

**CITY OF SHOREVIEW
AGENDA
REGULAR CITY COUNCIL MEETING
September 6, 2016
7:00 P.M.**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

PROCLAMATIONS AND RECOGNITIONS

CITIZENS COMMENTS - *Individuals may address the City Council about any item not included on the regular agenda. Specific procedures that are used for Citizens Comments are available on notecards located in the rack near the entrance to the Council Chambers. Speakers are requested to come to the podium, state their name and address for the clerk's record, and limit their remarks to three minutes. Generally, the City Council will not take official action on items discussed at this time, but may typically refer the matter to staff for a future report or direct that the matter be scheduled on an upcoming agenda.*

COUNCIL COMMENTS

CONSENT AGENDA - *These items are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.*

1. August 8, 2016 City Council Workshop Minutes
2. August 15, 2016 City Council Meeting Minutes
3. August 22, 2016 Special City Council Meeting Minutes
4. Receipt of Committee/Commission Minutes—
 - Bikeways & Trailways, August 4, 2016
 - Environmental Quality Commission, August 22, 2016
 - Planning Commission, August 23, 2016
5. Verified Claims
6. Purchases
7. Site and Building Plan Review – 4294 Hodgson Road, River of Life Church

8. Comprehensive Sign Plan – 3999 Rice Street, Thomas Schuette, Tyme Properties
9. Approve Final Payment – 2016 Seal Coat, Project 16-04
10. Authorize Professional Services Agreement – Stormwater Pond Assessment Prioritization Ranking
11. Amendment to Professional Services Agreement – Water Treatment Plant, City Project 14-02
12. Award of Quote for Wilson Park Playground Equipment Site Work
13. 2017 Community Center Rates, Ordinance No. 946

PUBLIC HEARING

GENERAL BUSINESS

14. Comprehensive Plan Amendment, Rezoning, Preliminary Plat, PUD-Development Stage – 3527 Rice Street, Elevage Development Group LLC
15. Items Related to 2017 Tax Levy
 - A. Adopt Preliminary Tax Levy
 - B. Establish Dates for Budget Hearing
16. Approve Change Order #1 for Gramsie Road Rehabilitation, City Project 16-05

STAFF AND CONSULTANT REPORTS AND RECOMMENDATIONS

SPECIAL ORDER OF BUSINESS

ADJOURNMENT

*** Denotes items that require four votes of the City Council.**

**CITY OF SHOREVIEW
MINUTES
CITY COUNCIL WORKSHOP MEETING
August 8, 2016**

CALL TO ORDER

Mayor Martin called the workshop meeting of the Shoreview City Council to order at 7:00 p.m. on August 8, 2016.

ROLL CALL

The following attended the meeting:

City Council: Mayor Martin; Councilmembers Quigley, Springhorn and Wickstrom

Councilmember Johnson was absent.

Staff: Terry Schwerm, City Manager
Rebecca Olson, Assistant to City Manager
Mark Maloney, Public Works Director
Fred Espe, Finance Director

Mn/DOT: Sheila Kauppi, Mn/DOT North Metro Area Manager
Ramsey County: Beth Engum

DISCUSSION REGARDING I-35W MANAGEMENT LANE/COUNTY ROAD I ACCESS CHANGES

Public Works Director Mark Maloney explained that as required by state law, a public hearing was held on July 18, 2016 by the City Council to consider proposed Mn/DOT improvements to I-35W. Mn/DOT seeks municipal support for the proposed improvements, which includes removal of the access from County Road I to northbound I-35W/T.H. 10. Considerable thought has been put into this decision and there will be an alternative access to northbound 35W from the TCAAP property.

Ramsey County has proposed putting in a round-about at County Road I, which staff believes would address all the traffic movements in that area as well as protect the residential character of Rice Creek Parkway. There will be a connector road (referred to as a thumb road) from County Road I to the roundabout that will be put in at the County Road H interchange. County Road H will access I-35W going north and south and westbound on Highway 10.

Mayor Martin asked if the thumb road will serve as an access to other development in that area or will be a closed access to get to County Road H. Ms. Beth Engum stated that the thumb road will be a county road and will provide access to other development.

Councilmember Quigley asked the role of the I-35W Coalition. Ms. Kauppi responded that the Coalition has been very supportive and has played a key role with the Managed Lanes study that has been done over the last two years. The Coalition has also identified opportunities for funding. Mobility dollars available in 2019/2020 as well as replacement and repair dollars provide an opportunity to consider a large project. The Managed Lanes study looked at operational issues and alternatives. One issue is how dangerous it is to access northbound I-35W from County Road I with the exit to westbound Highway 10 only 1200 feet from the County Road entrance. This is especially true during peak hours. The proposal would remove this County Road I access, add a managed lane on I-35W and have two lanes that merge into westbound Highway 10. Full interchange access will be available at County Road H.

Councilmember Wickstrom noted that the Fire Department favored an access to TCAAP from Shutta Lane to the south. Ms. Engum stated that road is not being considered because it would be difficult to build with the wetland and topography of the area. She added that the County has hired a master developer for the TCAAP property who has been working with the County for approximately two months. The main components of development being considered are a town center and residential development. It has been agreed that Mn/DOT will not remove the ramp at County Road I until the Managed Lanes project is implemented or the roundabout is built at County Road I.

Councilmember Wickstrom asked about access for people from the north. Even if the roundabout is completed at County Road I, how will drivers reach County Road H if the thumb road is not complete? It is critical that there be good access to County Road H for residents from the north. Ms. Engum agreed but stated that even though the thumb road will be under County jurisdiction, it will be up to the developer when it is built.

Councilmember Springhorn stated that he understands the safety reasons for closing the ramp at County Road I, but it will be inconvenient for drivers in that part of Shoreview to have to go south to County Road H in order to access I-35W going north. However, because of the safety issues, he supports the project.

Mayor Martin agreed that it will be annoying to have to go south in order to reach the access going north. She noted that it would make more sense for the thumb road to be further to the east rather to provide access to ongoing development rather than along I-35W as a frontage road.

Councilmember Wickstrom requested the specific numbers and percentages to be able to share with residents who are asking questions. Ms. Kauppi stated that the numbers to access I-35W from County Road I are low, but usage of the County Road I ramp to get to Highway 10 is high. She agreed to send specific data information.

City Manager Schwerm asked if it is cost effective to dedicate the County Road I access only to Highway 10 and not to I-35W without dramatically increasing costs, as he believes traffic will grow in that direction. Ms. Kauppi answered that the current modeling numbers show more traffic going north on I-35W than west on Highway 10. Mr. Maloney added that as traffic on Highway 10 increases, there will be a safer entrance from County Road J west of I-35W.

Councilmember Quigley stated that his concern was communication with residents about the lane changes that drivers will have to adjust to for either I-35W or Highway 10 in addition to using the roundabouts.

Mr. Schwerm agreed that moving access to I-35W and Highway 10 to County Road H creates a safer interchange than County Road I where drivers have to cross lanes of traffic quickly to access 35W. Timing will be critical. It will be important for the Managed Lanes project to not happen before the thumb road is complete.

Mayor Martin stated that she supports the plan, but continued to express concern if County Road I is closed off before the thumb road is in place.

Ms. Kauppi stated that funding is planned at earliest in 2019. It is a four-year construction project and is being treated as one complete project from Highway 36 to Lino Lakes. This is well within the two-year time frame of projected development of the TCAAP property. The County Road I and County Road H components can be staged to align well with development.

Mr. Maloney stated that using the design-build process over four years allows flexibility to move different parts of the project depending on development. However, this makes it harder to communicate changes to residents. He noted that the City Council has 90 days from the public hearing to act on Mn/DOT's request for municipal consent, which would be by the October 3rd Council meeting. If no action is taken, the plan is deemed approved.

Mr. Schwerm stated that while there is support for the project as a whole, the question of municipal consent raises an important issue of the timing of the completion of the thumb road.

Councilmember Wickstrom stated that she cannot support municipal consent without the thumb road being completed in the location as shown on the map design. She does not want to see a meandering road that creates more driving hazards. Mr. Schwerm stated that the thumb road location cannot be guaranteed, but a curvy road would not support development. Ms. Engum added that the thumb road will be a County road built to County standards. Ms. Kauppi added that if there is congestion on the thumb road because of development, cars can access I-35 W south to the roundabout at County Road H to come back north.

Councilmember Wickstrom stated that she would be more comfortable knowing that to go south on I-35W to the County Road H roundabout cars will be able to stay in one lane and not have to merge into the traffic lane.

Mayor Martin suggested that additional language be added to the resolution of municipal consent to address the Council's concern about completion of the thumb road. She stated as well that she does not want Shoreview to hold up this project in any way because it is so important. She has confidence in the work Public Works Director Maloney is doing and his understanding of Shoreview to work for the City's best interests.

