TO CONSTRUCTION OF PROPOSED BUILDING UTILITY SERVICES (STORM, SANITARY SEWER), VERIFY ALL PROPOSED BUILDING UTILITY SERVICE PIPE SIZES, LOCATIONS AND ELEVATIONS WITH MEDICAL PLANS. COORDINATE CONSTRUCTION AND CONNECTIONS WITH MECHANICAL CONTRACTOR.
8. CONTRACTOR SHALL STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS AND MANHOLES. GATE VALVE AND MANHOLE LOCATIONS SHALL BE ADJUSTED TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND OUTER CURB AND OUTER SHALL BE STAKED TO ALLOW CURB BILET TYPE CATCH BASINS TO BE PROPERLY LOCATED IN LINE WITH CURBING.



ALTERNATE #3
SCALE: 1" = 40'

I hereby certify that this specification was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER in the State of MINNESOTA.

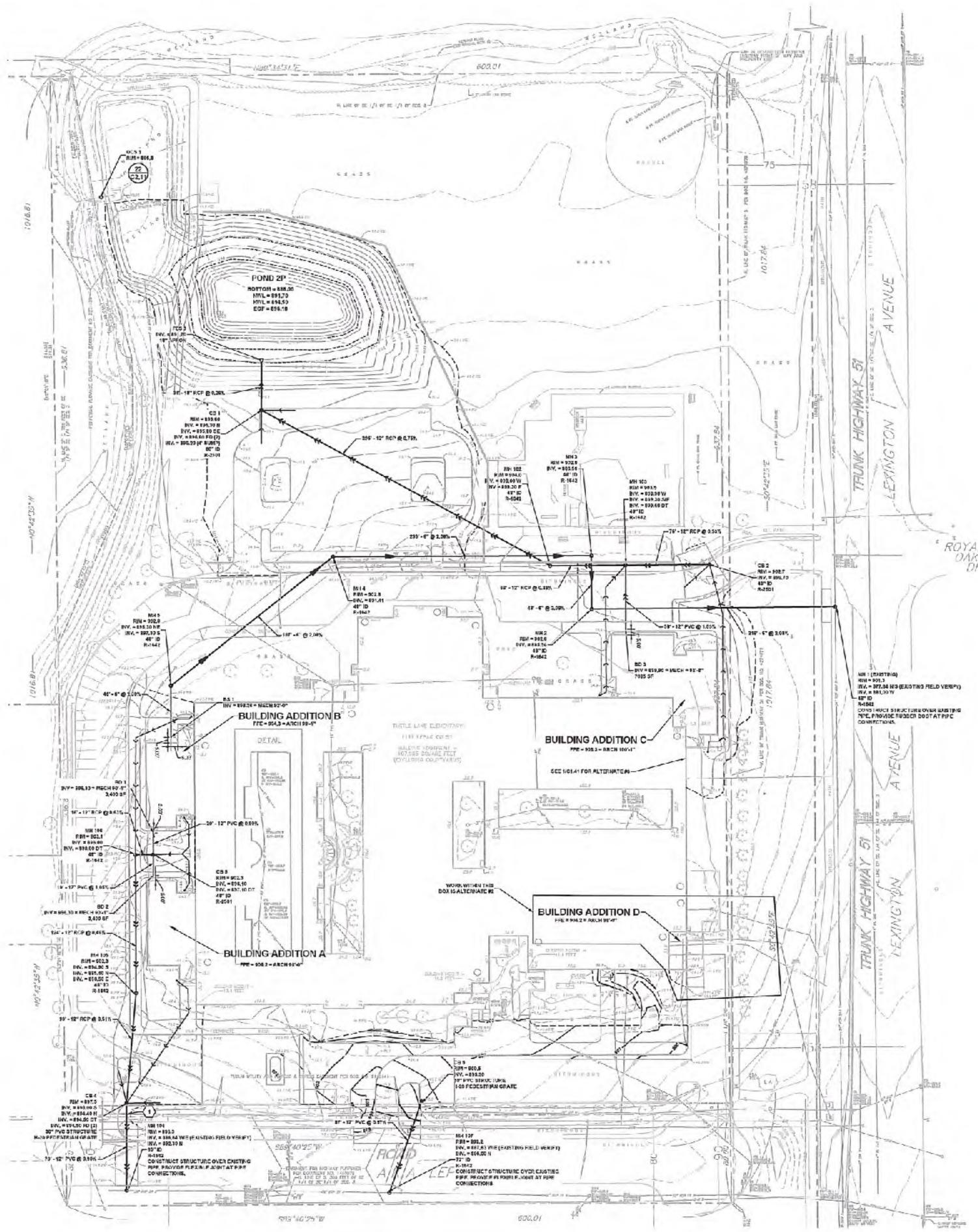
DATE: 11/16/2018
PROJECT NUMBER: 40180

NO.	REVISION	DATE

Drawn: **STZ**
Date: **11/16/2018**
Checked: **BJD**
Title: **PLAN**

UTILITY PLAN

Scale: 1" = 40'
C1.41



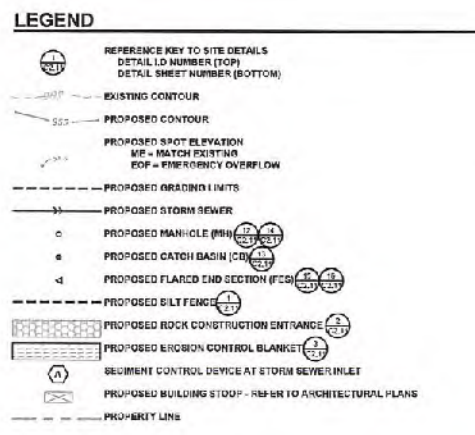
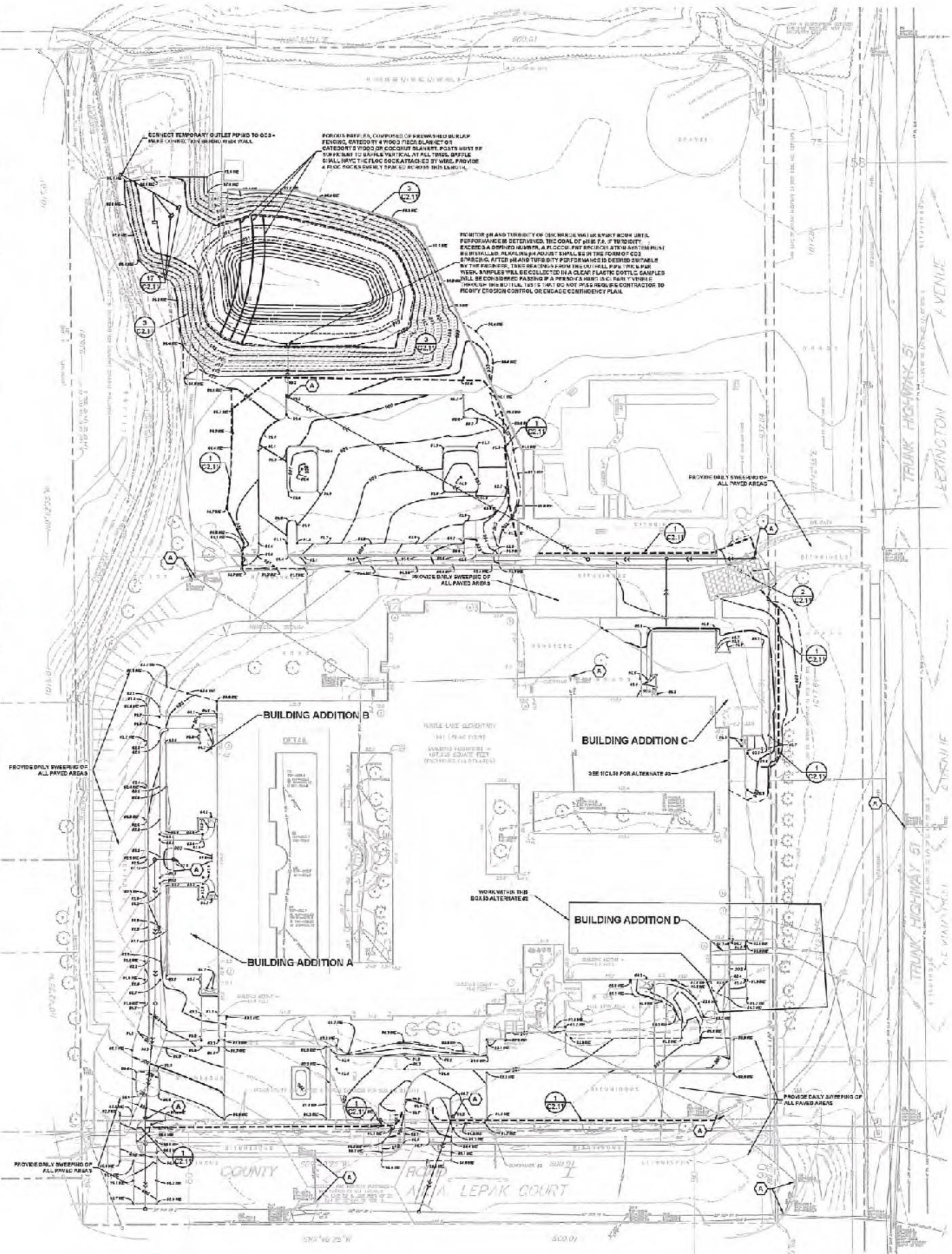
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EXCERPT FROM THE SWPPP NARRATIVE

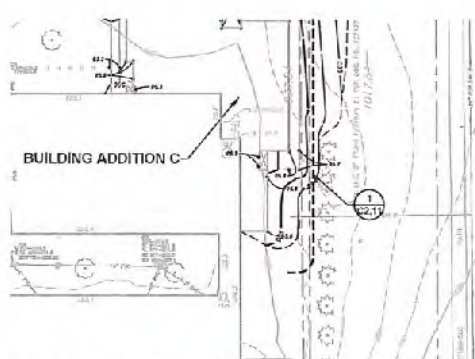
The information from the Storm Water Pollution Prevention Plan (SWPPP) is provided for your information. It is not intended to be used as a substitute for the SWPPP narrative. The SWPPP narrative is the primary source of information for the SWPPP. The SWPPP narrative is located in the SWPPP narrative document.

- A. Construction Site Preparation... B. Erosion Control Measures... C. Sedimentation Control... D. Stormwater Management... E. Construction Site Stabilization... F. Construction Site Maintenance...



APPROXIMATE EROSION CONTROL DEVICE QUANTITIES
EROSION CONTROL BLANKET = 1168 SF
ROCK CONSTRUCTION ENTRANCE = 25 C.Y.
SEDIMENT CONTROL DEVICE AT STORM SEWER INLET = 12

- NOTES
1. REFER TO SHEET C1.51, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
2. REFER TO SWPPP NARRATIVE (SECTION B) FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
3. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAR FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS...



ALTERNATE #3
SCALE: 1" = 40'

TURTLE LAKE ELEMENTARY SCHOOL ADDITIONS AND RENOVATION
1141 Lepak Ct, Shoreview, MN 55126
ISD #621: MOUNDS VIEW PUBLIC SCHOOLS
4570 VICTORIA ST N SHOREVIEW, MN 55116



WOLD ARCHITECTS AND ENGINEERS
3323 Lakeside Street, Suite 202
Shoreview, MN 55126



Approved for this plan, specification, or detail and prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of MINNESOTA

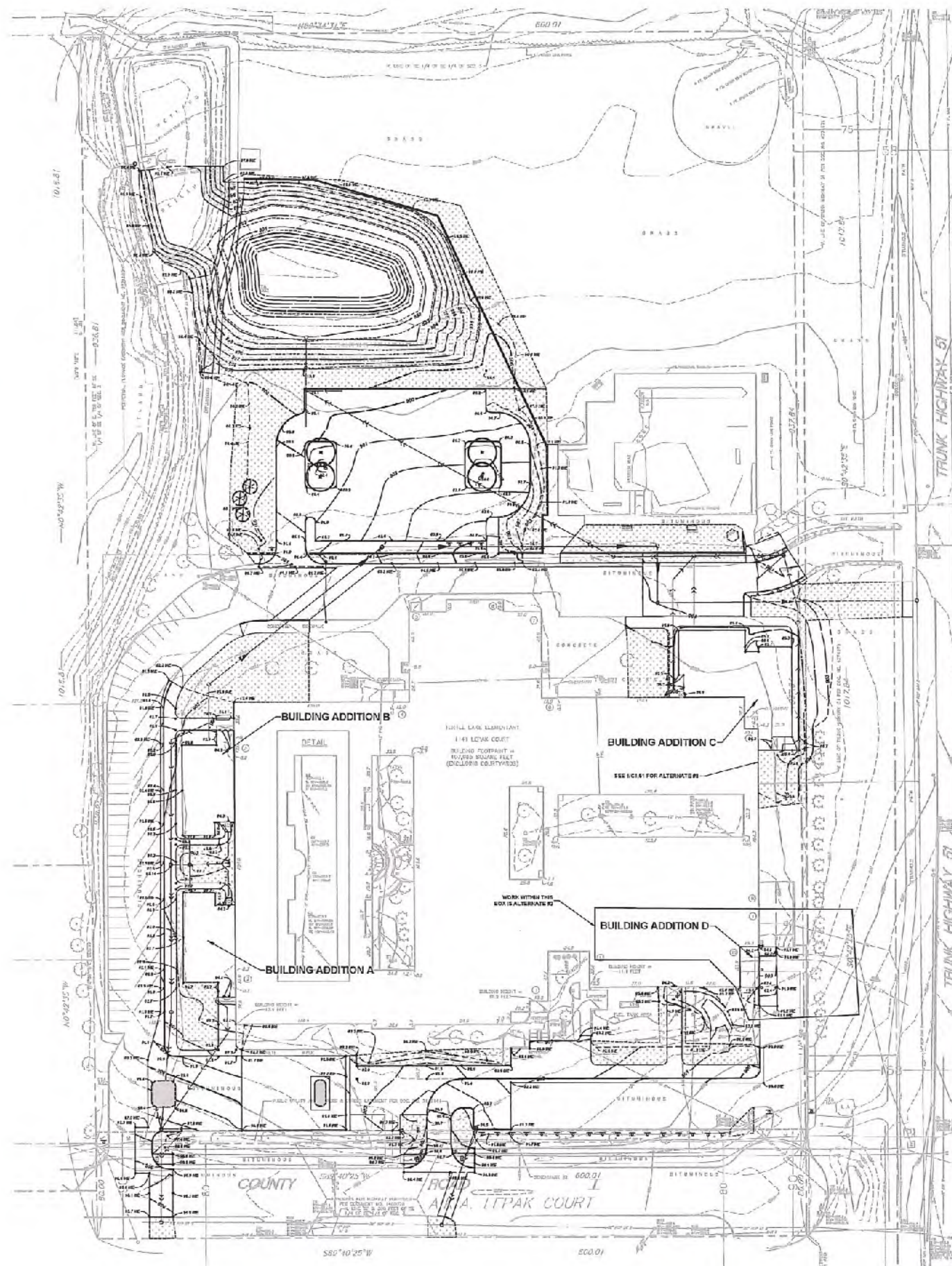
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Scale: 1" = 40'

SEDIMENT CONTROL PLAN

C1.51

MN



NOTES:

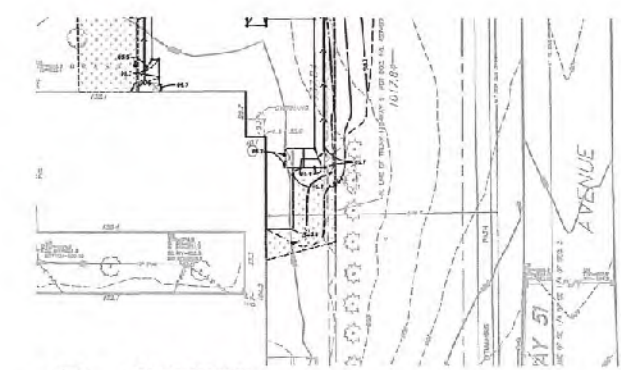
1. REFER TO SHEET C1.01, XXXXXX, FOR GENERAL NOTES.
2. REFER TO SWPPP NARRATIVE FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
3. LANDSCAPE ARCHITECT MUST INSPECT AND APPROVE FINISH GRADING BEFORE CONTRACTOR PROCEEDS WITH SOODING AND SEEDING.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGLINE SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SOODED OR SEEDED.
5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
6. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
7. BEGIN TURF ESTABLISHMENT IMMEDIATELY AFTER SOODING OR SEEDING, REFER TO SPECIFICATION FOR PROCEDURE.
8. ALL TREES TO BE BALLED AND BURLAPPED.
9. ALL TREES AND SHRUBS SHALL RECEIVE 4" DEPTH OF CLEAN SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
10. ALL PLANT MATERIALS SHALL BE NO. 1 QUALITY, NURSERY GROWN AND SPECIMENS MUST BE MATCHED. ALL OVERSTORY TREES ADJACENT TO DRIVE AND IN PARKING LOT SHALL BEGIN BRANCHING NO LOWER THAN 6'.

LEGEND

- ⊕ REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED DECIDUOUS TREE
- ⊗ PROPOSED CONIFEROUS TREE
- ⊙ PROPOSED SHRUBS
- PROPOSED HERBACEOUS PLANTS
- APPROXIMATE SOD LIMITS
- ▨ PROPOSED SEED MIX #1
- ▩ PROPOSED SHRUB / MULCH BED
- ⚡ PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- - - PROPERTY LINE

PLANT SCHEDULE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QTY.	SIZE	ROOT
DECIDUOUS SHADE TREES					
⊕	HAMBURGER	<i>Quercus acutifolia</i>		2-3/2" cal.	DAD
⊕	GREEN SPIKE LINDEN	<i>Tilia cordata 'Greenstar'</i>		2-3/2" cal.	SAB
⊕	RED OAK	<i>Quercus rubra</i>		2-3/2" cal.	SAB
CONIFEROUS TREES					
⊗	EASTERN RED CEDAR	<i>Juniperus virginiana</i>		6" H.	SAB
⊗	NORWAY SPRUCE	<i>Picea abies</i>		6" H.	SAB
DECIDUOUS SHRUBS					
⊙	LOW-GROWING HIBISCUS	<i>Hibiscus arvensis</i>		#5	Cont.
⊙	LOW-GROWING SPYGLASS	<i>Rhus aromatica 'Glow'</i>		#5	Cont.
⊙	COMPACT AMERICAN CRANFERRY	<i>Viburnum trilobum 'Walter'</i>		#5	Cont.



ALTERNATE #3
SCALE: 1" = 40'

**TURTLE LAKE
ELEMENTARY
SCHOOL ADDITIONS
AND RENOVATION**
1141 Lepak Ct, Shoreview,
MN 55125

**ISD #621: MOUNDS
VIEW PUBLIC SCHOOLS**
4570 VICTORIA ST N
SHOREVIEW, MN 55116



**WOLD ARCHITECTS
AND ENGINEERS**
332 Alameda Street, Suite 10 2000
Shoreview, MN 55125

wold.com | 651.227.2771



I hereby certify that this, specification or report was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER with the State of MINNESOTA.

DAVID A. REY
Registration Number: 40860 Date: 10/16/2016

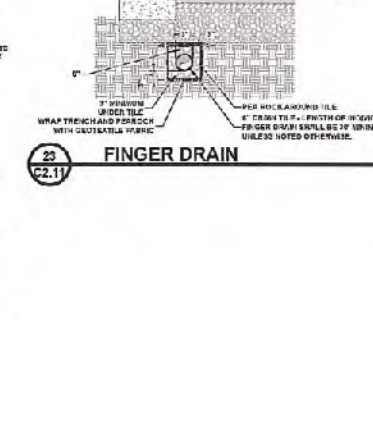
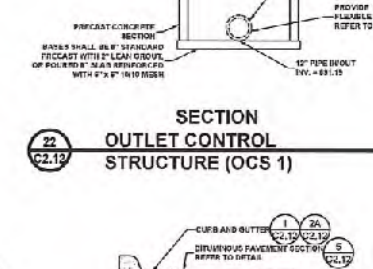
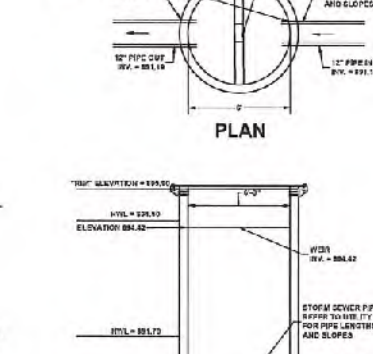
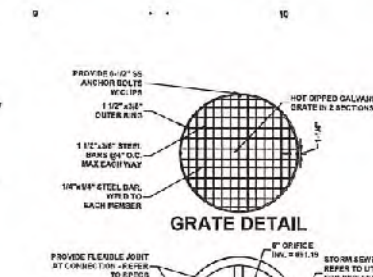
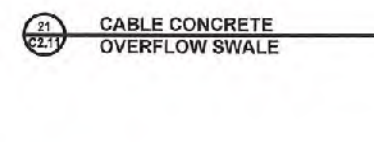
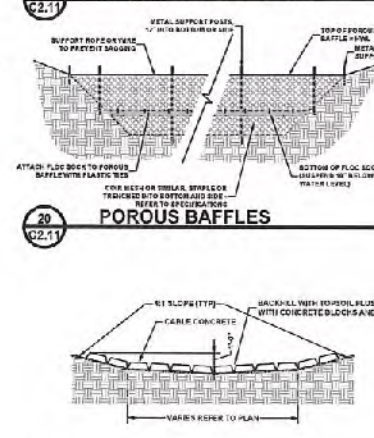
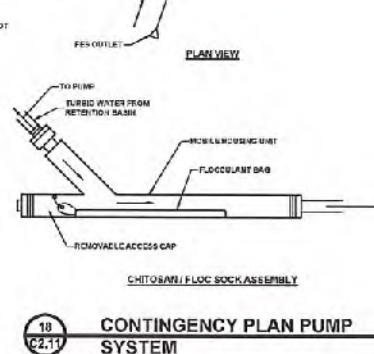
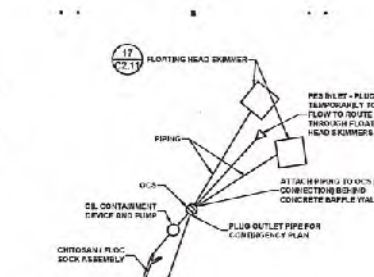
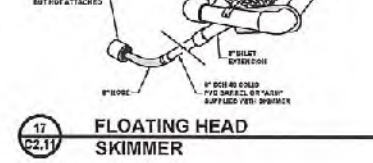
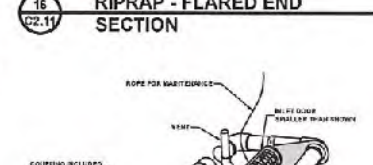
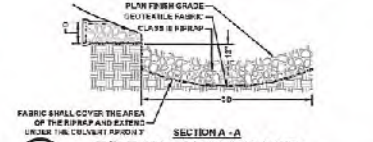
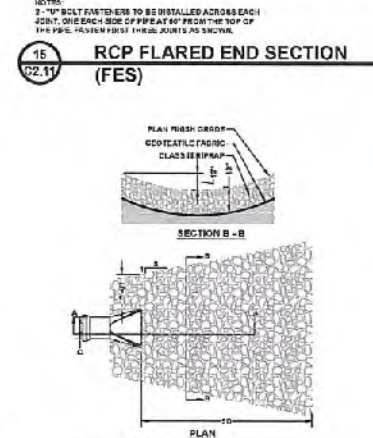
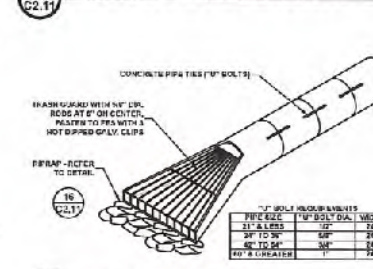
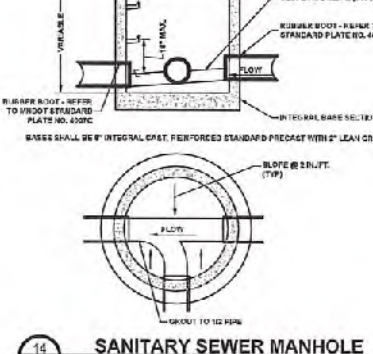
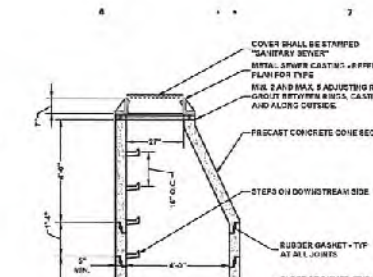
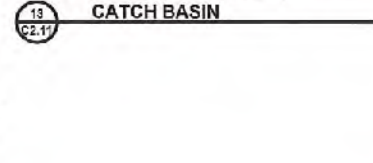
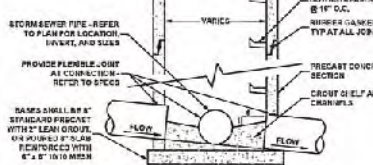
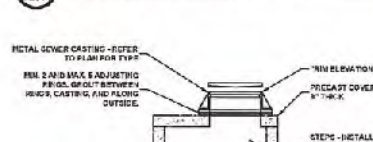
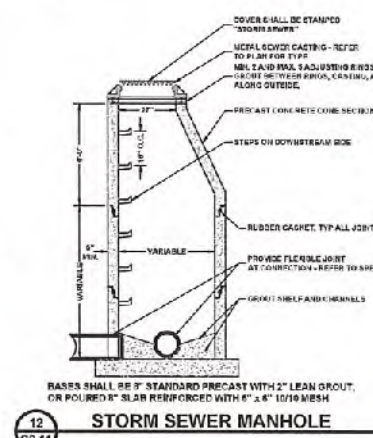
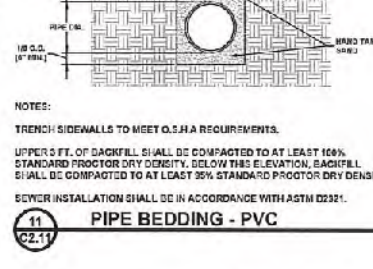
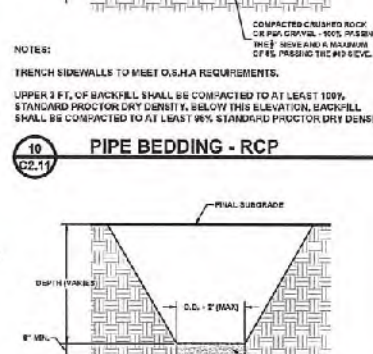
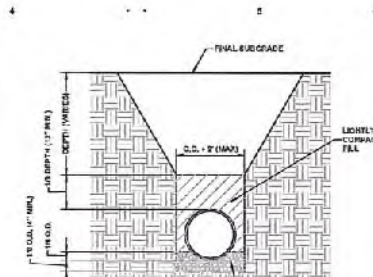
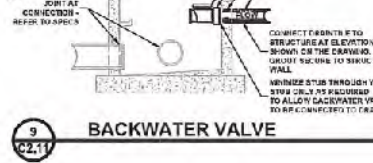
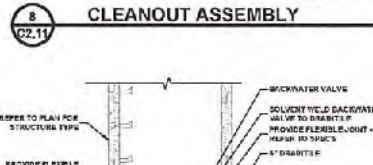
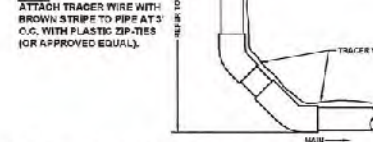
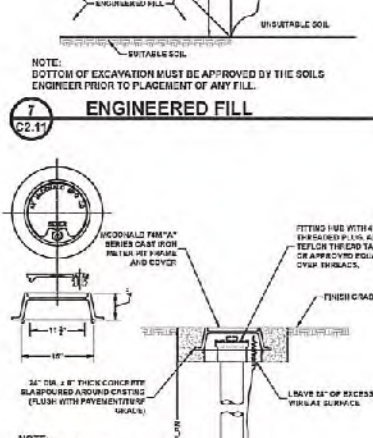
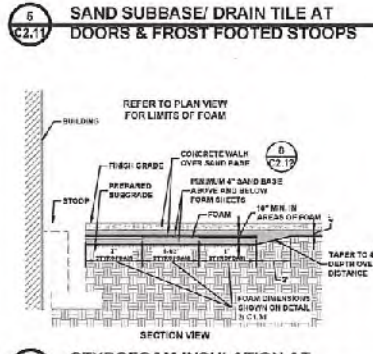
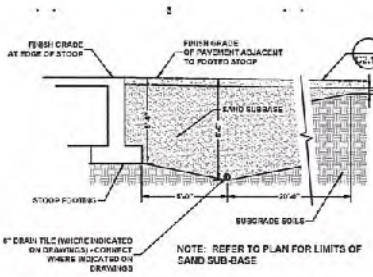
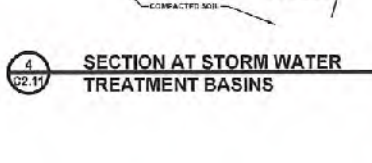
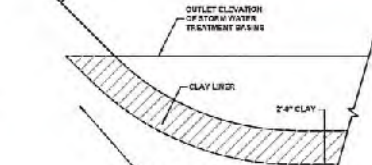
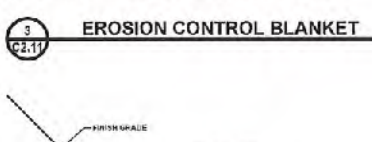
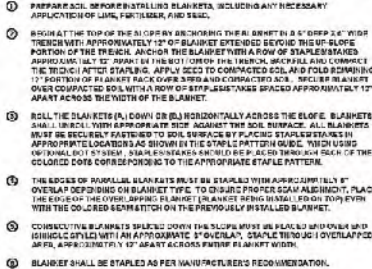
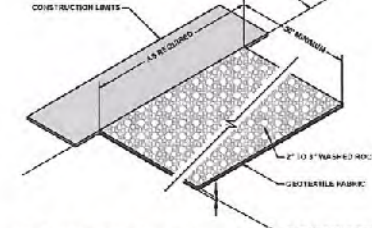
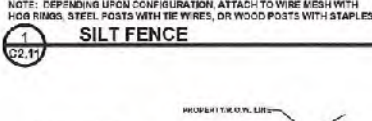
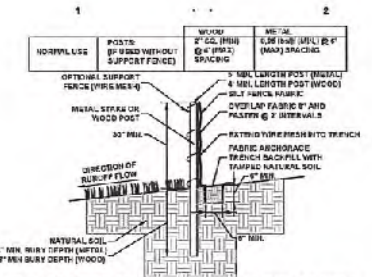
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Client: 122222
Date: 1/26/2016
Drawn: RJS
Checked: DAB