REVIEW OF PRELIMINARY 2017 TAX LEVY

City Manager Schwerm explained that as 2017 will be the second year of the City's biennial budget, a full budget document is not submitted to the Council. Changes are approved by resolution. The proposed budget adopted last year anticipated a 3.8% increase in the City's property tax levy. The proposed levy now includes an increase of 3.92%, or approximately \$417,000. The City's taxable value is estimated to increase 4.3% that will result in a lower tax rate. Fiscal disparities are expected to remain the same. The median home value is estimated to increase 5.3% in Shoreview based on the assessor's preliminary report.

Mr. Schwerm described the major factors driving the levy increase--personnel costs, which are a 2% wage adjustment; a \$60 increase in the City's share of health insurance, which anticipates a 12% increase. Actual health insurance cost revisions are not generally received until October. Because of recent retirements and recent hires, many employees are getting step increases as well as the 2% wage adjustment which accounts for the cost of wages being somewhat higher in 2017. Approximately 40% of wage costs are covered in the General Fund. The remaining costs come from enterprise funds.

Mayor Martin asked the reason for the \$107,000 increase to Park and Recreation costs. Mr. Schwerm explained that part of the reason is reallocation from other funds to better align employees with actual job responsibilities. Some expenses are minimum wage issues. The increase in minimum wage impacts the Community Center and Recreation Program operations because some positions are paid at a little higher rate than minimum wage because of skills, such as a lifeguard. When minimum wage increases, wages of other positions have to be raised in order to maintain an appropriate separation in pay rates for positions with different skill levels. He added that two part-time positions were eliminated, which will help mitigate anticipated public safety increases. The Community Survey cost is included this year. Currently a survey is done every two years in odd numbered years.

Mayor Martin asked if the community survey is as valuable when it is done every two years. Mr. Schwerm stated that the reason for the survey to be done every two years is because the information gained is used for performance measures in the biennial budget. He acknowledged the survey cost may not be warranted every two years, and suggested further discussion by the Council.

Councilmember Quigley stated that he uses community survey information heavily in responding to residents. The survey is a tool to describe the overall corporate culture of the City. It is also important for the Council's goal setting to align with the survey information.

Mayor Martin stated that there is hardly a business that does not request a follow-up survey at the end of a transaction or event. There may be ways for the City to get survey information online. If other costs in the budget go above expectations, such as health care, she sees the survey as an option that could be altered in the budget.

Mr. Schwerm stated that police protection will increase 5.8%. One reason is a higher wage adjustment than in recent years. In addition, the investigative caseload over the last five or six years has increased from 800 to almost 1400, and the Sheriff's Department has the same number of investigators. Contract cities are being asked to fund another investigator position. A representative from the Sheriff's Department will be invited to an upcoming workshop to discuss increases with the Council.

Mr. Schwerm continued with other factors that drive the levy increase. The Fire Department duty crew is fully implemented. The budget for the Fire Department is increased by 3.7% for cost of living. At mid-year a deputy chief position will also be added. This person will be a full-time firefighter who will also oversee technology, computer maintenance and network support. It is funded in this year's Capital Improvement Program. The preliminary budget is the ceiling that can be levied. He recommended adoption of the preliminary levy with opportunity for further discussion on changes that reduce the levy.

Councilmember Wickstrom expressed concern that infrastructure with roads built in the 1980s will begin to break down, which means that street infrastructure costs could rise significantly. Mr. Schwerm responded that the \$2.5 million street rehabilitation bond issue will be paid in 2022. Those streets are holding up well. He would prefer to see that debt retired before new debt is taken on.

Councilmember Quigley stated that all cities are facing these same infrastructure issues. Yet, Shoreview's ranking is 5 or 6 down from the average in taxes. That is the tax level to maintain and tell residents.

Mr. Schwerm stated that Shoreview is still about 20% below the average. Mr. Espe noted that the school district has dropped. Mr. Schwerm explained that when the school district renews its levy, that levy is kept at the same level. Other districts have renewed levies at higher levels.

It was the consensus of the Council to move forward with adoption of the preliminary levy as presented.

OTHER ISSUES

TURTLE LAKE AUGMENTATION SURVEY

Mr. Schwerm stated that a question regarding the survey to be sent to property owners on Turtle Lake is to include an option to respond "not to proceed" and "not to proceed at this time." This would leave flexibility for addressing another period of low water levels. The costs presented are based on the feasibility study.

Councilmember Wickstrom requested that all costs be listed as estimated on the survey. She asked what level would trigger reconsideration of augmentation if an option were given for "not at this time." "Not at this time" is too open ended. There needs to be a defined circumstance to trigger looking into this issue again.

Mayor Martin stated that there is current proof that precipitation brings the lake level up. She supports the survey as presented.

TRAIL ON COUNTY ROAD J

Mr. Schwerm stated the Bikeways and Trailways Committee has recommended putting in a sidewalk on County Road J. There is limited right-of-way for a trail. A sidewalk raises the issue of accommodating different grades of driveways to meet ADA standards. Temporary construction easements will be needed from several property owners to rebuild driveways.

Mr. Maloney stated that even with a minimal plan, there are a number of driveways that will have to be significantly reconstructed, and there are a number of property owners adamantly opposed to any sidewalk. There is no acquisition of land, only rebuilding the driveway. To put a sidewalk in, there are trees that will have to come out or be heavily trimmed. Mr. Schwerm estimated \$100,000 to \$150,000 in cost.

Councilmember Wickstrom noted that there will be redevelopment in the area, and County Road J may eventually be a four-lane road.

Mayor Martin suggested that the response of the Council to the Bikeways and Trailways Committee is that the consensus of the Council is that the cost is more than anticipated at this time. It can be put in the budget and planned for the future. She would send the comments from this discussion to Bikeways and Trailways Committee and ask them to look at alternative projects.

Mr. Maloney suggested that one project the Committee may opt for would be a better crossing on Gramsie. Mr. Schwerm stated that he sees that option as positive and more pressing at this time.

CITIZEN OF THE YEAR

It was the consensus of the Council to go forward with advertisements for nominations for Citizen of the Year with an application deadline in early October so there is time to make a presentation at the November Volunteer Dinner.

LIGHTING CEREMONY

Ms. Olson noted scheduling conflicts for Turtle Lake School to sing for the traditional Lighting Ceremony. It was the consensus of the Council to move the Lighting Ceremony to Monday, November 14, 2016, when the school choir would be able to attend.

The meeting adjourned.

**CITY OF SHOREVIEW
MINUTES
REGULAR CITY COUNCIL MEETING
August 15, 2016**

CALL TO ORDER

Mayor Martin called the regular meeting of the Shoreview City Council to order at 7:00 p.m. on August 15, 2016.

PLEDGE OF ALLEGIANCE

The meeting opened with the Pledge of Allegiance.

ROLL CALL

The following members were present: Mayor Martin; Councilmembers Quigley, Springhorn and Wickstrom
Councilmember Johnson was absent.

APPROVAL OF AGENDA

MOTION: by Councilmember Wickstrom, seconded by Councilmember Springhorn to approve the August 15, 2016 agenda as submitted.

VOTE: Ayes - 4 Nays - 0

PROCLAMATIONS AND RECOGNITIONS

Assistant to the City Manager Olson announced the winners of the recent photo contest. Participants submitted photos on the theme, "What is your family's favorite summertime, outdoor sport?" Four winners were chosen: two runners up, a People's Choice award as voted on Facebook, and a Grand Prize award.

Mayor Martin presented each winner with a certificate.

Place	Photographer	Name of Photo
1st Runner Up	Jeffrey Finc	"Open Net"
2nd Runner Up	Mike & Jessica Heinze	"Navigating Lake Owasso"
People's Choice	Bob Straka	"Team Effort"
Grand Prize	Bob Straka	"Concentration"

CITIZEN COMMENTS

There were none.

COUNCIL COMMENTS

Councilmember Springhorn:

Thursday, August 18, 2016, the Shoreview Human Rights Commission, Roseville Human Rights Commission, League of Women Voters and Harriet Walker Daughters of the American Revolution Chapter will host a documentary film on votes for women. County Commissioner Mary Jo McGuire will be the speaker. The program will be held at the Roseville County Public Library from 7:00 to 8:30 p.m.

Councilmember Wickstrom:

Residents are encouraged to come to the Farmers' Market and take advantage of all the fresh fruits and vegetables available. It is open every Tuesday in the Commons from 3:00 to 7:00 p.m.

The final Concert in the Commons will be Wednesday, August 17, 2016, featuring a variety band, *Stimulus Package*. The concert begins at 7:00 p.m.

The Friday Night Flicks was rained out last week. Movies will be shown for the next three Fridays. This week is the movie, *Minions*; next week is *The Good Dinosaurs*; and the following week will be *Grease*.

Mayor Martin:

Ramsey County is planning a large redevelopment at Lake Owasso Park, which has not been upgraded for many years. Public design workshops will be held at the park to seek input from residents in the area. The first workshop is August 25, 2016, 5:30 to 7:30 p.m. A second workshop will be held on September 15, 2016, from 5:30 to 7:30 p.m. An Open House will be held in November to show area residents proposed plans.

The Community Center pool will be closed September 6th through the 23rd for annual maintenance.