**LANDSCAPING
PLAN**

Scale: 1" = 40'
C1.61

MN



TURTLE LAKE ELEMENTARY SCHOOL ADDITIONS AND RENOVATION
1141 Loppak Ct. Shoreview, MN 55126
ISD #621: MOUNDS VIEW PUBLIC SCHOOLS
1570 VICTORIA ST N SHOREVIEW, MN 55116



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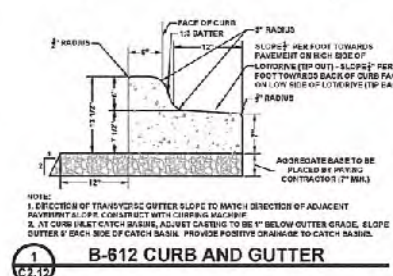


Standard details are provided as a guide only. The user is responsible for verifying the details are appropriate for the project and site conditions. PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

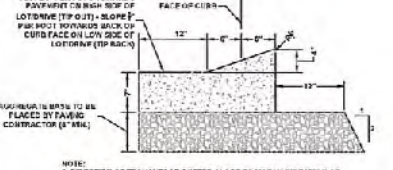
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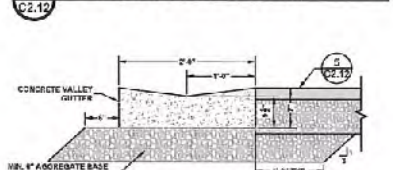
C2.11



1 B-612 CURB AND GUTTER
C2.12



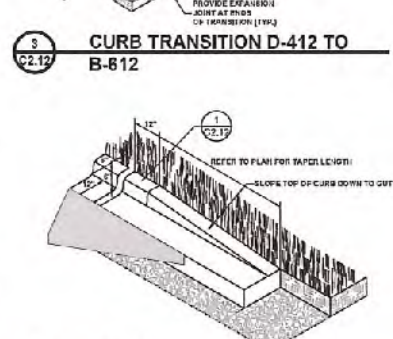
2A D-412 CURB & GUTTER
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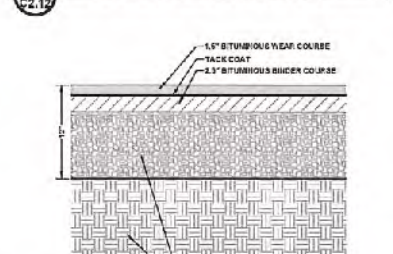
2B CONCRETE VALLEY GUTTER
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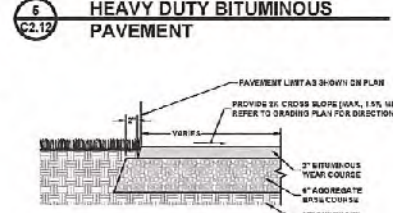
3 CURB TRANSITION D-412 TO B-612
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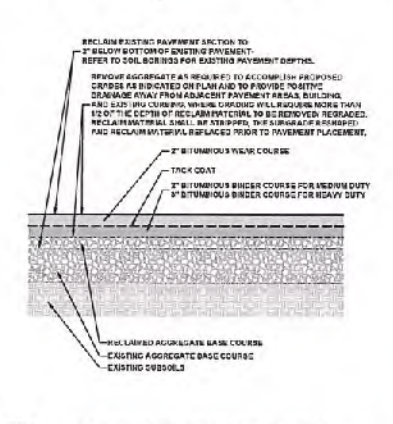
4 B-612 CURB TERMINATOR
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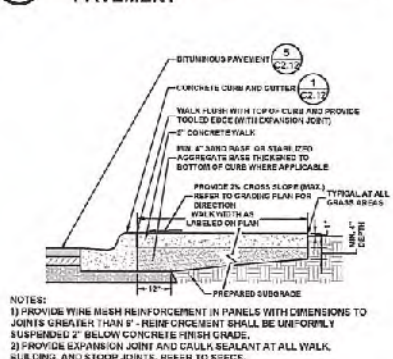
5 HEAVY DUTY BITUMINOUS PAVEMENT
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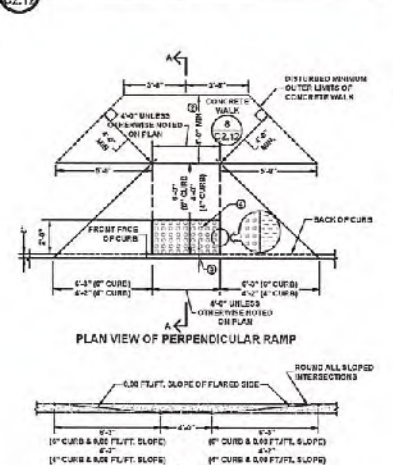
6 LIGHT DUTY BITUMINOUS PAVEMENT
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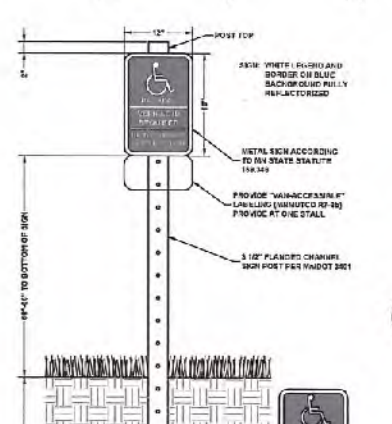
7 PAVEMENT RECLAIM / NEW PAVEMENT
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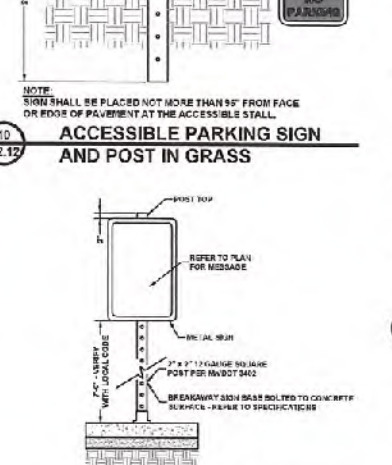
8 CONCRETE WALK
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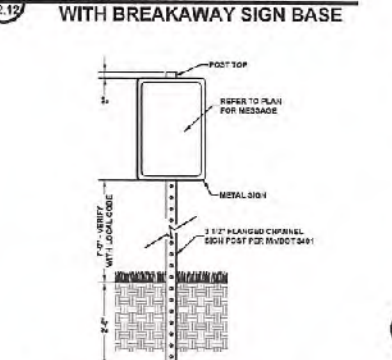
9 PEDESTRIAN CURB RAMP
C2.12



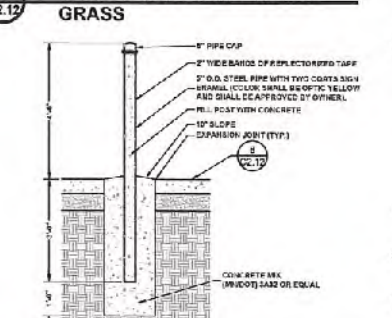
10 ACCESSIBLE PARKING SIGN AND POST IN GRASS
C2.12



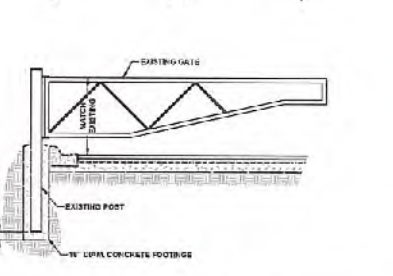
11 TRAFFIC SIGN AND POST WITH BREAKAWAY SIGN BASE
C2.12



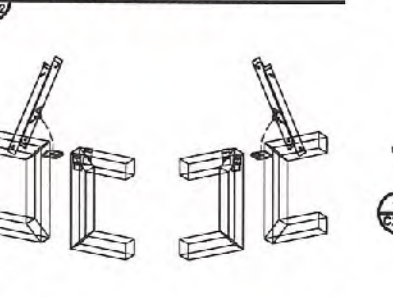
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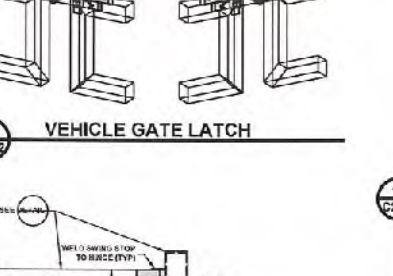
13 BOLLARD
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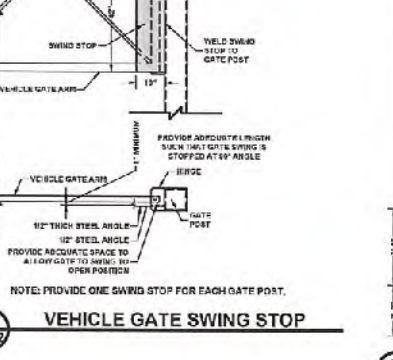
14 VEHICLE GATE FOOTING
C2.12



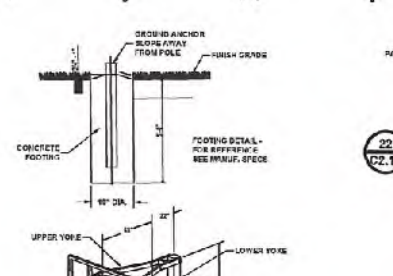
15 VEHICLE GATE LATCH
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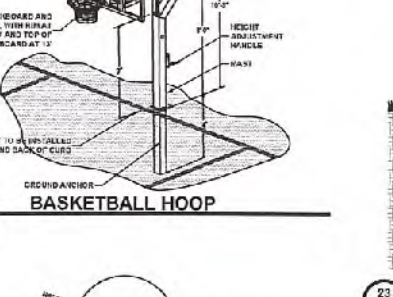
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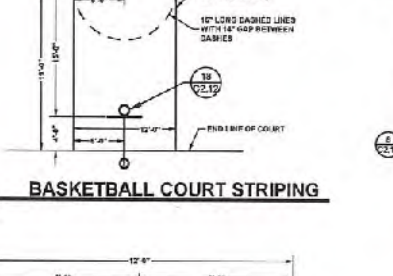
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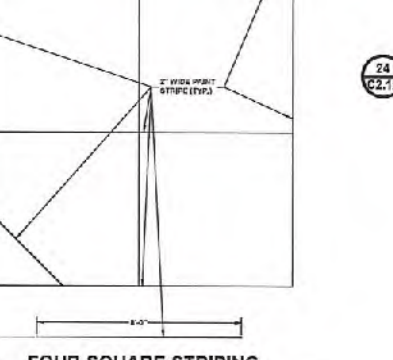
18 BASKETBALL HOOP
C2.12



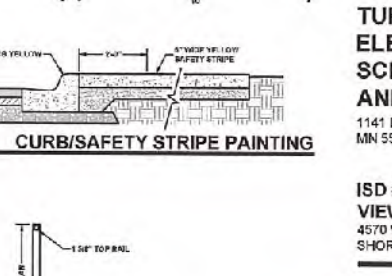
19 BASKETBALL COURT STRIPING
C2.12



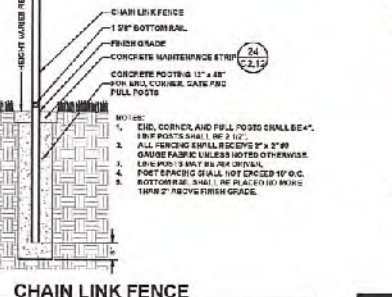
20 FOUR-SQUARE STRIPING
C2.12



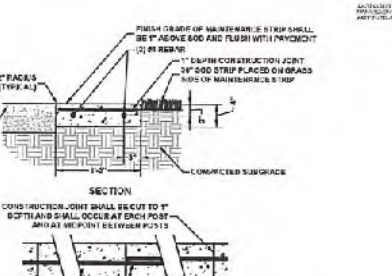
21 HOP SCOTCH STRIPING
C2.12



22 CURB/SAFETY STRIPE PAINTING
C2.12



23 CHAIN LINK FENCE
C2.12



24 CONCRETE MAINTENANCE STRIP
C2.12

**TURTLE LAKE
ELEMENTARY
SCHOOL ADDITIONS
AND RENOVATION**
1141 Lepak Ct. Shoreview,
MN 55128

**ISD #621: MOUNDS
VIEW PUBLIC SCHOOLS**
4570 VICTORIA ST N
SHOREVIEW, MN 55118



**WOLD ARCHITECTS
AND ENGINEERS**
112 Milaca, St. Paul, MN 55108
564 Park Ave. N, St. Paul, MN 55108

**ANGELSON - JAWORSKI
ARCHITECTS**
112 Milaca, St. Paul, MN 55108
564 Park Ave. N, St. Paul, MN 55108

**AJA
ARCHITECTS**
112 Milaca, St. Paul, MN 55108
564 Park Ave. N, St. Paul, MN 55108

SECTION
CONSTRUCTION JOINT SHALL BE CUT TO 1" DEPTH AND SHALL OCCUR AT EACH POST AND AT EACH POINT BETWEEN POSTS

PLAN
CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

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CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