CONSENT AGENDA

MOTION: by Councilmember Wickstrom, seconded by Councilmember Quigley to adopt the Consent Agenda for August 15, 2016, and all relevant resolutions for item Nos. 2 through 13:

2. Receipt of Committee/Commission Minutes:
 - Parks & Recreation, May 26, 2016
 - Parks & Recreation, June 23, 2016
3. Monthly Reports:
 - Administration/Community Development
 - Finance

- Public Works
- Park and Recreation
- 4. Verified Claims in the Amount of \$1,123,917.94
- 5. Purchases
- 6. Developer Escrow Reduciton
- 7. Receive Assessment Roll and Order Public Hearing - Turtle Lane/Schifsky Road Reconstruction, City Project 15-01
- 8. Approve Change Order #1, Project 16-01
- 9. Approve Final Payment, Project 15-01 & 15-03
- 10. Approve Plans and Specifications and Order Taking of Bids - Sanitary Sewer Improvements - Bucher Lift Station, City Project 15-13
- 11. Approve Extension of Conditional Use Permit -3680 Kent Street, Boryczka
- 12. Approve Extension/Amendment to Development Agreement - 1080 County Road E, Laliberte
- 13. Declaration of Intent to Bond

VOTE: Ayes - 4 Nays - 0

MOTION: by Councilmember Wickstrom, seconded by Councilmember Quigley to approve Item No. 1 of the Consent Agenda, August 1, 2016 City Council Meeting Minutes.

VOTE: Ayes - 3 Nays - 1 Abstain - 1 (Springhorn)

Councilmember Springhorn abstained, as he was absent from the August 1st meeting.

PUBLIC HEARINGS

There were none.

GENERAL BUSINESS

MINOR SUBDIVISION - 600 NORTH OWASSO BOULEVARD, HINZ/SUMMIT DESIGN BUILD

Presentation by City Planner Kathleen Castle

This application is to divide the property into three parcels for single-family residential development. The property is zoned R-1, Detached Residential. The proposal complies with subdivision and City development code standards. There is an existing home on Parcel A, which will be retained.

The Planning Commission found that practical difficulty is present and approved a variance to reduce the required 20-foot side yard setback to 5 feet for the existing detached garage on Parcel A. Staff is recommending a minimum 30-foot front setback for Parcels B and C.

Parcels A and B will share an access driveway. Tree removal and replacement is required for the access driveway, which will be graded and a storm water system installed to flow to North Owasso Boulevard. Parcel C has an access driveway off North Owasso Boulevard.

Property owners within 350 feet of the subject property were notified of the proposal. Comments were received regarding access, storm water management, utilities and changing the character of the neighborhood. The Lake Johanna Fire Department stipulated an emergency vehicle access to Parcel A. Ramsey-Washington Watershed District does not require a permit.

The developer also owns an 8-foot strip of land that provides access to Lake Owasso. Concerns from residents expressed questions about the future use of the beach access lot. Because the beach access lot is a separate lot of record and not part of the application, staff does not believe concerns with this lot should impact a decision on the minor subdivision. Staff is recommending approval.

Mayor Martin noted an extension beyond Parcel B, known as Dale Alley and asked how this will be addressed. Ms. Castle explained that Dale Alley is not actually an alley but a separate lot of record that is privately held. It was never dedicated to the City for right-of-way. There is no way for access to Parcel B to extend to the south. The easement access on the west shall end at the south property line of Parcel B and not extend to the alley.

Councilmember Wickstrom asked if there is a signed maintenance agreement regarding the shared driveway access for Parcels A and B. Ms. Castle suggested the following language be added to condition No. 6, "An agreement will be executed between owners of Parcels A and B which addresses driveway access and maintenance."

Councilmember Quigley noted the congestion on Owasso Heights Road and expressed concern about construction equipment access.

Mayor Martin responded that Owasso Heights Road will not be used for construction equipment access for this project. The property does not connect to Owasso Heights Road. Ms. Castle added that the Development Agreement does address construction parking and storage of materials. No parking is permitted on North Owasso Boulevard.

MOTION: by Councilmember Wicksrom, seconded by Councilmember Quigley to approve the Minor Subdivision application, including the Development Agreements, submitted by Todd Hinz/Summit Design Build to divide the property at 600 North Owasso Boulevard into three parcels for single-family residential use. Said approval is subject to the following conditions, including the addition to condition No. 6, as stated above:

Minor Subdivision

1. The minor subdivision is approved in accordance with the survey submitted dated 07-14-16.
2. The applicant shall pay a Public Recreation Use Dedication fee as required by Section 204.020 of the Development Regulations before the City will endorse deeds for recording.

- The fee will be 4% of the fair market value of the property, with credit given for the existing residence.
3. Public drainage and utility easements shall be dedicated to the City as required by the City Engineer. The applicant shall be responsible for providing legal descriptions for all required easements. Easements shall be conveyed before the City will endorse deeds for recording.
 4. Private easements for sanitary sewer services shall be provided for Parcels B and C as identified in the memo from the City Engineer dated July 21, 2016.
 5. Municipal water and sanitary sewer service shall be provided to Parcels B and C.
 6. The proposed 30-foot ingress, egress and driveway easement shall be modified so as not to extend beyond the south lot line of Parcel B. An agreement will be executed between owners of Parcels A and B which addresses driveway access and maintenance.
 7. The applicants shall enter into a Subdivision Agreement with the City and shall include but not be limited to the following: site grading, tree protection and replacement, required financial sureties and fees, utilities, easements and construction management. This agreement shall be executed prior to the City's release of the deeds for recording.
 8. A Grading Permit is required prior to the commencement of any site work.
 9. The driveway serving Parcels A and B shall comply with the requirements as identified by the Fire Marshal.
 10. The following conditions apply to Parcels B and C:
 - a. A Development Agreement for Construction must be executed prior to the issuance of a building permit for a new home on each property.
 - b. A Tree Protection and Replacement Plan shall be submitted with the Building Permit applications for the new homes on each parcel. Tree removal requires replacement trees per City Code. City requirements for the tree removal and protection plan shall be detailed in the Development Agreement for Construction.
 - c. A Grading and Drainage Plan shall be submitted with the Building Permit applications for the new homes on each parcel. The items identified in the attached memo from the City Engineer shall be addressed in this Plan.
 - d. For Parcel B, minimum structure setbacks from the property lines shall be as follows: Front - 30 feet; Side (East) - 10 feet for the dwelling unit/5 feet for accessory structures; Side (West) - 10 feet, and Rear - 40 feet.
 - e. For Parcel C, minimum structure setbacks from the property lines shall be as follows: Front - 30 feet; Side (East) - 20 feet, Rear - 40 feet, Side (West) - 10 feet for the dwelling unit/5 feet for accessory structures.
 11. This approval shall expire after one year if the subdivision has not been recorded with Ramsey County.

This approval is based on the following findings:

1. The proposed improvements are consistent with the Land Use and Housing Chapters of the Comprehensive Plan.
2. The subdivision is consistent with the policies of the Development Code and the proposed lots conform to the other adopted City standards for the R-1, Detached Residential District.
3. The proposed residential use will not adversely impact the planned land use or the surrounding property.

ROLL CALL: Ayes: Quigley, Springhorn, Wickstrom, Martin
Nays: None

APPROVAL OF WEBSITE REDESIGN CONTRACT

Presentation by Assistant to the City Manager Rebecca Olson

The City’s websites at City Hall and the Community Center were last redesigned in 2012 under a contract with Vision Internet. The contract provides for one free website redesign. Given the rapid ongoing changes in technology, refreshing websites is now recommended every 2 to 3 years. Both websites will be redesigned, one provided for under the contract and one paid for by the City.

More people are accessing the City’s websites through mobile devices, but the current websites are not responsive to mobile devices. The Community Survey shows that 59% of residents have accessed the City’s website and that number has been steadily increasing since 2013. The number of mobile device users now outnumbers traditional desktop users.

The Vision Internet redesign process includes data gathering on how the website is used, methods of access and tracking areas of the website that are most used. The Responsive Design Element that will be installed will allow the website to automatically adjust to the size device being used, whether a desktop, tablet or mobile device. This will make it easier to navigate. Currently, the website has a drop-down menu and side menus. A mega menu is also recommended for easier navigation. The mega menu can include information about special events.

Analysis of usage shows that people often go to a website and type in what they are looking for in the search box, rather than trying to navigate the site. Vision Search will be an enhanced search button. Currently, the City has a Google search button.

As the contract includes one free website redesign, the costs listed are for one redesign:

Website Development (one-time redesign cost)	\$21,000 (paid from Cable Television Fund)
Content Management Implementation	<u>\$ 7,500</u>
Total:	\$28,500

The annual maintenance cost would be \$12,250 plus a 5% annual increase beginning in 2017.

Draft Timeline:

September - November 2016:	Website analysis
November 2016 - January 2017	Redesign approval
January - February 2017	Content migration
Early Spring 2017 (March - April)	Unveil new website design

Councilmember Quigley asked if there has been feedback from residents on navigating the current website. Ms. Olson stated that she does not receive a lot of individual feedback, but the City has behavior tracking available to know how long people spend on a page, what search

terms are used, and how many pages deep into the website are used. She does not yet have information on how data will be gathered--whether through a survey or interviews.

Mayor Martin asked if this redesign would create a mobile app. Ms. Olson answered, no. Mr. Schwerm added that over 50% of website traffic is coming from mobile devices. It is a critical time to have those sources more user friendly.

Councilmember Wickstrom suggested getting direct feedback from someone who uses the website often. She commended the mega menu upgrade that will be easier than a drop-down menu.

Councilmember Springhorn asked if the costs are always budgeted through the Cable Television Fund. Mr. Schwerm answered, yes, either with a transfer from the General Fund to the Cable Television Fund or directly from Cable TV.

MOTION: by Councilmember Quigley, seconded by Councilmember Springhorn to authorize the City Manager to enter into a contract with Vision Technology Solutions, LLC for website development services for the redesign of the City and Community Center websites, hosting services and content management licensing services in the amount of \$28,500.

ROLL CALL: Ayes: Wickstrom, Springhorn, Quigley, Martin
Nays: None

APPROVE CONTRACTOR BIDS FOR NEW SHOREVIEW COMMONS ENTRY MONUMENT SIGNS

Presentation by City Manager Schwerm

The City has received two quotes for installation of two new entry monument signs for the Shoreview Commons. The signs would be placed at the northwest and northeast corners of Highway 96 and Victoria Street. The new signs would include digital messaging and will replace the large message center sign that had to be moved with the construction of the new County library. Signage throughout the Commons is being updated with agreement of the Mounds View School District and Ramsey County. Both the County and school district will financially participate in the cost of the signs.

The two signs are identical with a heading, Shoreview Commons, and a listing of all facilities in the Commons. A digital sign is included on the two signs. Flagpoles are proposed in the median across from the signs. Three contractors are needed: 1) masonry for the monument base; 2) electrical for electrical work; and 3) sign contractor for the sign installation.

The low quotes received for the signs are:

- Sign work - Lawrence Sign Company \$58,806
- Electrical work - NAC \$14,800
- Masonry/Foundation work -All Phase Companies \$38,800

The total project cost is \$112,406. Mounds View School District will contribute \$10,000, and Ramsey County will contribute \$15,000. The school district and County will also be paying for signage in front of their buildings. The City's share is \$87,406 and would be paid from the Community Investment Fund as part of the proceeds received from the County's reimbursement for the acquisition of a residential property for the library project.

Staff is recommending approval.

Councilmember Quigley asked if any message can be posted. Mr. Schwerm stated that City policy will control the message on the two new signs. School events and County library information will be included. In addition, the current digital message sign will still be available for use.

Councilmember Wickstrom asked if the two signs could have different messages. Mr. Schwerm explained that the two new signs will show the same message. The relocated digital sign could have a different message.

MOTION: by Councilmember Springhorn, seconded by Councilmember Quigley to approve the low bids for work relating to the new Shoreview Commons entry monument signs including message boards and masonry bases, and lighted flag poles in the Victoria Street median, from the following qualified firms:

- Sign Work - Lawrence Sign Company (Price: \$58,806)
- Electrical Work - NAC (Price: \$14,800)
- Masonry/Foundation Work - All Phase Companies (Price: \$38,800)

Total project cost is \$112,406 with contributions from the Mounds View School District (\$10,000) and Ramsey County (\$15,000).

ROLL CALL: Ayes: Wickstrom, Quigley, Springhorn, Martin
Nays: None

SPECIAL ORDER OF BUSINESS

Mayor Martin noted the many emails and calls she has received regarding the high water level of Snail Lake and requests for wake restrictions. Mr. Schwerm responded that when this happened previously, the City was given specific authorization to impose wake restrictions by the DNR. Staff will be contacting the DNR to find out the process for such authorization again, and the Snail Lake Improvement District board will be informed.

Councilmember Wickstrom suggested that a certain water level trigger imposing restrictions, rather than having to declare an emergency for special authorization.

Mayor Martin stated that she would like to expedite action on this matter, even if an emergency meeting is needed for the Council.

ADJOURNMENT

MOTION: by Councilmember Springhorn, seconded by Councilmember Quigley to adjourn the meeting at 8:00 p.m.

VOTE: **Ayes - 4** **Nays - 0**

Mayor Martin declared the meeting adjourned.

THESE MINUTES APPROVED BY COUNCIL ON THE ___ DAY OF _____ 2016.

Terry Schwerm
City Manager

**CITY OF SHOREVIEW
MINUTES
SPECIAL CITY COUNCIL MEETING
August 22, 2016**

CALL TO ORDER

Mayor Martin called the special meeting of the Shoreview City Council to order at 5:35 p.m. on August 22, 2016.

ROLL CALL

The following members were present: Mayor Martin; Councilmembers Quigley and Springhorn
Councilmembers Johnson and Wickstrom were absent.

ESTABLISHMENT OF TEMPORARY NO WAKE ZONE ON SNAIL LAKE

Presentation by City Engineer Tom Wesolowski

Wesolowski indicated that the City has received phone calls and emails from some residents on Snail Lake requesting that a “slow no wake zone” be established on the lake due to the record high water levels. He noted that the City took a similar action in 2014 on Snail Lake due to high water levels at that time. He checked with the State Department of Natural Resources and determined that the City could take action to establish a temporary, 30-day no wake zone. This no wake zone would be in effect for the thirty day period or until the lake level drops below 884 feet.

Wesolowski stated that he emailed the Snail Lake Improvement District Board and that three of the five members indicated that they support the designation of the slow no wake zone. Two of the five members preferred that the zone not be established. He also contacted Ramsey County Parks staff, who are responsible for operating Snail Lake Beach and owns a significant amount of property around the lake. Ramsey County also indicated its support for a temporary, no wake zone.

Mayor Martin opened the discussion and asked for comments from the people in attendance at the meeting.

Alan Longstreet, 4433 Harbor Place Drive, indicated that he has lived on Snail Lake since 1992 and loves the lake. He indicated that the erosion from the high water levels and waves from boats is taking out the shoreline on the east side of the lake. He supports the creation of a temporary and slow no wake zone.

Max Walsh, 4368 Reiland Lane, indicated that he uses the lake to inner tube and does not support the slow no wake zone. He indicated that buoys have been placed 150 feet from shore,

and he respects those when using the lake to minimize erosion concerns. The high water levels flood his land but cause less erosion of the shoreline at his property.

Andy Stenlund, 4248 Reiland Lane, supports the comments of Mr. Walsh and said that he also uses the lake for recreation purposes and maintains the 150 foot distance from the shore to reduce the waves and erosion.

Stephen Adie, 4320 Lake Point Court, indicated that he is a new resident on the lake and lives on the point, and has lost much of his property due to the high water levels. He is concerned about the potential damage to his property values and would like a long term solution to the high water problem and the impact on his property. Although he also uses the lake for recreational purposes, he supports the temporary no wake zone because of the impact of the high water on his property.

Schwerm noted that the lake is nearly seven feet higher than it was in 2011. The City has a long history of being concerned about lakeshore property values since there is a significant investment by both the City and property owners in a lake augmentation system to maintain lake levels. Wesolowski added that although the City has not needed to pump water into the lake for the past three years, the long term history of the lake is that it needs to be augmented much more frequently than it has high water.

Scott Hood, 4425 Harbor Place Drive, noted that he has lived on the lake for 18 years and also supports the establishment of a slow no wake zone.

Councilmember Quigley indicated that he is very familiar with the lake having lived near it for many years. He recognizes that the lake level has varied tremendously over the years and believes the City Council needs to respond appropriately to resident concerns when they are raised.

Mayor Martin noted that lake levels were high throughout Shoreview last week. She had an opportunity to view some of the property damage caused by the high water levels on Snail Lake. She noted that any sort of long term solution to this issue is not easily accomplished. It will involve discussions with the Ramsey Washington Watershed District, the County, the City, and possibly other agencies. The lake level is tied into the drainage patterns in the area. Water from Snail Lake ultimately ends up near Gramsie Road, as does water from Lakes Owasso, Wabasso, and Grass Lake. Gramsie Road is currently closed due to flooding over the street. Any consideration of lowering the outlet level for Snail Lake would need to be studied in the larger context of drainage patterns in the area. She believes it will be beneficial to discuss these issues with the Watershed District and other governmental entities.

After further discussion by the Council, Quigley moved, seconded by Springhorn, to adopt Resolution 16-78 establishing temporary, emergency, slow no wake restrictions on Snail Lake.

ROLL CALL: Ayes: Quigley, Springhorn, Martin
 Nays: None

ADJOURNMENT

MOTION: by Councilmember Quigley, seconded by Councilmember Springhorn, to adjourn the meeting at 6:25 p.m.

VOTE: Ayes – 3 Nays

Mayor Martin declared the meeting adjourned.

THESE MINUTES APPROVED BY COUNCIL ON THE ___ DAY OF _____, 2016.

Terry Schwerm
City Manager

SHOREVIEW BIKEWAYS & TRAILS COMMITTEE

Meeting Minutes

August 4, 2016

1. CALL TO ORDER

The meeting was called to order at 7:02 p.m.