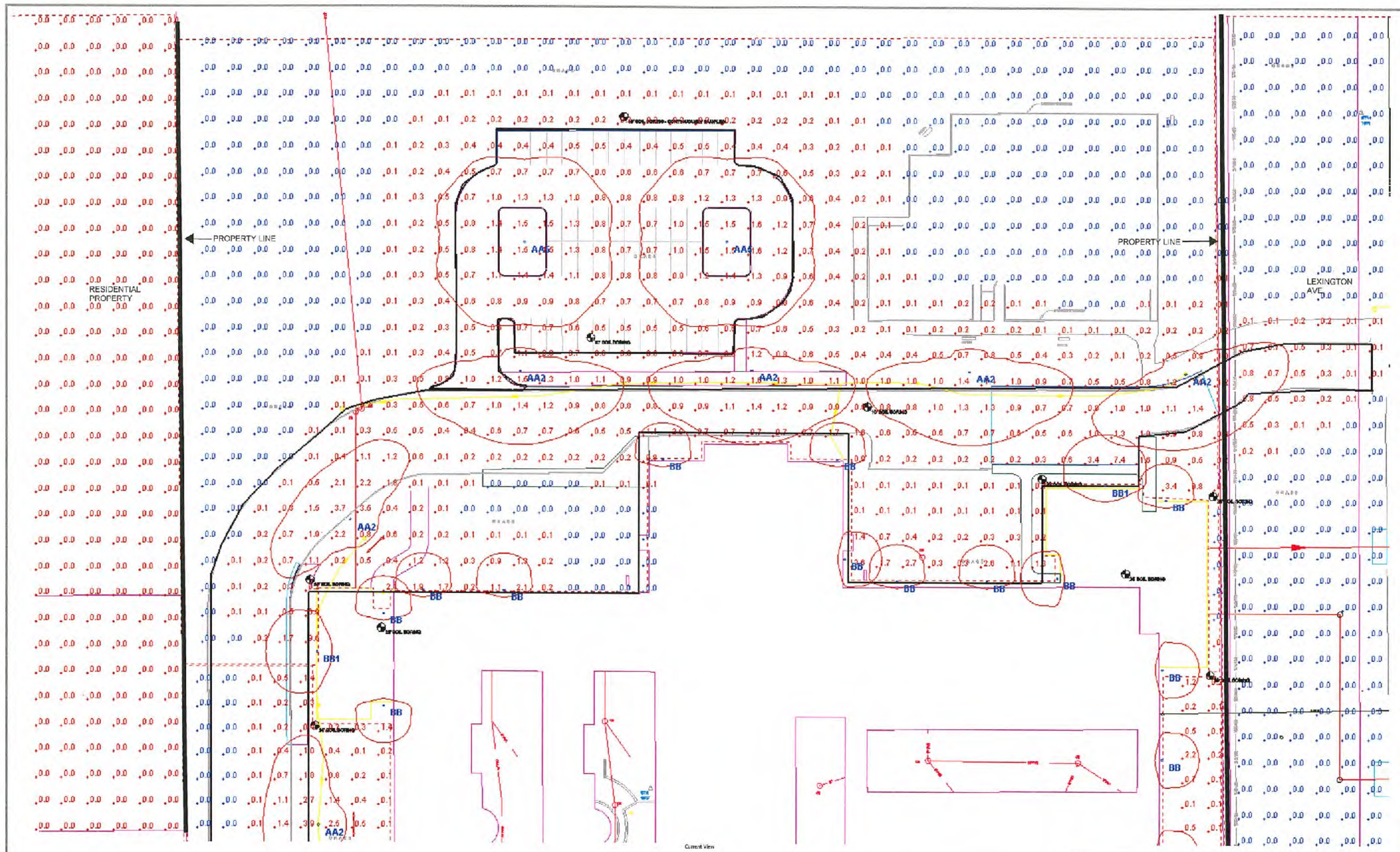
CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP

CONCRETE MAINTENANCE STRIP



Turtle Lake ES Additions and Renovations North Parking Photometrics
Project #: 172256

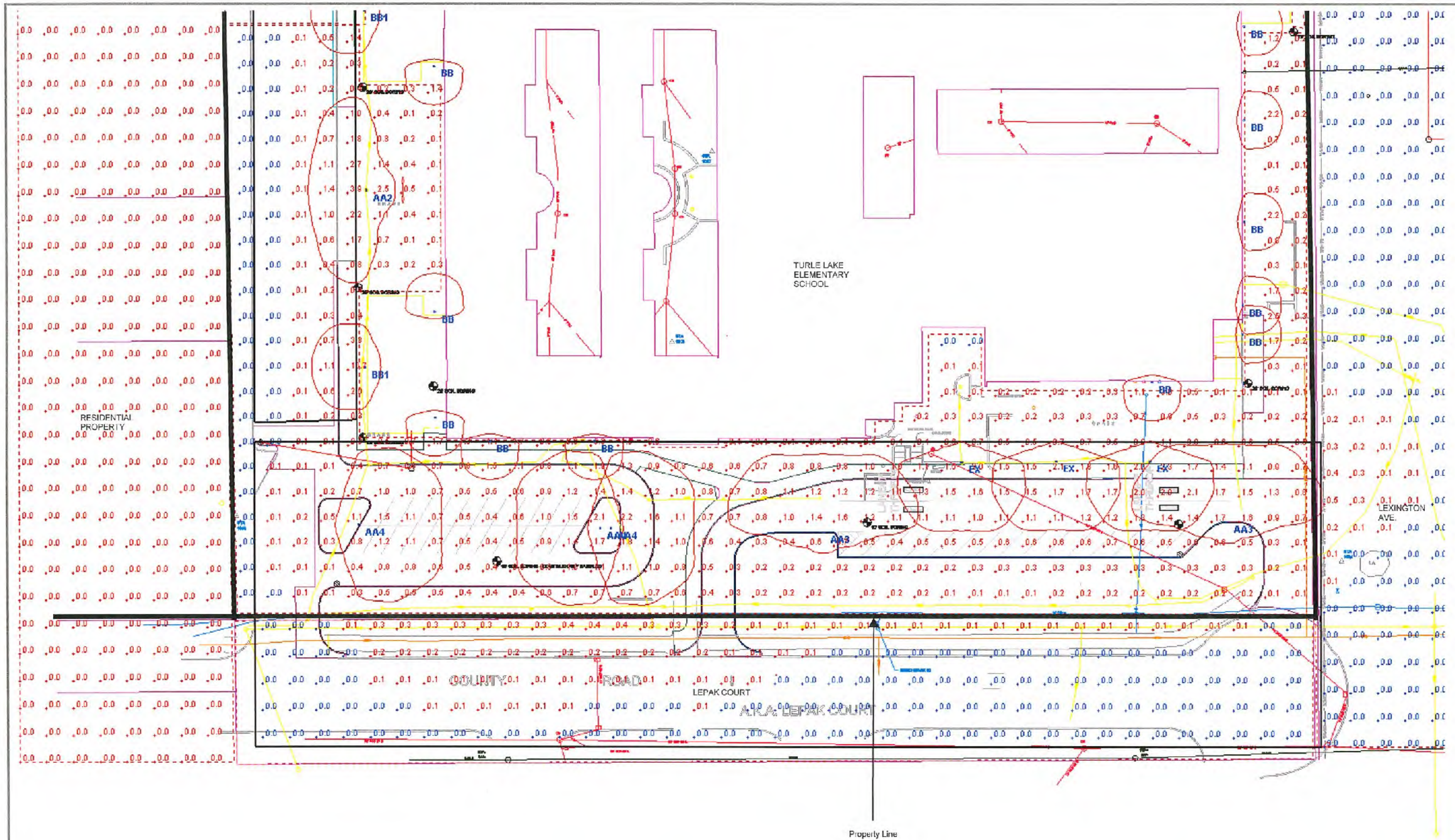


Current View

Symbol	Value	Unit	Notes
+	0.1	fc	Minimum
+	0.2	fc	Minimum
+	0.3	fc	Minimum
+	0.4	fc	Minimum
+	0.5	fc	Minimum
+	0.6	fc	Minimum
+	0.7	fc	Minimum
+	0.8	fc	Minimum
+	0.9	fc	Minimum
+	1.0	fc	Minimum
+	1.1	fc	Minimum
+	1.2	fc	Minimum
+	1.3	fc	Minimum
+	1.4	fc	Minimum
+	1.5	fc	Minimum
+	1.6	fc	Minimum
+	1.7	fc	Minimum
+	1.8	fc	Minimum
+	1.9	fc	Minimum
+	2.0	fc	Minimum
+	2.1	fc	Minimum
+	2.2	fc	Minimum
+	2.3	fc	Minimum
+	2.4	fc	Minimum
+	2.5	fc	Minimum
+	2.6	fc	Minimum
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+	3.9	fc	Minimum
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+	9.6	fc	Minimum
+	9.7	fc	Minimum
+	9.8	fc	Minimum
+	9.9	fc	Minimum
+	10.0	fc	Minimum

Symbol	Name	Height	Beam Angle	Capacity	Warranty
AA2	Ultrix Lighting	15'	40°	150W	5Y
AA3	Ultrix Lighting	15'	40°	150W	5Y
AA4	Ultrix Lighting	15'	40°	150W	5Y
AA5	Ultrix Lighting	15'	40°	150W	5Y
BB	Ultrix Lighting	15'	40°	150W	5Y
BB1	Ultrix Lighting	15'	40°	150W	5Y
EX	Ultrix Lighting	15'	40°	150W	5Y

Designer:
Erick Zedler
Date:
5/17/2018
Scale:
Not to Scale
Drawing No.
Summary



TURTLE LAKE
ELEMENTARY
SCHOOL

RESIDENTIAL
PROPERTY

COUNTY ROAD
LEPAK COURT

LEXINGTON
AVE.

Property Line

Current View

Symbol	Quantity	Unit	Notes
AA2	4	Lighting	See Schedule
AA3	2	Lighting	See Schedule
AA4	3	Lighting	See Schedule
AA5	7	Lighting	See Schedule
BB1	31	Lighting	See Schedule
BB2	31	Lighting	See Schedule
EX	3	Lighting	See Schedule

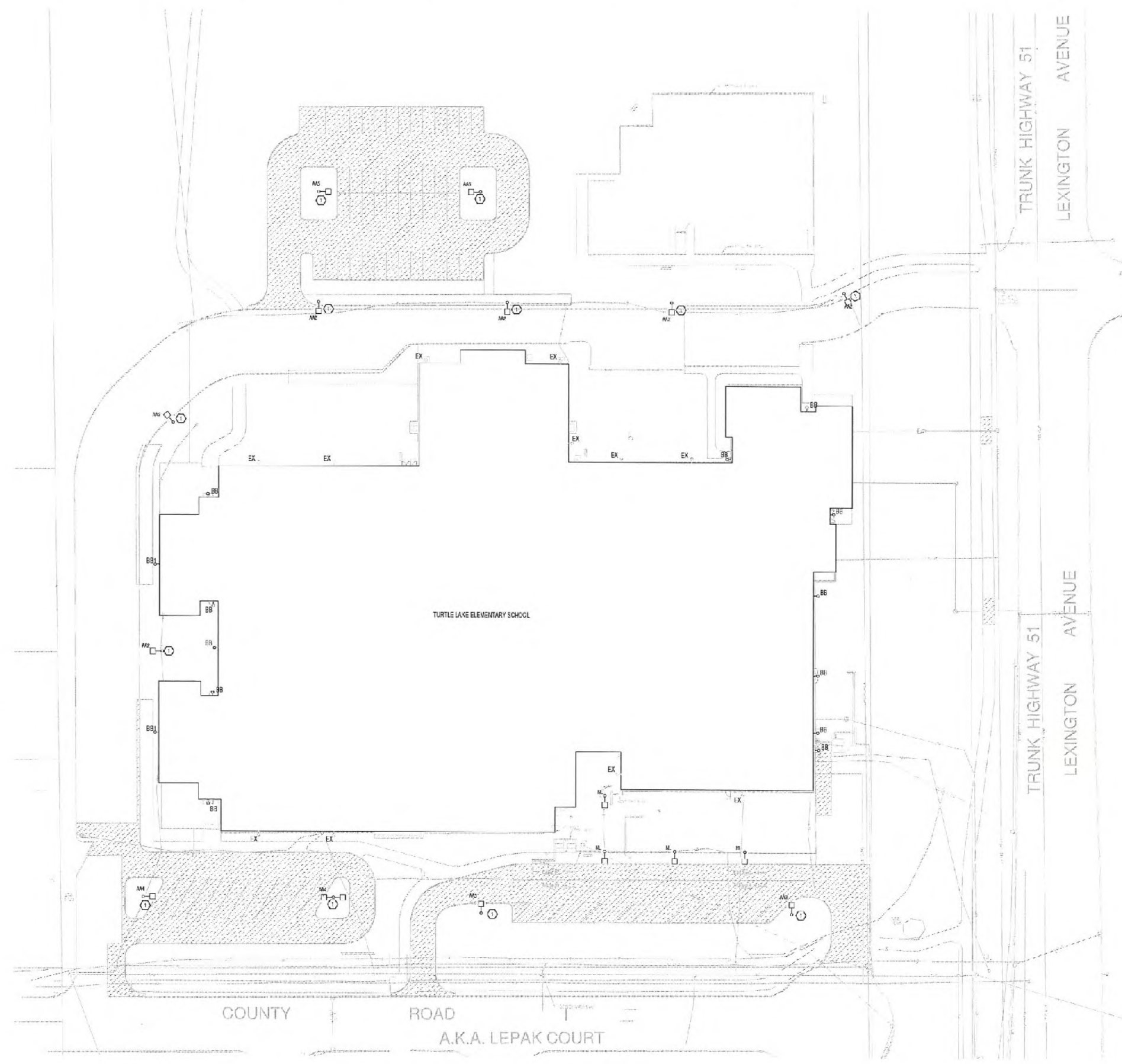
Symbol	Quantity	Unit	Notes
AA2	4	Lighting	See Schedule
AA3	2	Lighting	See Schedule
AA4	3	Lighting	See Schedule
AA5	7	Lighting	See Schedule
BB1	31	Lighting	See Schedule
BB2	31	Lighting	See Schedule
EX	3	Lighting	See Schedule

Turtle Lake ES Additions and Renovations South Parking Photometrics
Project #: 172256

Designer:
Date:
Scale:
Drawing No.:

MN

E



KEYED SHEET NOTES

1. INSTALL NEW LED LIGHT FIXTURES SEE LUMINAIRE SCHEDULE FOR DISTRIBUTION TYPE AND ADDITIONAL INFO. REFER TO SHEET E8.100 FOR TOLE DACE DETAIL.
2. INSTALL NEW LED WALLPACKS USE PERSISTENT DIMMABILITY.