2. ROLL CALL

Members Present: Craig Francisco, Ted Haaf, John Hakes, Bob Johnson, Jay Martin, Craig Mullenbach, Mark Stange, and Bill Zerfas

Members Absent: Keith Severson

Guests: Connie Bernardy (Ramsey Co.) and Scott Yonke (Ramsey Co.)

City Staff: David Yang

3. APPROVAL OF AGENDA

The committee approved the agenda.

4. APPROVAL OF MEETING MINUTES

The minutes of the July 7, 2016 meeting were reviewed and approved by consensus of the Committee.

5. COMMITTEE DISCUSSION ITEMS

Scotty Yonke, Director of Planning and Development at Ramsey County Parks and Recreation, started off the meeting by going over the current trail flooding issues in Snail Lake Regional Park. There are three trail locations that gets flooded almost annually. One is at the trail tunnel under Gramsie Road, and the other two locations are in the northeast region of the park. Scott noted that there is no simple solution to deal with the flooding since the park is a low point in the region, collecting water from surrounding drainage basins and lakes. Scott noted that the water level in Snail Lake, which also flows into the park, is at record levels. Scott also noted that there could be other reasons as to why flooding is so persistent in the park, and the County is actively looking at what those are,

but it will take some time to figure out. Scott noted that trail users have been cutting through private property around the flooded trails in the northeast region of the park, and that the County has received permission from the property owners to put down woodchips along an off-trail path for safety measures. The County is also looking at possibly buying property or getting easements at these locations to reroute the path in the future. Scott stated that Ramsey County is willing to coordinate and dedicate resources with the City of Shoreview, watershed districts, and St. Paul Regional Water Services in coming up with temporary and permanent solutions to deal with the flooding.

Committee members unanimously passed a resolution urging the City Council to go after the trail flooding in Snail Lake Regional Park, and recommended a floating dock/boardwalk as a short term solution to the flooding in the northeast region. The first priority would be the flooded trails in the northeast region of the park, and the second priority is the trail crossing under Gramsie Road.

Connie Bernardy, Active Living Ramsey Communities (ALRC) Coalition Director, presented the Ramsey County-wide Pedestrian and Bicycle Plan. The Plan is a guide and resource for developing a connected Ramsey County for non-motorized traffic. It is intended to engage community members at all levels and be a guide for future community investments. Connie stated that the overall goal is to improve health through active mobility while providing a safe transportation system for pedestrians and bicyclists. As part of their implementation plan, ALRC wants the City of Shoreview and other cities to participate in their Annual Performance Evaluation Summit, and for the City Council to support the adoption of a resolution in support of the Plan. The resolution language entails accepting the Plan as a guiding document for pedestrian and bicycle planning and implementation. The resolution language would also direct staff to incorporate the Plan into the City's future comprehensive transportation and park plans, as well as in other related areas. More information about the Plan can be found on the County website.

The present Committee members passed a motion recommending the City Council adopt a resolution in support of the Ramsey County-wide Pedestrian and Bicycle Plan. Committee member John Hakes abstained from the vote.

City staff presented highlights from the Public Works monthly report and provided an update on current projects.

The Committee recapped the Tour de Trail event and the booth at the Slice of Shoreview. There was a total of 69 registrants for the Tour de Trails event this year, which received a handful of positive reviews. Possible improvements for future events were also discussed.

The meeting was adjourned at 8:33 P.M.

Shoreview Bike and Trailways Committee Recommendations
RE: Snail Lake Regional Park Trail Flooding
August 4th 2016

This document is to fortify the unanimous resolution passed by the Bike and Trailways Committee August 4th 2016 to urge the Shoreview City Council to carry forward our request to Ramsey County to find solutions to the flooding issues in Snail Lake Regional Park. (See Bike and Trailways Committee meeting minutes for August 4, 2016, page 2.)

The map below (Figure 1) shows the three major areas in Snail Lake Regional Park that need the most attention, two located in the Northeast corner and the tunnel under Gramsie Road.

#1) Ongoing flooding over the path prevents people from completing a loop, which not been passable in over a year (except when completely frozen). We recommend that the city immediately install a floating bridge as a short-term solution to make the trail usable for residents for the remainder of this season and for safer crossing this winter. Long-term we recommend a study of the landscape by the County to determine and then construct the most appropriate permanent structure.

#2) Ongoing flooding covering the path has people going over private property to circumvent the flooded trail, which has been impassable for 18 months. This summer, with the permission of the private landowners, the county created a safer, unpaved alternate route across the private property.

We recommend:

- a. The County construct a permanent bridge or boardwalk structure along the current path; or
- b. The County purchase the portion of land where the path has been rerouted and pave the trail over that high ground.

#3) Consistent and pronounced seasonal flooding filling the tunnel at the North-South trail connection under Gramsie Road inhibits trail users from safely passing. Because the tunnel will not likely get raised, we recommend that the city and/or county build up the approaching paths on the North and South sides to make an alternate route over Gramsie Road when the tunnel is flooded. A pedestrian crossing may be necessary to allow safer street crossing.

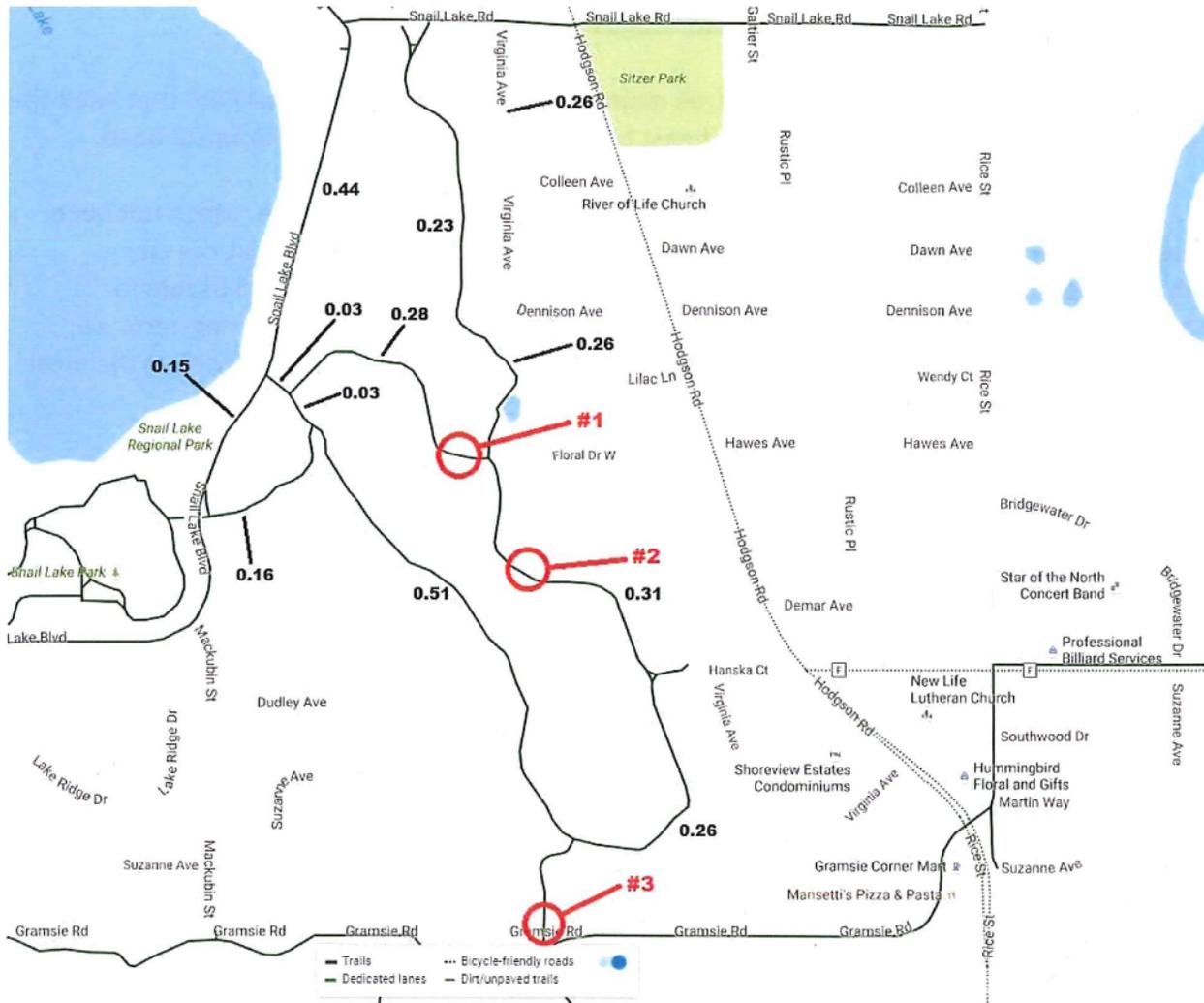
At a future time when measures may be taken to address the flooding over Gramsie Road, we recommend that addressing the flooding in the tunnel and trail crossing be included in the priorities for that project.

Shoreview Bike and Trailways Committee Recommendations

RE: Snail Lake Regional Park Trail Flooding

August 4th 2016

Figure 1. Snail Lake Regional Park Trail Flooding Locations



Resolution for support of the Ramsey County-wide Pedestrian and Bicycle Plan.

Resolution No. _____

A RESOLUTION OF THE COUNCIL OF THE CITY OF _____ IN SUPPORT OF THE RAMSEY COUNTY-WIDE PEDESTRIAN AND BICYCLE PLAN.

WHEREAS, Active Living Ramsey Communities engages the community to improve health by creating and promoting environments for people to be physically active in their daily routine; and

WHEREAS, improving opportunities for physical activity contributes to and strengthens individual, family and community health, safety, and quality of life; and

WHEREAS, an integrated and well-planned multi-modal transportation system provides safe, convenient and accessible transportation options to meet the diverse needs of people in Ramsey County; and

WHEREAS, a connected pedestrian and bicycle network enhances mobility and opportunities for people to access education, employment and community resources; and

WHEREAS, vibrant, walkable and bikeable communities cultivate economic prosperity and positive neighborhood investment; and

WHEREAS, Active Living Ramsey Communities has engaged community stakeholders since 2004 including leaders, practitioners and residents throughout the County with an emphasis on underserved communities through non-traditional means such as pop-up events at community festivals, online engagement, focused listening sessions with specific groups, and walking audits with residents who live in Saint Paul Public Housing; and

WHEREAS, partners have identified a network of pedestrian and bicycle facilities that, when fully constructed, will create an integrated system of walkable and bikeable corridors connecting the people of Ramsey County with key destinations in and outside of the county; and

WHEREAS, transportation corridors that cross municipal boundaries and jurisdictions require coordination and planning among responsible units of government;

WHEREAS, the planning process for the Connected Ramsey Communities Network was inclusive of local planning for pedestrians and bicyclists; and

WHEREAS, the region will be able to more effectively implement the plan and seek funding for projects with support of local partners;

NOW, THEREFORE, THE CITY OF _____ RESOLVES AS FOLLOWS:

- 1) Accept the Ramsey County-wide Pedestrian and Bicycle Plan as a guiding document for pedestrian and bicycle planning and implementation.
- 2) Direct the City staff to incorporate the Ramsey County-wide Pedestrian and Bicycle Plan into the next comprehensive plan update in transportation, parks, public health and other related areas.
- 3) Direct the City staff to coordinate, collaborate and partner with Ramsey County municipalities, other responsible governmental units, key stakeholders and residents on the development of the Connected Ramsey Communities Network and a walkable and bikeable community for all ages and abilities.

DRAFT

Minutes

ENVIRONMENTAL QUALITY COMMITTEE

August 22, 2016 7:00 PM

1. CALL TO ORDER

The meeting was called to order at 7:08 PM.

2. ROLL CALL

Members Present: Tim Pratt, John Suzukida, Lisa Shaffer-Schrieber, Lynne Holt, Paige Ahlborg, Susan Rengstorf, Leslie Sharkey

Members Absent: Kathy Radosevich

Staff Present: Neva Widner, Tom Wesolowski

3. APPROVAL OF AGENDA

The agenda was approved with no changes.

4. APPROVAL OF MEETING MINUTES – July 25, 2016

The meeting minutes were approved with one spelling change.

5. BUSINESS

A. Workplan Tasks

a. Green Community Awards Presentation Reminder

Neva reminded EQC members the Green community awards presentation will be held at the September 19th City Council Meeting. Invitations to all of the award recipients have been sent out.

b. Assign ShoreViews article(s) due October 10th (Nov./Dec. long edition)

a. Leslie will put together an article on indoor worm-composting. Paige will put together an article on green housecleaning. Tim will put together an article on Christmas light disposal options.

c. Community Solar Gardens 101 workshop- Set for September 20th. Julie is making flyers.

B. Public Works Update

a. Clean up day is set for October 8th.

b. Tom Presented on Proposed Gramsie woods development and EQC members provided comments.

C. Other- Julie Drennen, Conservation Minnesota updated on post-Shoreview Community Conservation meeting.

D. Adjournment -8:16 PM- Next regular meeting – September 26th, 2016

OLD BUSINESS

RESIDENTIAL DESIGN REVIEW - VARIANCE

FILE NO.: 2624-16-23
APPLICANT: ZAWADSKI HOMES, INC.
LOCATION: 951 OAKRIDGE AVENUE

Presentation by Senior Planner Rob Warwick

At the July 26, 2016 Planning Commission meeting this application was tabled and the review period extended because of concerns that the proposed accessory floor area was too large a variance from recently adopted standards. The applicants have revised their plans.

The lot is a substandard riparian lot on Turtle Lake with a width of 68 feet, less than the standard of 100 feet. The proposal is to tear down an existing home, detached garage and shed. A water-oriented structure of 331 square feet will remain. A new house will be constructed with a one-story design and walkout lower level with an attached 987 square foot garage. The house has a foundation area of 2090 square feet. A variance is requested to increase total floor area for accessory structures and to reduce the front setback to 139.5 feet.

The application has changed in that the detached garage of 788 square feet will be removed. The new attached garage, which was 600 square feet, is now proposed at 987 square feet, which complies with the 1000 square foot maximum or 80% of the dwelling unit foundation area. The total accessory floor area proposed is 1,318 square feet or 63.7% of the dwelling unit foundation area. This amount exceeds the 1200 square foot maximum permitted. Currently, there is 1,299 square feet of accessory structures on the property.

The calculated range of front setback is between 155.15 to 175.15 feet as based on the setbacks of houses on adjacent lots; the proposed front setback is 139.61 feet. Also, the west side of the house is 7.3 feet from the lot line; the required permitted minimum setback is 10 feet. All other residential design review standards are in compliance.

Two shoreland mitigation practices are required. The practices chosen by the applicants are: 1) vegetation protection area that extends 50 feet upland from the OHW; and 2) architectural mass with use of natural colors.

Retention of the water oriented structure limits a three-car attached garage. Staff believes the dwelling will be the dominant feature on the property. Total accessory floor area is approximately 64% of the 2090 square feet of dwelling foundation area. The attached garage will be less noticeable than the detached garages in the neighborhood. The house and water oriented structure are well screened and difficult to see. Staff does not believe the character of the neighborhood will change.

Notice of the revised proposal was mailed a second time to property owners within 150 feet. In July, three comments of support were received. No comments were received in August. Staff is recommending approval with the conditions in the staff report.

Commissioner McCool stated that it was his recollection that it was his recollection that with a 3-car garage and removal of the detached garage, accessory structure area would be in compliance.

Ms. Christine Wahlin, Applicant, stated that a 3-car garage is being removed, and a 3-car garage is being attached to the house but not at the end of the house. It is a side entry to the garage. The reason a few extra feet were added to the garage is because the stairs must be ADA accessible due to health issues. Neighbors requested the lakeside setback be increased so as not to obstruct views, which is why it is at 139.61 feet.

Chair Doan opened comment to the public. There were no comments or questions.

Commissioners expressed their support and appreciation that the feedback from the Planning Commission at the last meeting was taken seriously.

MOTION: by Commissioner Thompson, seconded by Commissioner Ferrington to adopt Resolution 16-67, approving the variance requests, and to approve the residential design review application.

Approval is subject to the following conditions:

1. The project must be completed in accordance with the plans submitted as part of the application. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission.
2. This approval will expire after one year if a building permit has not been issued and work has not begun on the project.
3. This approval is subject to a 5-day appeal period. Once the appeal period expires, a building permit may be issued for the proposed project. A building permit must be obtained before any construction activity begins.
4. A Mitigation Affidavit shall be executed prior to the issuance of a building permit for the addition.
5. The applicants shall submit a landscape plan that shows the existing and proposed landscaping. The landscape plan is subject to the approval of the City Planner.
6. Use of the accessory structure shall be for personal use only and no commercial use is permitted.

Discussion:

Commissioner Solomonson asked if removal of the shed and detached garage should be stipulated in the motion.

City Attorney Beck recommended this condition be added.

Commissioner Solomonson offered an amendment to the motion as condition No. 7, that the applicant shall remove the 788 square foot detached garage and 180 square foot shed. Commissioner Peterson seconded the amendment.

VOTE ON THE AMENDMENT: Ayes - 7 Nays - 0

VOTE ON MOTION AS AMENDED: Ayes - 7

Nays - 0

NEW BUSINESS

VARIANCE

FILE NO.: 2629-16-28
APPLICANT: JOHN & VALERIE KELLY
LOCATION: 650 HIGHWAY 96 WEST

Presentation by Economic Development and Planning Associate Niki Hill

The applicants seek a variance to reduce the minimum 40-foot setback from the front property line, which is on the street side, to 3.8 feet for a front porch addition; 19.8 feet from the front property line for the garage addition; and 10.8 feet from the front lot line for additional living space. A 40-foot setback is required on an arterial road, such as Highway 96. The road right-of-way extends into their 40-foot setback.