Turtle Lake ES Additions and Renovations
 1141 Lepak Ct.
 Shoreview, MN 55125

Mounds View Public Schools (District 621)
 4570 Victoria St. N
 Shoreview, MN 55125




WOLD ARCHITECTS AND ENGINEERS
 332 Minnesota Street, Suite W200
 Saint Paul, MN 55101
 wold.com | 612.777.7772

I hereby certify that the above specifications or record drawings were prepared by me or under my direct supervision and that I am a Licensed Professional Engineer in the State of Minnesota.

Dr. Bradley R. Johannsen
 License Number: 43228 Date: 06/16/2016

Description	Revisions	
	By	Date

Contract: 172256
 Date: Issue Date
 Drawn: Number
 Check: Libecker


ELECTRICAL SITE PLAN - NEW

1 SITE PLAN - ELECTRICAL
 1" = 30'-0"

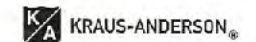
**DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION**

Scale: As Indicated
E0.002



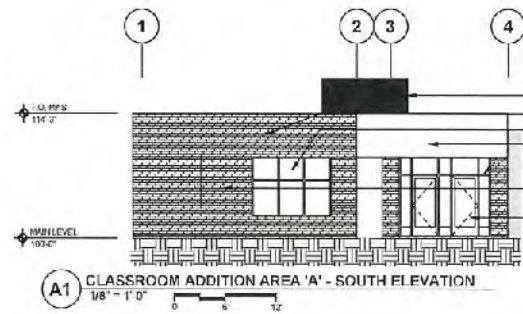
**WOLD ARCHITECTS
AND ENGINEERS**
333 Minnesota Street, Suite 2100
St. Paul, MN 55101

Phone: (612) 227-7771

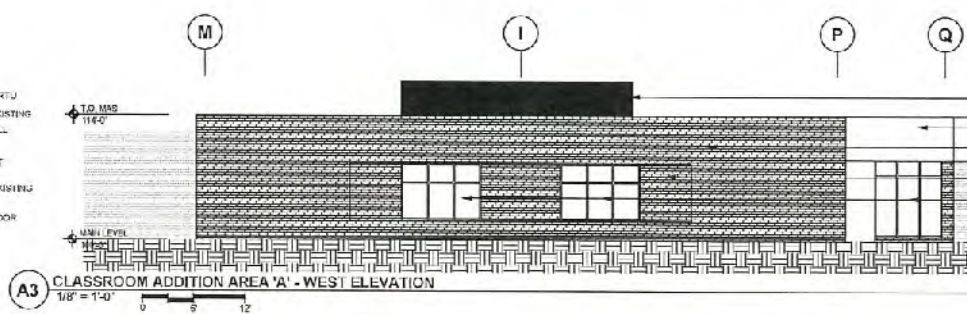


KRAUS-ANDERSON
901 South Eighth Street
Minneapolis, MN 55415
www.kraus-anderson.com | 612-333-7231

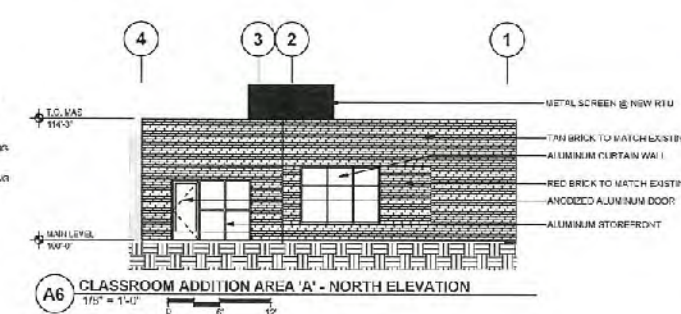
MN



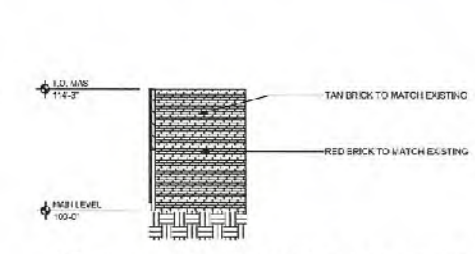
A1 CLASSROOM ADDITION AREA 'A' - SOUTH ELEVATION
1/8" = 1'-0"



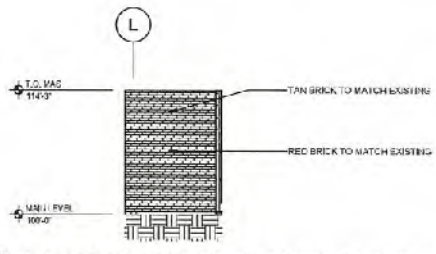
A3 CLASSROOM ADDITION AREA 'A' - WEST ELEVATION
1/8" = 1'-0"



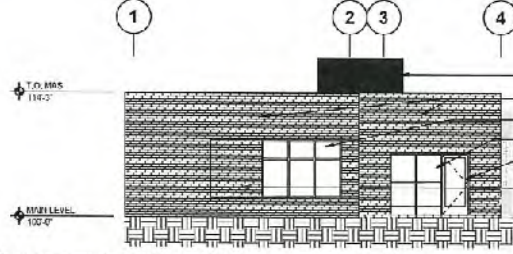
A6 CLASSROOM ADDITION AREA 'A' - NORTH ELEVATION
1/8" = 1'-0"



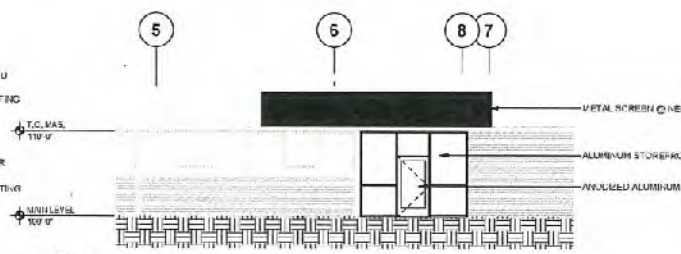
C1 CLASSROOM ADDITION AREA 'A' - NORTHWEST ELEVATION
1/8" = 1'-0"



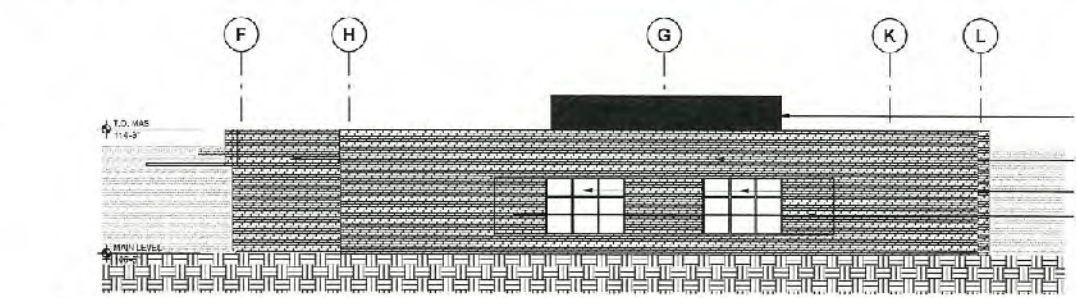
C2 CLASSROOM ADDITION AREA 'B' - SOUTHWEST ELEVATION
1/8" = 1'-0"



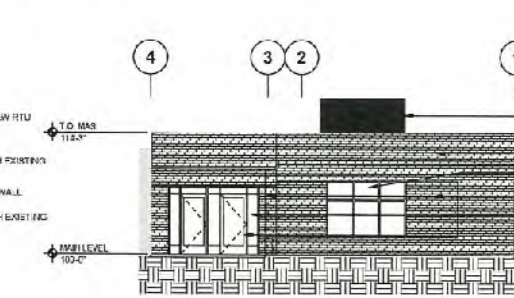
C4 CLASSROOM ADDITION AREA 'B' - SOUTH ELEVATION
1/8" = 1'-0"



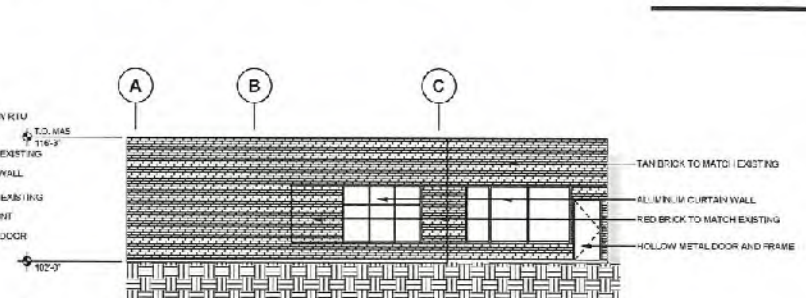
C6 NEW STREEFRONT AREA 'D' - SOUTH ELEVATION
1/8" = 1'-0"



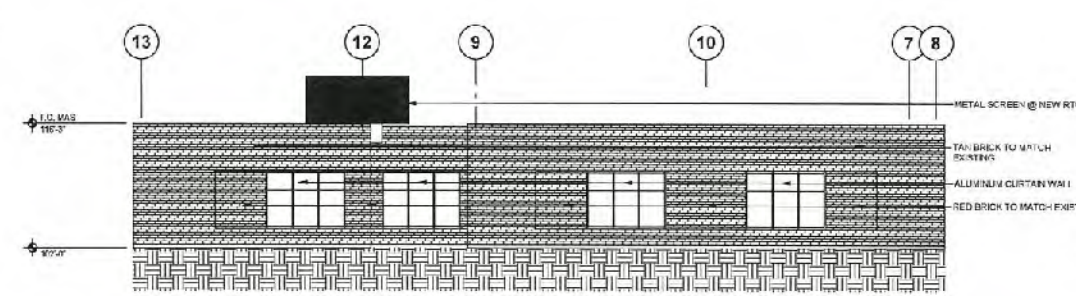
D1 CLASSROOM ADDITION AREA 'B' - WEST ELEVATION
1/8" = 1'-0"



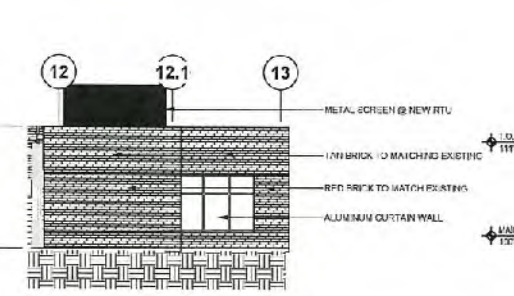
D4 CLASSROOM ADDITION AREA 'B' - NORTH ELEVATION
1/8" = 1'-0"



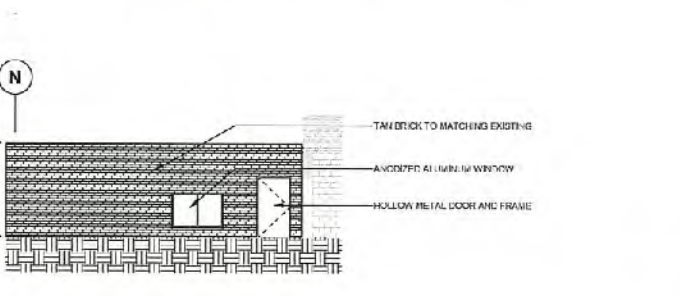
D7 CLASSROOM ADDITION AREA 'C' - WEST ELEVATION
1/8" = 1'-0"



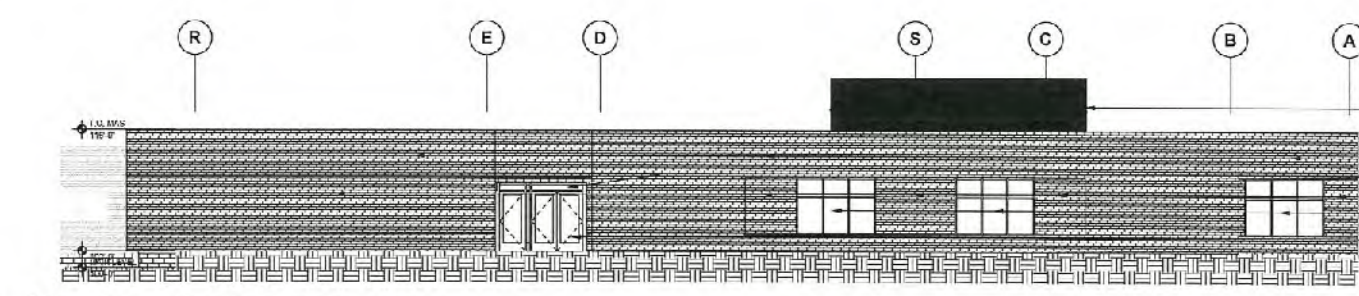
E1 CLASSROOM ADDITION AREA 'C' - NORTH ELEVATION
1/8" = 1'-0"



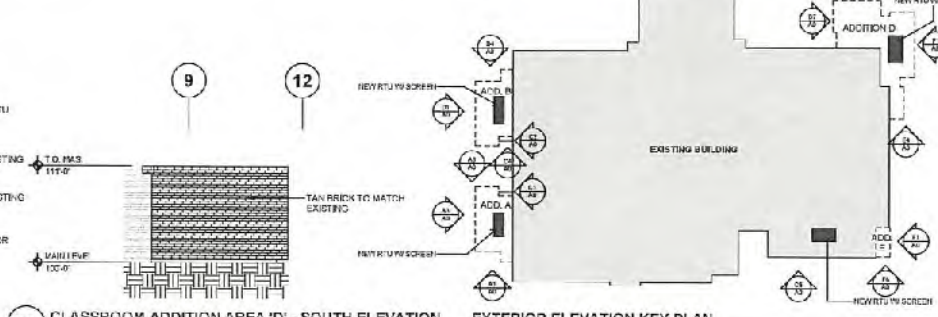
E4 CLASSROOM ADDITION AREA 'C' - SOUTH ELEVATION
1/8" = 1'-0"



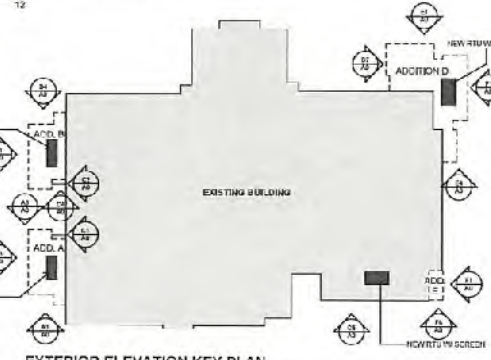
E6 CLASSROOM ADDITION AREA 'D' - EAST ELEVATION
1/8" = 1'-0"



F1 CLASSROOM ADDITION AREA 'C' - EAST ELEVATION
1/8" = 1'-0"



F6 CLASSROOM ADDITION AREA 'D' - SOUTH ELEVATION
1/8" = 1'-0"



EXTERIOR ELEVATION KEY PLAN

Showing early drawings. Construction permit was previously obtained by client. Construction and use as approved.
ARCHITECT
Under the Seal of the State of MINNESOTA

Scale: PAUL APLIKOWSKI
4827' Date: 02/27/18

Revision	By	Date

Client: 172018
Date: 02/28/18
Drawn: JMN
Check: [Signature]

**EXTERIOR
ELEVATIONS**

Scale: As Indicated

**NOT FOR CONSTRUCTION
CD ESTIMATE SET**

A0



D-Series Size 0 LED Area Luminaire



Catalog Number
Notes
Type

If color table is not used, color rendering is assumed to be 90.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

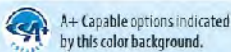
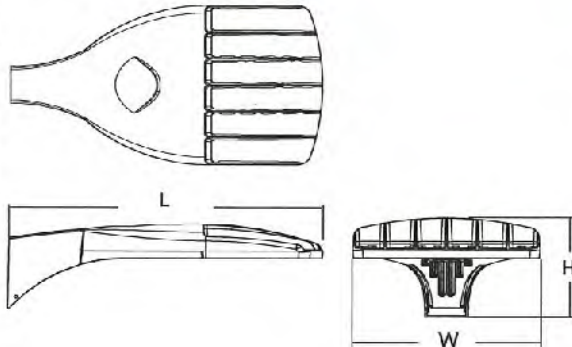
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aolus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DBBXD

DSX0 LED

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics	30K 3000 K	T1S Type I short	T5S Type V short	MVOLT ^{4,5}	Shipped included SPA Square pole mounting RPA Round pole mounting WRA Wall bracket SPUMBA Square pole universal mounting adaptor ⁸ RPUMBA Round pole universal mounting adaptor ⁸ Shipped separately KMA8 DBBXD U Mast arm mounting bracket adaptor (specify finish) ⁹
	P1 P4 P7	40K 4000 K	T2S Type II short	T5M Type V medium	120 ⁶	
	P2 P5	50K 5000 K	T2M Type II medium	T5W Type V wide	208 ^{5,6}	
	P3 P6	AMBPC Amber phosphor converted ²	T3S Type III short	BLC Backlight control ^{2,3}	240 ^{5,6}	
	Rotated optics		T3M Type III medium	LCCO Left corner cutoff ^{2,3}	277 ⁶	
	P10 ¹ P12 ¹		T4M Type IV medium	RCCO Right corner cutoff ^{2,3}	347 ^{5,6,7}	
	P11 ¹ P13 ¹		TFTM Forward throw medium		480 ^{5,6,7}	
			T5VS Type V very short			

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹⁰ PER NCMA twist-lock receptacle only (control ordered separate) ¹¹ PER5 Five-wire receptacle only (control ordered separate) ^{11,12} PER7 Seven-wire receptacle only (control ordered separate) ^{11,12} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{5,13,14} PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{5,13,14} PIRI/N Network, Bi-Level motion/ambient sensor ^{4,5} PIRIFC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 7fc ^{5,13,14}	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 7fc ^{5,13,14} BL30 Bi-level switched dimming, 30% ^{5,15,17} BL50 Bi-level switched dimming, 50% ^{5,15,17} PNMTD03 Part night, dim till dawn ^{5,18} PNMTSD3 Part night, dim 5 hrs ^{5,18} PNMTGD3 Part night, dim 6 hrs ^{5,18} PNMT7D3 Part night, dim 7 hrs ^{5,18} FAO Field adjustable output ¹⁹	Shipped installed IIS House-side shield ²⁰ SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DDL Diffused drop lens ²¹ Shipped separately BS Bird spikes ²¹ EGS External glare shield ²¹
		DBBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DOBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



**MOTION
VARIANCE/SITE AND BUILDING PLAN REVIEW
WOLD ARCHITECTS (ISD 621), 1141 LEPAK COURT
TURTLE LAKE ELEMENTARY SCHOOL**

MOVED BY COMMISSION MEMBER:

SECONDED BY COMMISSION MEMBER:

To adopt Resolution No. 18-80 approving the setback variance for Building Additions "C" and "D" and recommend the City Council approve the Site and Building Plan Review for the proposed improvements at Turtle Lake Elementary, 1141 Lepak Court. The approvals are subject to the following conditions:

Variance

1. The structure setback from the Lexington Avenue right-of-way for Building Addition "C" is approved at 7.9 feet and for Building Addition "D" is approved at the current building setback of 35.9'.
2. Existing vegetation within the Lexington Avenue right-of-way shall be retained and not disturbed by these improvements.
3. The approval is subject to a 5 day appeal period.

Site and Building Plan Review

1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.
2. The approval will expire after one year a building permit has not been issued.
3. Obtain a Rice Creek Watershed District Permit and submit a copy to the City prior to the City prior to the issuance of a building or grading permit.
4. Any work in the Lexington Avenue right-of-way will require a permit from Ramsey County.
5. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director, prior to the issuance of a building or grading permit for this project.
6. The applicant is required to enter into a Development and Erosion Control Agreement with the City. Said agreement shall be executed prior to the issuance of any permits for this project.
7. The Building Official is authorized to issue a building permit for the project, upon satisfaction of the conditions above.

VOTE:

AYES:

NAYS:

TO: Planning Commission
FROM: Kathleen Castle, City Planner
DATE: November 21, 2018
RE: File No. 2709-18-29; Destination Shoreview 2040 - 2018 Comprehensive Plan

In October, the Planning Commission opened the public hearing for the Comprehensive Plan, Destination Shoreview 2040, listened public testimony, engaged in discussion and suggested changes to the Plan. The public hearing was continued to provide Staff the time needed to draft revisions recommended by the Planning Commission. These revisions have been drafted and are being presented to the Planning Commission for review.

Again, the full public hearing draft can be viewed on the City's website destination.shoreviewmn.gov. The proposed revisions have been posted on-line for public review and comment.

PROPOSED REVISIONS

Chapter 4 – Land Use

Policy Development Areas

To address issues associated with infill and redevelopment, this Chapter includes Policy Development Areas (PDA's). The use of this PDA concept has been in place since the 1982 and allows the City to require more specific development standards that would generally be applied to development proposals. These standards, along with the land use designation and general land use management policies set the City's official land use policy for each site.

The majority of comments received from the public and the Commission's discussion focused on three of the proposed PDA's. The following summarizes the changes that were drafted by Staff.

PDA #6 – Shoreview Commons Residential Neighborhood

In Policy B1, the reference to "eastern" was replaced with "western". Density shall be concentrated towards to the western part of this PDA, adjacent to the Commons Area.

PDA #11 – Gramsic/Hodgson Road/Rice Street Intersection

The Commission recommended staff develop options based on the public comment received and the discussion by Commission members. Three options are being presented to the Commission for consideration.

180 County Road F (New Life Lutheran Church)

All options include revised language that clarifies that the church use, including a future expansion, is an appropriate use for this property (Policy A). Language in Policy D was revised

to address the change in grade elevation on the site and potential impact future development may have on the topography and existing drainage and utility easement. Significant grade changes may not be supported.

West Side of Hodgson Road

The first option adds the RL, Low Density Residential designation (0 to 4 units per acre). Policies have been revised to address this change. In Policy B, a landscape buffer would be required for any office, medium or high density residential development that abuts the adjacent single-family residential neighborhood. Policy J requires an internal public street system for any low-density residential use. Individual driveway access points onto Gramsie and Hodgson Roads would not be supported by the City (Policy K).

The second option includes the RL designation and removes the RII, High Density Residential designation. References to high density residential have been removed from the PDA. Site and building design techniques and landscape buffering would be required to mitigate the impacts on low density residential land uses (Policies B and F). Policies J and K address access for low-density residential uses.

The last option retains the original language proposed with no change in the proposed land use designations or policies.

PDA #16- YMCA/Island Lake Golf Course

Policy F was revised to better address land uses immediately north of the existing residential neighborhood. The preferred land use for this area is low or medium density residential. Language was also added to address the use of the property where the existing YMCA building is located on the property. If the building is removed or repurposed, a mixture of uses may be appropriate including office, commercial, high and medium density residential.

PUBLIC COMMENT

The proposed revisions were posted on the City's website for public review and comment. Comments received as of November 20th are attached. Any additional comments received prior to the meeting will be handed out to the Commission at the meeting.

RECOMMENDATION

Revisions to these PDA's are being presented to the Planning Commission for review and discussion. With the continuation of the public hearing, members of the public have the opportunity to comment on the proposed changes. The Planning Commission has two options. First, the Commission can recommend additional revisions to the Plan and continue the hearing to the December 18th Planning Commission meeting. If this matter is continued, Staff will file an extension request with the Metropolitan Council as the City would not be able to meet the Metropolitan Council's December 31st submittal deadline.

Second, the Commission can forward the Plan to the City Council with a recommendation of approval contingent upon policies being revised as supported by the Commission. This item would then be scheduled for the review by the City Council at their December 17th meeting.

Two motions are attached.

Attachments:

1. Revised Language – PDA #6, 11 and 16
2. Public Comments
3. Motion

November 14 – Revised Language

Stricken Text – Proposed for deletion

Red Text – Proposed for addition

Policy Development Area #6. Shoreview Commons Residential Neighborhood

The Shoreview Commons is located within the Highway 96 corridor at Victoria Street and serves as a focal point in the community for civic and recreational services. The surrounding land uses include low, medium and high density residential neighborhoods, retail, industry and regional open space. East of the Commons on the north side of Highway 96, are single-family homes located on parcels that are generally larger than the average residential parcel found within the City. The proximity of these homes to the Highway 96 corridor, the Commons area, retail and recreation uses make them attractive for alternative land uses. These properties could potentially be incorporated into the Shoreview Commons campus or redeveloped. The City is willing to consider alternative land uses in the subject area if a private developer came forward with a plan that was supported and acceptable to the property owners within the PDA, supported by market conditions, and consistent with City policies.

Policies

The land use designation of the Shoreview Commons Residential Neighborhood includes INST, RL and RM. The RL, Low Density Residential will remain and is intended to recognize the existing development pattern and the single-family residential land uses. Any change in land use will require a Comprehensive Plan Amendment. Redevelopment to medium or high-density residential will require the consolidation of parcels.

- A. The Institutional land use designation is intended for the potential expansion of the Shoreview Commons as land area may be needed to accommodate the facility, recreational uses and parking areas. These properties may also transition to medium density residential.
- B. Redevelopment of this area with medium density residential uses shall adhere to the following:
 1. While the overall density cannot exceed 8 units per acre, density shall be concentrated in the ~~eastern~~ **western** portion of the PDA where the land abuts the public Shoreview Commons area.
 2. Residential development on the eastern portion of the site adjacent to the single-family residential properties shall not exceed two stories in height and shall contain no more than 4 units per building.
 3. Where the redevelopment adjoins the single-family residential neighborhood, a buffer shall be provided and may consist of reduced building heights, increased building and parking setbacks and an enhanced landscape buffer.
- C. Redevelopment shall consolidate and minimize access points onto Highway 96.

- D. The City prefers parcels be consolidated with one another in order to create a consolidated and integrated redevelopment pattern. Individual parcels may not be redeveloped in isolation without consideration of the redevelopment of this entire area.
- E. Developers are required to prepare and adhere to a redevelopment master plan of sufficient detail to ensure the coordinated and integrated redevelopment of the PDA. This plan must take the entire PDA into consideration. This plan and all phasing require review and approval by the City.
- F. Incorporate transit, pedestrian connections and other modes of transportation in development plans for the area.
- G. Traffic impacts on Highway 96 and the adjoining single-family residential neighborhood shall be evaluated.

November 14 – Revised Language

~~Stricken Text – Proposed for deletion~~

Red Text – Proposed for addition

Option 1 – RL added

11. Gramsie/Hodgson Road/Rice Street Intersection

This PDA consists of vacant and developed land north of the Hodgson/Gramsie Road/Rice Street intersection. The two developed parcels sit on the east side of Hodgson Road and also bounded by Rice Street and County Road F. The New Life Lutheran Church at 180 County Road F is 4.99 acres in size and appears to have sufficient land area for future development; however, a significant portion of the property is encumbered with a drainage and utility easement. The adjoining property at 4001 Rice Street is less than an acre and fully developed with a commercial use.

The vacant parcels are located west of Hodgson Road and include four parcels with a total land area of 6 acres. This ~~property is~~ **land is** also bounded by several streets including Hodgson Road, Gramsie Road and Virginia Avenue. The land uses surrounding this area vary with low density single-family residential to the north and west, high density residential to the north and south and commercial to the south. Land uses east of this area include low density attached and detached residential in the City of Vadnais Heights. These **vacant** properties ~~are wooded with mature vegetation that has provided a natural~~ **provide a** buffer for the adjoining single-family residential neighborhood from the higher intensity uses located at the intersection.

Policies

The redevelopment and development potential for this area is supported by the intensity of the adjoining land uses, frontage on Hodgson Road, ~~(an arterial road), and~~ **(an arterial road), and** proximity to Interstate 694 and the Regional Vadnais-Snail Lake Park. **Transit is also available and a bus stop is present at the Hodgson Road/Gramsie Road intersection.** ~~and availability of transit.~~ Development or redevelopment that provides additional housing choices and opportunities in this area would be supported provided the policies of this PDA are met.