Also, a variance is requested to reduce the minimum 10-foot setback from the west side lot line to 7.3 feet to convert the existing attached garage into living space.

The property is zoned R1, Detached Residential and is a standard riparian lot so not subject to the Residential Design Review standards.

The applicant states that reduction of the front setback variances are a result of the design of the existing home, placement of the home on the property, and the topography of the site. Conversion of the existing garage into living space will not impact the adjacent home because the homes are not aligned. The setback for the garage cannot be increased due to the topography of the property. The front porch addition is to provide sheltered space for visitors.

Staff finds the justification for setback variances reasonable. The property is zoned R1, which allows single-family homes as a permitted use. The foundation of this home is approximately 989 square feet and smaller than other nearby homes on Snail Lake. The existing setback of the home on the west lot line is 7.3 feet. Conversion of the garage to living area adds living space to the house. Staff finds this request reasonable, as no further encroachment into the setback will be made. Replacing the garage with a 3-car garage is also reasonable for lakshore property. The 19.6-foot setback of the garage will provide off-street parking on the applicant's property. The porch is designed to enhance the appearance of the home, and the 3.8-foot setback will not interfere with improvements in the Highway 96 right-of-way.

There are unique circumstances to this property with the presence of Highway 96, which is under the jurisdiction of Ramsey County. It is an improved roadway with four lanes and medians. No further improvements are planned to Highway 96. The characteristics of Highway 96 and placement of the home on this property are unique circumstances. Since the home at 600 Highway 96 is set back further, the addition will not be adjacent to the neighboring home. Landscaping will be used to provide separation and buffering. The topography of the property is also unique. It is

flat on the north adjacent to Highway 96, then slopes to Snail Lake. Placement of the garage at a further setback would mean additional grading.

The character of the neighborhood will not be changed because lots on the north side of Snail Lake vary in size and depth. The applicant's parcel and the adjacent property at 640 are smaller and have been developed with homes close to the highway. There is no change to the building footprint on the west side.

Two practices of shoreland mitigation is required. The applicants have chosen neutral earth tone colors for the home as one practice. A second practice is yet to be identified but must be stipulated prior to the issuance of a building permit.

Property owners within 150 feet were notified of the proposal. No comments have been received.

Ramsey County Public Works reviewed the proposal and had some concern about the 3.8-foot setback from the front lot line but did not object to the variance. The concern is that the porch may impact use of the driveway, but the porch abuts the driveway without extending into it. Also, the County may require a turn lane east of the property, but there is adequate right-of-way should a turn lane be needed.

Ramsey-Washington Metro Watershed District reviewed the plan and indicated a watershed permit is not required. Staff is recommending approval of the requested variances.

Commissioner Solomonson stated that the variance of 3.8 feet is still 50 feet from the roadway. He questioned whether the garage has footings for conversion to living space. Mr. Warwick responded that the garage is attached with footings.

Chair Doan asked if an egress window is required. Ms. Hill explained that unless the living space is converted into a bedroom, window egress would not be required.

Commissioner Peterson asked if the driveway will be usable with the porch abutting the edge. Is there space for usable driveway particularly in the winter?

Ms. Val Kelly, Applicant, stated the porch was added after the addition was designed. The driveway is a drive through to a parking area by the garage. Snow is stored in the side yard. More than a porch, she would prefer an extended eave attached to columns to provide shelter for visitors. The porch would be for looks. Ms. Hill stated that an extended roof structure instead of a porch would still need a variance.

Commissioner Ferrington asked if the steps from the house go down to the driveway. **Ms. Kelly** answered, yes. She added that along the horseshoe drive closest to the house are seven sturdy posts to prevent cars from skidding into the house. The porch would be behind the posts.

Commissioners expressed their appreciation for this nice remodeling of the home. The porch will add a nice feature. Improvements to aging properties is in line with City goals.

MOTION: by Commissioner Peterson, seconded by Commissioner Ferrington to adopt Resolution No. 16-76 approving the variance submitted by John and Valerie Kelly for their

PLANNED UNIT DEVELOPMENT-CONCEPT REVIEW

FILE NO.: 2606-16-05
APPLICANT: WOOLPERT, INC.
LOCATION: 4188 LEXINGTON AVENUE (SHOREVIEW BUSINESS CAMPUS)

Presentation by Senior Planner Rob Warwick

The property consists of 15 acres. The proposal would amend an existing PUD that was approved in 1987 for three single-story office buildings of 50,000 square feet each. One building was constructed on the south portion of the site. Mass grading was completed for the entire site, and storm water infrastructure was installed, but the other two buildings were not built.

In 1993, property owners applied to amend the PUD to expand uses to include light industrial, manufacturing, assembly, processing and warehousing. The request was not approved by the City.

In 1994, a concept PUD Amendment was approved to allow a 136,000 square foot office, warehouse and manufacturing on the north side of the property. The Concept PUD was approved with a reduced floor area of 110,000 square feet. No further approvals were requested, and the amendment expired. No further applications or amendments have been received. Therefore, the 1987 amendment is in effect for site condominium.

In the mid-1990s conservation easements were conveyed to the Minnesota Forestry Association. Public use was prohibited, and limited uses were given to forestry. These easements were extinguished in 2009. Permitted uses include office, light industrial and supporting commercial services.

Woolpert/Waterwalk are considering purchase of the northwest portion of the property to develop the site with two four-story buildings that would accommodate approximately 150 extended stay hotel/apartments, with parking and access drives. Landscaped islands and landscaping within and around the parking and drive areas are required. Shade trees at a rate of 1 per 10 parking stalls are required to screen from adjacent residential uses. The plan includes a pocket park in the vacant City right-of-way immediately north of the site.

Two four-story buildings are proposed on the site plan that total 153 hotel rooms each. The height of the buildings is approximately 55 feet. Parking surrounds the buildings with 162 stalls. The existing driveway access would be used off Lexington Avenue. Ramsey County will require the 1984 traffic study to be updated.

Business Park standards for structure setbacks are:

- 75 feet from a street or residential use
- 30 feet from side and rear lot lines
- An additional foot of setback is required for each foot of height that exceeds 35 feet.
- Parking from a street or residential property is 20 feet with a landscaped buffer
- Parking from other lot lines is 5 feet.

This site is identified in the Comprehensive Plan as a Policy Development Area 11 (PDA), which calls for development of office or medium density residential uses. Surrounding land uses are to the

north is low density residential. To the south and east is medium density residential. Immediately south is high density residential.

The 1987 storm water drainage management plan that was installed will need revision to comply with current regulations. Impervious surface is limited to 70%, which can be increased to 75% with the use of Best Management Practices. Deviation to stormwater regulations is not allowed through the PUD process.

Parking is required at a rate of 1 stall per unit plus one stall per employee. The proposed 162 stalls appear to deviate from Code standards, which will be examined at the Development Stage Review.

Notices of the proposal were sent to property owners within 350 feet of the subject property. Approximately 50 comments were received. All expressed concerns about building height, noise, glare, crime, property values, storm water management, loss of privacy, and loss of undeveloped views.

Under the Concept PUD, the Commission is asked to take public testimony. No formal action is required. Commission comments need to identify issues for detailed review at the Development Stage Review.

Commissioner Ferrington asked if a site condominium is allowed on this site. Mr. Warwick explained that the City has no role in the site condominium. There is no City signature on the CIC plat that was done, and the City had nothing to do with drafting the declarations. He explained that Condominium is a method of ownership. The agreement is among the private owners who own the condominium sites. The PUD amendment is to gain approval for two 4-story buildings. The original PUD allowed three single-story buildings. He noted that usually a PUD is for a single site. This application is somewhat confusing because there are two privately owned vacant properties.

Commissioner Solomonson asked if the original PUD of three buildings can be pursued. Mr. Warwick stated that can be done with a Site and Building Review by the City. The prior approval in 1987 runs with the land. Commissioner Solomonson asked the definition of a pocket park. Mr. Warwick showed right-of-way that was dedicated with Weston Woods. The developer is proposing a pocket park for nearby residents on this parcel. The City no longer supports development of pocket parks. If recreation opportunities are needed, the developer needs to provide such facilities on his own property being developed.

Commissioner Solomonson noted that the proposed hotel buildings would not be permitted under the Comprehensive Plan. Mr. Warwick stated that there would have to be a Comprehensive Plan amendment. The developer refers to the buildings as corporate lodging for long-term stay for people attending training or waiting to move here. In City Code the only district that allows hotels is a C2 District. Staff does not believe on this site that a portion should be used as commercial and a portion used for office. The C2 district is not appropriate adjacent to residential.

Chair Doan asked the additional setback to the standard 75 feet that would be required for the building height proposed. Mr. Warwick stated that the minimum setback from Lexington Avenue and north lot line is 75 feet for a building less than 35 feet in height. If the building is 55 feet in height, the setback would increase to 95 feet. The parking setback is 20 feet. He added that the

topography of the site does not appear to have changed. Contours show elevations range from 102 to 1000.

Chair Doan opened discussion to public comment.