East Side of Hodgson Road

The land use designations for the property on the east side of Hodgson Road include:

180 County Road F

The designated land uses ~~are~~ **is** INST, Institutional and RM, Medium Density Residential. The Institutional designation recognizes that the existing church use is suitable and can remain. Medium density would permit the attached housing on the surplus land area.

- A. **Expansion of the church on this property is appropriate for this site provided the standards of the Development Code are met.**
- B. Medium-density residential development is a suitable infill use on this property.

- C. Prior to the incorporation of residential uses on this property, further analysis and discussions shall occur with Ramsey County regarding the drainage and utility easement and need for stormwater management.
- D. The church, parking lot and driveways are located toward the County Road F/Hodgson Road intersection and are at a higher grade elevation than the property to the south which is encumbered with a drainage and utility easement. Future development on this property shall consider the topography and impacts on the drainage and utility easement. ~~Topography limitations shall be taken into consideration.~~ Development that requires or proposes significant grade changes ~~will~~ **may** not be supported.
- E. Access must be addressed as part of any development proposal. Access is preferred off of County Road F

4001 Rice Street

The designated land uses for this property is **are** C, Commercial and O, Office.

- A. The continued use of this property as boutique retail is supported. Other commercial and office uses may be acceptable provided they have a lower intensity and are consistent with the approved Planned Unit Development for this site.

West Side of Hodgson Road

The land use designations for the vacant parcels include **RI, Low Density Residential**, RM, Medium Density Residential and RH, High Density Residential and O, Office.

- A. Primary access from Gramsie Road is preferred to reduce the impact of development on the adjacent single-family residential neighborhood. Access to the site from Virginia Avenue is not desirable but may be permitted through the City's development review process. The curvature of the roadway creates access issues onto Gramsie Road; therefore, centralized access to all properties is encouraged.
- B. The site was cleared with the removal of brush, unhealthy and invasive mature trees. Some mature healthy landmark trees remain on the property, specifically along the western boundary of the property. The City encourages a site design that preserves the remaining mature trees, especially those that are located near the perimeter adjacent to the single-family residential. Tree replacement will be required as specified in the Development Code with any future redevelopment proposal. In addition to replacement, a landscaped buffer will be required **for any office, medium or high density residential development that abuts the existing low density residential neighborhood.** ~~—and should consist of a combination of the following~~ To reduce the impact of development on the adjoining single-family residential land uses, **a buffer should consist of a combination of the following:** fencing, berming, deciduous or evergreen trees and shrubs.
- C. Traffic impacts will need to be evaluated. Development shall not have an adverse traffic impact on the adjoining single-family residential neighborhood.

- D. The development of this property shall include all parcels. The development of a single parcel or portion of this site will not be considered unless part of a master plan.
- E. High density residential and office buildings shall be oriented towards the Gramsie/Hodgson Road intersection to create a presence and sense of place. Reduced setbacks will be considered if they result in increased setbacks and landscaped buffer area from the adjoining single-family residential neighborhood.
- F. Site and building design techniques shall be used to mitigate impacts on the adjoining low density residential land uses. Examples include reduced building heights, increased building setbacks and an enhanced landscape buffer.
- G. The maximum density permitted for high density residential uses is 15 units per acre.
- II. The site shall be designed with a higher intensity of development towards the Hodgson/Gramsie Road intersection. The intensity of development shall lessen as it gets closer to the adjoining single-family residential neighborhood.
- I. A development with a mix of office, medium and high density residential use may be considered for this site provided the policies set forth are met. Office or high density residential should be placed towards the Gramsie/Hodgson Road intersection aware from the lower density single-family residential uses.
- J. If this property is developed with low density residential uses, then an internal public street system is required to provide access. This street system may access onto either Gramsie Road or Vivian Street provided a traffic study is completed and finds that this access will not have a detrimental impact on these roadways or the nearby residential neighborhood.
- K. Individual driveways onto Gramsie or Hodgson Road for low density residential land uses will not be supported by the City.

Option 2 – Includes RL but removes RH

11. Gramsie/Hodgson Road/Rice Street Intersection

This PDA consists of vacant and developed land north of the Hodgson/Gramsie Road/Rice Street intersection. The two developed parcels sit on the east side of Hodgson Road and also bounded by Rice Street and County Road F. The New Life Lutheran Church at 180 County Road F is 4.99 acres in size and appears to have sufficient land area for future development, however, a significant portion of the property is encumbered with a drainage and utility easement. The adjoining property at 4001 Rice Street is less than an acre and fully developed with a commercial use.

The vacant parcels are located west of Hodgson Road and include four parcels with a total land area of 6 acres. This property is land is also bounded by several streets including Hodgson Road, Gramsie Road and Virginia Avenue. The land uses surrounding this area vary with low density single-family residential to the north and west, high density residential to the north and south and

commercial to the south. Land uses east of this area include low density attached and detached residential in the City of Vadnais Heights. These **vacant** properties ~~are wooded with mature vegetation that has provided a natural~~ **provide a** buffer for the adjoining single-family residential neighborhood from the higher intensity uses located at the intersection.

Policies

The redevelopment and development potential for this area is supported by the intensity of the adjoining land uses, frontage on Hodgson Road; **(an arterial road)**, ~~and~~ proximity to Interstate 694 and the Regional Vadnais-Snail Lake Park. **Transit is also available and a bus stop is present at the Hodgson Road/Gramsic Road intersection.** ~~and availability of transit.~~ Development or redevelopment that provides additional housing choices and opportunities in this area would be supported provided the policies of this PDA are met.

East Side of Hodgson Road

The land use designations for the property on the east side of Hodgson Road include:

180 County Road F

The designated land uses **are** ~~is~~ INST, Institutional and RM, Medium Density Residential. The Institutional designation recognizes that the existing church use is suitable and can remain. Medium density would permit the attached housing on the surplus land area.

- A. **Expansion of the church on this property is appropriate for this site provided the standards of the Development Code are met.**
- B. Medium-density residential development is a suitable infill use on this property.
- C. Prior to the incorporation of residential uses on this property, further analysis and discussions shall occur with Ramsey County regarding the drainage and utility easement and need for stormwater management.
- D. **The church, parking lot and driveways are located toward the County Road F/Hodgson Road intersection and are at a higher grade elevation than the property to the south which is encumbered with a drainage and utility easement. Future development on this property shall consider the topography and impacts on the drainage and utility easement. Topography limitations shall be taken into consideration.** Development that requires or proposes significant grade changes ~~will~~ **may** not be supported.
- E. Access must be addressed as part of any development proposal. Access is preferred off of County Road F

4001 Rice Street

The designated land uses for this property ~~is~~ **are** C, Commercial and O, Office.

- A. The continued use of this property as boutique retail is supported. Other commercial and office uses may be acceptable provided they have a lower intensity and are consistent with the approved Planned Unit Development for this site.

West Side of Hodgson Road

The land use designations for the vacant parcels include **RL, Low Density Residential**, RM, Medium Density Residential and ~~RH, High Density Residential~~ and O, Office.

- A. Primary access from Gramsie Road is preferred to reduce the impact of development on the adjacent single-family residential neighborhood. Access to the site from Virginia Avenue is not desirable but may be permitted through the City's development review process. The curvature of the roadway creates access issues onto Gramsie Road; therefore, centralized access to all properties is encouraged.
- B. The site was cleared with the removal of brush, unhealthy and invasive mature trees. Some mature healthy landmark trees remain on the property, specifically along the western boundary of the property. The City encourages a site design that preserves the remaining mature trees, especially those that are located near the perimeter adjacent to the single-family residential. Tree replacement will be required as specified in the Development Code with any future redevelopment proposal. In addition to replacement, a landscaped buffer will be required **for any office or medium density residential development that abuts the existing low density residential neighborhood.** ~~and should consist of a combination of the following~~ To reduce the impact of development on the adjoining single-family residential land uses, **a buffer should consist of a combination of the following:** fencing, berming, deciduous or evergreen trees and shrubs.
- C. Traffic impacts will need to be evaluated. Development shall not have an adverse traffic impact on the adjoining single-family residential neighborhood.
- D. The development of this property shall include all parcels. The development of a single parcel or portion of this site will not be considered unless part of a master plan.
- E. ~~High-density residential and Office buildings shall be oriented towards the Gramsie/Hodgson Road intersection to create a presence and sense of place. Reduced setbacks will be considered if they result in increased setbacks and landscaped buffer area from the adjoining single-family residential neighborhood.~~
- F. **For office and medium density residential uses,** site and building design techniques shall be used to mitigate impacts on the ~~adjoining~~ **existing** low density residential land uses. Examples include reduced building heights, increased building setbacks and an enhanced landscape buffer.
- G. ~~The maximum density permitted for high-density residential uses is 15 units per acre.~~
- H. The site shall be designed with a higher intensity of development towards the Hodgson/Gramsie Road intersection. The intensity of development shall lessen as it gets closer to the adjoining single-family residential neighborhood.

- I. A development with a mix of office **and** medium ~~and high~~-density residential use may be considered for this site provided the policies set forth are met. Office ~~or high density residential~~ should be placed towards the Gramsie/Hodgson Road intersection away from the lower density single-family residential uses.
- J. **If this property is developed with low density residential uses, then an internal public street system is required to provide access to these uses. This street system may access onto either Gramsie Road or Vivian Street provided a traffic study is completed and finds that this access will not have a detrimental impact on these roadways.**
- K. **Individual access points onto Gramsie or Hodgson Road for low density residential land uses will not be supported by the City.**

Option 3 – Public Hearing Draft – Original Language

11. Gramsie/Hodgson Road/Rice Street Intersection

This PDA consists of vacant and developed land north of the Hodgson/Gramsie Road/Rice Street intersection. The two developed parcels sit on the east side of Hodgson Road and also bounded by Rice Street and County Road F. The New Life Lutheran Church at 180 County Road F is 4.99 acres in size and appears to have sufficient land area for future development, however, a significant portion of the property is encumbered with a drainage and utility easement. The adjoining property at 4001 Rice Street is less than an acre and fully developed with a commercial use.

The vacant parcels are located west of Hodgson Road and include four parcels with a total land area of 6 acres. This property is also bounded by several streets including Hodgson Road, Gramsie Road and Virginia Avenue. The land uses surrounding this area vary with low density single-family residential to the north and west, high density residential to the north and south and commercial to the south. Land uses east of this area include low density attached and detached residential in the City of Vadnais Heights. These properties are wooded with mature vegetation that has provided a natural buffer for the adjoining single-family residential neighborhood from the higher intensity uses located at the intersection.

Policies

The redevelopment and development potential for this area is supported by the intensity of the adjoining land uses, frontage on Hodgson Road, an arterial and proximity to Interstate 694 and the Regional Vadnais-Snail Lake Park and availability of transit. Development or redevelopment that provides additional housing choices and opportunities in this area would be supported provided the policies of this PDA are met.

East Side of Hodgson Road

The land use designations for the property on the east side of Hodgson Road include:

180 County Road F

The designated land use is INST, Institutional and RM, Medium Density Residential. The Institutional designation recognizes that the existing church use is suitable and can remain. Medium density would permit the attached housing on the surplus land area.

- A. Medium-density residential development is a suitable infill use on this property.
- B. Prior to the incorporation of residential uses on this property, further analysis and discussions shall occur with Ramsey County regarding the drainage and utility easement and need for stormwater management.
- C. Topography limitations shall be taken into consideration. Development that requires or proposes significant grade changes will not be supported.
- D. Access must be addressed as part of any development proposal. Access is preferred off of County Road F

4001 Rice Street

The designated land use for this property is C, Commercial and O, Office.

- A. The continued use of this property as boutique retail is supported. Other commercial and office uses may be acceptable provided they have a lower intensity and are consistent with the approved Planned Unit Development for this site.

West Side of Hodgson Road

The land use designations for the vacant parcels include RM, Medium Density Residential and RII, High Density Residential and O, Office.

- A. Primary access from Gramsie Road is preferred to reduce the impact of development on the adjacent single-family residential neighborhood. Access to the site from Virginia Avenue is not desirable but may be permitted through the City's development review process. The curvature of the roadway creates access issues onto Gramsie Road; therefore, centralized access to all properties is encouraged.
- B. The site was cleared with the removal of brush, unhealthy and invasive mature trees. Some mature healthy landmark trees remain on the property, specifically along the western boundary of the property. The City encourages a site design that preserves the remaining mature trees, especially those that are located near the perimeter adjacent to the single-family residential. Tree replacement will be required as specified in the Development Code with any future redevelopment proposal. In addition to replacement, a landscaped buffer will be required and should consist of a combination of the following to reduce the impact of development on the adjoining single-family residential land uses: fencing, berming, deciduous or evergreen trees and shrubs.
- C. Traffic impacts will need to be evaluated. Development shall not have an adverse traffic impact on the adjoining single-family residential neighborhood.

- D. The development of this property shall include all parcels. The development of a single parcel or portion of this site will not be considered unless part of a master plan.
- E. High density residential and office buildings shall be oriented towards the Gramsie/Hodgson Road intersection to create a presence and sense of place. Reduced setbacks will be considered if they result in increased setbacks and landscaped buffer area from the adjoining single-family residential neighborhood.
- F. Site and building design techniques shall be used to mitigate impacts on the adjoining low density residential land uses. Examples include reduced building heights, increased building setbacks and an enhanced landscape buffer.
- G. The maximum density permitted for high density residential uses is 15 units per acre.
- H. The site shall be designed with a higher intensity of development towards the Hodgson/Gramsie Road intersection. The intensity of development shall lessen as it gets closer to the adjoining single-family residential neighborhood.
- I. A development with a mix of office, medium and high density residential use may be considered for this site provided the policies set forth are met. Office or high density residential should be placed towards the Gramsie/Hodgson Road intersection away from the lower density single-family residential uses.

November 14 – Revised Language

~~Stricken Text – Proposed for deletion~~

Red Text – Proposed for addition

16. YMCA/Island Lake Golf Course

The YMCA property, 3760 Lexington Avenue, is currently guided INST, Institutional and is developed with a YMCA facility which includes outdoor recreation areas. These improvements are located on the front portion of the 10.8 acre property with the back portion being vacant. Along the northern boundary of the property is a public street right-of-way that currently serves as access to the commercial land use to the north, Super Target. Other adjoining land uses include INST, Institutional and RL, Low Density Residential. To the west are commercial uses in the City of Arden Hills.

The Island Lake Golf Course, 1000 Red Fox Road, is located to the east and northeast of the YMCA property. This 41 acre property, owned by Ramsey County, is designated as P, Park and improved with a 9-hole Golf Course, driving range, putting courses, clubhouse, maintenance shop and parking area. This property is also adjacent to Island Lake and the Island Lake County Park. Ramsey County leases the property to a private operator.

Ramsey County is currently analyzing their golf course operations and evaluating finances and operational practices as they compare to industry best management practices in public golf course operations. In the final report, the County will have a review of golf, the system's position in the local market environment, a review of the physical condition of the facilities and recommendations, and the results that can be expected from various management strategies and options. The evaluation will provide a foundation for operational and financial decisions for budgeting and long-term capital planning.

While the City supports the continued use of this operation, the City recognizes that changes may be needed to respond to changing conditions in the market place and other options could be considered for this land. Prior to the sale, lease or disposal of any County park property, the County Board is required to provide notice to the municipality and nearby property owners and hold a public hearing. The County Board is also required to adopt a policy providing for the no net loss of park, recreational or open space land and facilities upon the sale, lease or disposal of parkland.

This PDA is being established to guide future land use in the event that the property becomes available for development as both properties have development potential and access via public streets. Their proximity to one another, commercial land uses in the Lexington Avenue corridor, Island Lake, the County Park and I694 are desirable amenities for development. While both land owners have not expressed any interest in future development, the City believes there may be development pressure on these properties due to changing conditions in the golf course industry, development in the Lexington Avenue corridor and the amenities identified above.

Policies

The designated land use for this property is INST, Institutional, P, Park and MU, Mixed Use. The INST and P designations account for the existing YMCA and Golf Course. The intent of this designation is to provide an area where a mixture of uses can be developed which are designed to complement one another, respect the character of the area, including the natural environment and address community needs. It is anticipated that the YMCA would remain and some features of the golf course, such as the clubhouse may be repurposed for a different use. The following policies apply to the development of these properties:

- A. The eastern portion of the property adjacent to the existing Island Lake County Park and Island Lake shall be preserved for park and open space.
- B. Development shall provide a transition of land uses with those that are of a higher intensity or density closer to I694 and the commercial properties, then decreased intensity and density adjacent to the existing single-family residential neighborhood to the south. ~~Buildings that are adjacent to this residential neighborhood shall be residential in character and size.~~
- C. Traffic circulation through the development site may include a public road network that has access to Red Fox Road and current south Target access road. Milton Street abuts the south side of the County property and could potentially be used for access. If access is proposed, it shall serve only low density residential land uses.
- D. A traffic study will be required to address traffic impacts on Lexington Avenue and at the Lexington Avenue/South Target Access drive and Lexington Avenue/Red Fox Road intersections. This study shall also address traffic impacts on Milton Street and Island Lake Avenue and the Lexington Avenue intersection if a connection to Milton Street is proposed.
- E. Impacts of the proposed development need to be considered as part of any redevelopment plan and landscape screening or buffering may be required to protect existing residential land uses.
- F. The desired land use immediately east of the **existing YMCA facilities and immediately north of the existing low density Island Lake neighborhood is low or medium density residential with a preference of low or medium density residential. High density residential may be considered provide the development incorporates high quality design, common space and retains a significant landscape buffer near the low density residential neighborhood. If the existing YMCA building is removed or repurposed, a mixture of uses may be appropriated including office, commercial, high and medium density residential.**
- G. Any proposed redevelopment plan shall address pedestrian connections to the existing trail system, Island Lake County Park and the nearby commercial land uses. A public trail system along the lakeshore of Island Lake should be explored with any redevelopment plan.
- H. Redevelopment of the site shall be sensitive to the wetlands and lakeshore environment by establishing a protection zone and/or implementing mitigation techniques to reduce the development's impact on the wetland area and lake.

I. Redevelopment may be permitted in phases with an approved long-term phasing plan.

Comments / Suggestions

During the public hearing on 10/23/18 it was mentioned that appropriate notifications about the hearing were sent to the public. I disagree with this. My husband and I both filled out surveys and emailed comments to the city planner in Fall 2017. The city planner mentioned anyone who gave prior feedback was notified of the meeting. Neither of us were notified about the meeting. We do not reside in a PDA but do live close to a few. However, I don't believe residents should have to reside in a PDA or within a certain amount of feet to receive notification. Any potential changes can effect all residents no matter how close they live to a PDA. I think every resident of Shoreview should receive a mailer about the meetings. Not everyone reads the paper or has access to the internet. I luckily saw a Facebook post about the hearing on the cities page. Without that, I wouldn't have known about it. The city planner also mentioned various speakers and focus groups, I had no idea those had taken place as I also never received notification on those. It's important for all residents to be fully informed about opportunities to voice concerns and learn about potential changes to their city.

This form was created inside of Shoreviewmn.gov.

Google Forms

Comments / Suggestions

Figure 4.2.a - Stages of Development within Urban Service Area (page 30) - What details can you share on what appears in the table to be a reduction of approximately 32 acres of parks/recreation land in Shoreview by 2025? Are there specifics on which parks/recreation areas will be impacted, and specifics of how those 32 acres will be used?

I referred to Chapter 10 (Parks and Open Space) and did not see any specific reference to a reduction in parks/recreation land use.

Dave Engel

daveengel1@gmail.com

This form was created inside of Shoreviewmn.gov.

Google Forms

November 20, 2018

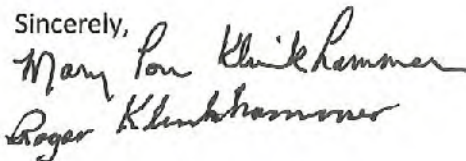
Dear Shoreview Planning Commissioners Doan, Solomonson, Peterson, Anderson, Riechers, Wolfe and Yarusso:

While we were not able to attend the Public Hearing on October 23 as we were out of the country, we have been involved in Destination Shoreview 2040 since this past June when our neighborhood became aware of the proposed land use designations changes found in PDA 16-YMCA and Island Lake Golf Course. We watched the video of the Public Hearing a few times, and have received information and clarifications from City Planner Castle. Our statements on PDA 16 and a map of the area are attached.

As we were watching the video, these comments by Commissioners brought our attention to the fact that there are numerous ambiguous terms and conflicting statements in the PDA 16 language: "What if..." "Demystify the language..." "Alternative language..." "Unintended consequence". The attached draft plan and the discussion at the public hearing do not appear to comprehensively address the issues that Mixed Use imposes on the YMCA and Ramsey County Golf Course property. We continue to oppose Mixed Use for all of a multitude of reasons stated in comments found in Appendix IV. We know from a reliable source that a developer is already in the wings so we question, along with some commissioners, whether Mixed Use will be seen as a "For Sale" sign by this or future developers. If you do not drop the Mixed Use designation, we do ask that you carefully read our attached annotated PDA 16 and attempt to tighten up the language so the next generation of Shoreview leaders will be clear on your intentions. Those leaders will not be asking "What if..." that results in "Unintended consequences" for Shoreview residents. You need to "Demystify the language" and replace it with "Alternative language" that is more precise and less ambiguous. We would appreciate a response to our comments and questions at the Public Hearing on November 27, 2018.

We appreciate all of your time and efforts to make this the best document possible that has the best interests of Shoreview residents in mind for the next twenty years.

Sincerely,



Mary Lou and Roger Klinkhammer
1015 Island Lake Avenue
Shoreview, MN 55126

Attachments:

PDA 16-YMCA/Island Lake Golf Course Policies
PDA 16 Map

Shoreview Proposed PDA 16



Policies

Shoreview ~~Stricken Text-Proposed for deletion~~Klinkhammer **Highlighted-Attention**Shoreview **Red Text-Proposed for addition**Klinkhammer **Bold Italics- Our comments**

The designated land use for this property is INST, Institutional, P, Park, and **MU, Mixed Use**. *Mixed Use includes low, medium, and high density residential, professional offices, daycare centers, medical or dental clinics, commercial offices, research/development businesses, light manufacturing, and warehousing. Are all of these options available to a developer in PDA 16? Interestingly, only residential, commercial and office are mentioned in this document. The comments and discussion by the Planning Commissioners at the Public Hearing focused on residential to the point that one might believe only residential designations were being considered. One commissioner even asked if MU was still in the draft, which was a thoughtful question in light of the discussion.* The INST and P designations account for the existing YMCA and Golf Course. The intent of this designation is to provide an area where a mixture of uses can be developed which are designed to complement one another, respect the character of the area, including the natural environment and address community needs. It is anticipated that the YMCA would remain and some features of the golf course, such as the **clubhouse may be repurposed for a different use**. *What might some of these different uses be in light of the size, location, and construction of the clubhouse? Would this repurposing be done by the Island Lake Golf Course, Ramsey County Parks and Rec or a possible future developer?* The following policies apply to the development of these properties:

- A. The **eastern portion** of the property adjacent to the existing Island Lake County Park and Island Lake shall be preserved for park and open space. *Are there any guidelines to identify this "eastern portion"? How large a space "shall" be preserved? Where will the boundary be placed defining the property line preserving "the existing Island Lake County Park and Island Lake"? Will it include the existing trail? Will the existing trail adjoining Milton Street be replaced with an extension of Milton Street into a new development?*
- B. Development shall provide a transition of land uses with those that are of a higher intensity or density closer to I694 and the commercial properties, then decreased intensity and density adjacent to the existing single-family residential neighborhood to the south. ~~Building that are adjacent to this residential neighborhood shall be residential in character and size.~~
- C.** Traffic circulation through the development site may include a public road network that has access to Red Fox Road and current south Target access road. Milton Street abuts the south side of the County property and **could potentially be used for access**. *If access is proposed, it shall serve only low density residential land uses. Milton Street and Island Lake Avenue, dead end streets, do not have any sidewalks so the road serves not only vehicles from 51 homes but it is also shared with bikers and walkers from the neighborhood, YMCA and local businesses. We obviously have a safety concern. It seems to make more sense to disperse the traffic and have the south Target access and Red Fox Road serve all development in PDA 16. IF Milton Street is opened into a development, we question how long it would be before the road is extended beyond the low density residential land uses.*

- D. A traffic study will be required to address traffic impacts on Lexington Avenue and at the Lexington Avenue/South Target Access drive and Lexington Avenue/Red Fox Road intersections. **This study shall also address traffic impacts on Milton Street and Island Lake Avenue and the Lexington Avenue intersection if a connection to Milton Street is proposed. (See my comments for Policy C.)**
- E. Impacts of the proposed development need to be considered as part of any redevelopment plan and **landscape screening or buffering may be required to protect existing residential land uses. There seems to be a conflict between this and Policy F. Will the "existing residential land uses" be screened by landscape and buffering OR will low or medium density housing be placed next to them? Obviously, our neighborhood would prefer low density housing.**
- F. The **desired** land use immediately east of the **existing YMCA facilities and immediately north of the existing low density Island Lake neighborhood** is **low or medium density** residential with a preference of **low or medium density residential**. ~~High density residential may be considered provide the development incorporates high quality design, common space and retains a significant landscape buffer near the low density residential neighborhood.~~ **If the existing YMCA building is removed or repurposed, a mixture of uses may be appropriated (appropriate?) including office, commercial, high and medium density residential. While the current Shoreview staff, mayor, commissioners and council members indicate the "desired land use" be low and medium density residential, the unintended consequence of using the ambiguous term "desire" could be that Shoreview's next generation of leadership allows warehouses adjoining our single family home because of the Mixed Use land designation. Even the deleted sentence in Policy B uses the word "shall" when referring to placing residential buildings next to our residential neighborhood.**
- G. Any proposed redevelopment plan **shall** address pedestrian connections to the existing trail system, Island Lake County Park and the nearby commercial land uses. A public trail system along the lakeshore of Island Lake **should be explored** with any redevelopment plan. **There seems to be a conflict between the words "shall" and "should be explored". As evidenced in Appendix IV, thirty one people submitted comments specifically supporting the existing trail system along the lakeshore. An overwhelming number of people responding to the Destination Shoreview 2040 Survey #1 also supported Parks and Recreation in Shoreview. On the question: "What do you value about living and working in the City of Shoreview?", Parks and Recreation ranked at the top of all values listed with 113 of 211 responses. Parks and Recreation ranked at the top of folks favorite things about Shoreview. Parks and Recreation tied with Quality Schools at the top of the list of importance in terms of future development.**
- H. Redevelopment of the site shall be **sensitive to the wetlands and lakeshore environment** by establishing a protection zone and/or implementing mitigation techniques to reduce the development's impact on the wetland area and lake. **We are very supportive of this policy since Shoreview's natural environment is why many of us live here and what we value the most about our community.**
- I. Redevelopment may be permitted on phases with an approved long-term phasing plan.



Kathleen Castle <kcastle@shoreviewmn.gov>

Hey 96 zoning options

1 message

PDA #7

Lance Hill <lancehill@comcast.net>

Wed, Nov 14, 2018 at 1:23 PM

To: kcastle@shoreviewmn.gov

Hi Kathleen,

Thanks for taking the time to visit this afternoon. I'd just like to encourage the inclusion of the 'cottage commercial' designation for our unique properties on the south side of 96. While the traffic and noise can be detriments to traditional 'residential', the option to blend the specialty commercial piece into the mix would be a natural transitional option to be able to implement in my experience.

Thanks again,

Lance Hill

710 Why 96 West

651-470-5797



Kathleen Castle <kcastle@shoreviewmn.gov>

zoning part 2

1 message

PDA #7

Lance Hill <lancehill@comcast.net>

Wed, Nov 14, 2018 at 1:35 PM

To: kcastle@shoreviewmn.gov

Hi Again,

I also would be in favor of 'mixed use' as I remember it being proposed (20)? years ago. With the advent of AirBnB and other platforms, or some variation of more dense residential. Thinking of the needs of local headquarters too, Land o'Lakes, Boston, et el.

Lance

**PROPOSED MOTION
TO CONTINUE**

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To continue the Public Hearing for Destination Shoreview 2040 - Comprehensive Plan to the December 18th Planning Commission meeting.

VOTE:

AYES: _____

NAYS: _____

Regular Planning Commission Meeting – November 27, 2018

**PROPOSED MOTION
TO RECOMMEND APPROVAL**

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER _____

To recommend the City Council approve Shoreview's Comprehensive Plan, Destination Shoreview 2040 - Comprehensive Plan subject to the following changes:

VOTE:

AYES: _____

NAYS: _____

Regular Planning Commission Meeting – November 27, 2018