Mr. Bill Chaffee, Vice President of Waterwalk, Wichita, Kansas, stated that what is proposed is a corporate living facility. The extended stay averages 77 days. Other occupants stay 4 or 5 months. People traveling for their company prefer corporate living facilities over residence inns. The average stay in a residence inn is 3 days. Their facilities have over 96% occupancy year-round. It is a gated community that is safe and secure. Average rent is approximately \$4,000 a month. There is no restaurant, bar, pool, or other amenities. Management is 24/7 onsite. He emphasized that he welcomes input from the neighbors and that they want to be a good neighbor and fit in.

Mr. Chaffee introduced **Mr. Tim Reber**, Senior Engineer, who is present to answer questions.

Commissioner Ferrington asked in what other cities Waterwalk has these types of facilities. **Mr. Chaffee** answered that only facility up and running is in Wichita, Kansas. Approval has been granted for Centennial, Colorado; Denver, Colorado; San Antonio, Texas; Dallas, Texas; two in Charlotte, North Carolina; Albany, New York. These communities have been targeted across the nation as having a need for their product. He anticipates 10 facilities by the end of 2017.

Commissioner Ferrington asked the proximity to the downtown areas in other cities. **Mr. Chaffee** stated that they do not seek downtown property because of the expense. Customers are in office parks, such as Land O'Lakes. It is a suburban concept for office parks.

Commissioner Ferrington stated that one major issue is the size being proposed. She asked if a one- or two-story building would work. **Mr. Chaffee** answered, no. The concept presented here is among the smallest. The number of units in other buildings range in the 170s.

Commissioner Solomonson asked if other facilities are near residential areas. **Mr. Chaffee** answered that the plan in Charlotte, North Carolina is next to residential use. When approval was granted, it was not only from the Planning Commission and Council but also from the neighbors.

Chair Doan asked the number of units proposed. **Mr. Chaffee** stated 153 units in each building. Chair Doan asked for a summary of concerns from neighbors. **Mr. Chaffee** stated that there are concerns about the height of the building, drainage, retention, buffer, why no restaurant and bar, traffic, noise from Lexington, economic feasibility, any underground parking which is not possible, snow removal, landscaping buffer, retaining wall pressure, Weston Woods resident comments. He added that two full traffic studies are done--one for their facility and a full study for the area and how the development will impact the area. In comparison to offices, residents leave during a narrow window in the morning and return during a fairly set window of time in the evening. The number of cars is less than for a building full of office employees.

Commissioner McCool asked if it would be possible to have parking in front of the buildings and not adjacent to residential property. **Mr. Chaffee** answered that is under consideration, but he does not yet have approval from his company.

Commissioner McCool asked the status of an amendment to the CIC with the owners. **Mr. Steve Chirhart**, Tetonka Real Estate Advisors, stated that he represents the seller who has the property in a family trust. There are three condominium units. Approval must be obtained from all three as well as the family trust. There would be limited common elements, such as parking, gateway drive and storm water retention ponds. He noted this is one of the lowest density uses in parking and traffic. It will emit less light than an office building. It is a high end project that will be an amenity to attract and retain businesses in Shoreview. The reason Land 'O Lakes would not develop such an amenity is because it is a \$24 million project.

Commissioner Ferrington asked what is planned for the third parcel of this property. **Mr. Chirhart** responded that it is being actively marketed. He believes low density office, such as a medical office, would complement the corporate lodge development. Commissioner Ferrington asked the reason a one- or two-story building could not be spread out over the two parcels to address the concerns about building height. **Mr. Chaffee** stated that the reason is a cost factor. He would like to make such a plan work, but the cost would double.

Mr. Jim Costello, 1098 West Cliff Curve, the house closest to this development. The neighborhood is organized around this issue and would request that the City not allow an amendment for two four-story hotels. It is not a good fit. The height is the most important consideration because a tall building is proposed for one of the tallest sites in Shoreview. The site is not zoned for hotel use. His house is 15 feet lower than the proposed facility and he will be looking at a 70-foot building outside his door. Reasons why previous proposals were rejected are negative visual impact from one or two story buildings. There is a retaining wall. As it is compacted with more building will present problems. There are hotels on Lexington and executive hotels along I-35. This is an albatross to solve a problem that does not exist. Neighbors are looking for a single-story building, not a tall building.

Ms. Marybeth Shima, 1090 West Cliff Curve, stated that traffic will become heavier. Lexington Avenue is a County road. Business traffic is from 6:00 a.m. to 6:00 p.m. With this development, there will be nighttime traffic. Business neighbors, Land 'O Lakes and Boston Scientific are nearly imperceptible on the sight line of residents. This proposal will tower over residents. Lexington is a preferred route for emergency vehicles. Added traffic by those who do not know the area will jeopardize response by first responders and the police. A hotel will bring crime and security issues. Shoreview residents deserve better and more thoughtful decisions.

Mr. John Bridgman, 1074 West Cliff Curve, stated that residents are concerned about the amount of impervious surface that will be put on this site. From the sketches presented, he estimates over 80% lot coverage with impervious surface. Although one of the highest elevations in Shoreview, this area has had a history of problems with ground water and springs. At least eight homes and Allina have had to have foundation repairs because of cracked floors and heaving caused by springs. Two huge structures above homes will create a hydrologic pump on these springs and water that will cause problems. A detailed ground water study is needed. Drainage runs along the retaining wall into holding ponds. Heavy storms have caused water to back up to his neighbor's home. More water could cause water to enter homes. He suggested that there are 400 acres and an empty building in Arden Hills that would be more appropriate than trying to squeeze it into this neighborhood.

Ms. Liz Gelbmann Tibbetts, 1080 West Cliff Curve, stated that she has traveled in Wichita. The claim that the people who will use this facility is for long term is not correct. Bookings can be made on Ttravelocity as with any other hotel. Her question is why long-term planning guides the land use. Development around an area takes place in accordance with those guide plans, but then consideration is given to amending the guide plans.

Mr. Ken Skok, 4200 Oxford Street, asked Commissioners to go to Waterwalk's website to see their locations. Then go to Google Earth and zoom in on those locations. This is the only complex he can find that is close to residential housing. Also, they list monthly rates. It is similar to an apartment complex. His property is 10 feet lower than surrounding houses. His concern is what a 4-story building will look like from his house.

Ms. Joanne Pastorius, 4277 Weston Way, stated that she works at Allina. Allina is not in favor of this development. Allina rents their building. The clinic has grown.

Mr. Richard Shulman, 4221 Bristol Run, stated that he just went online and looked at the Planning Commission's mission statement, which is to assist with long-range planning in the community and foster high quality development. Weston Woods is a high quality development. This proposal will impact the quality of Weston Woods. He would prefer to see townhouses rather than what is proposed.

Mr. Edward Neis, 1097 West Cliff Curve, stated that the values of properties abutting the development will decrease significantly. Property owners should be compensated, or the development should move elsewhere.

Chair Doan closed the public comment period.

Commissioner Solomonson stated that it is not recommended to put C2 development adjacent to residential use. Another big concern about the height. The plans are too intense to be next to residential property.

Commissioner Ferrington stated that there may be a good market for this in the northern suburbs, but this may not be the right site. The height is too tall adjacent to residential. Shoreview is developed and some residents have lived a long time in the community. It is always difficult for infill development to occur. The issues of height, intensity and drainage have to be addressed for this proposal to move forward.

Commissioner Peterson stated that he recognizes the need for this type of product but does not believe this is the right location. This property is one of the highest locations in Ramsey County. The height of the buildings would intensify the impact. The use is not compatible with surrounding residential uses.

Commissioner McCool stated that he likes the product, and a developer willing to invest \$20 million shows there is a need. However, this site is challenging. The height would require extraordinary landscaping for mitigation. There may be ways to design the building with varied heights that lessens impact. He believes a two-story office building would create more traffic than what is proposed. He does not worry about compatibility of uses, but the height is a big issue. Also, there are ground water issues that need to be addressed. He would like to know crime

incidents on other sites that have been built. Security lights would have to be shielded to reduce impact on nearby properties.

Commissioner Wolfe stated that the site is unique, nature based. A development on the site needs to be balanced and high quality. If a restaurant were brought in, that is something that everyone wants.

Commissioner Thompson stated that the Planning Commission has recently struggled with height of buildings, but the other issue is it would be possible for a development that would have a worse impact. Applewood brought this same discussion. The developer came up with a design to vary the height of the building. This proposal is close to residential use and the height would be disturbing to neighbors. She would like to see other design options explored.

Chair Doan agreed with the statements of Commissioners. The biggest issue for him is height and its proximity to adjacent residents. The issues of water and traffic are technical problems that he believes professional technical people can address. He would not be comfortable moving forward with this proposal as presented. He asked for further explanation of what could be developed on the third parcel.

Mr. Chirhart responded that his company has been actively marketing the third parcel for two years, seeking some type of office use. The demand has not been there. There was interest by a daycare, a luxury apartment building. He appreciated the comments on Applewood which turned out to be a good development for its site, even though close to residents. The challenges were worked out. A senior building was built adjacent to North Oaks. With changes to the design, addition of berms and landscaping, the building does fit. He would hope residents would listen with an open mind.

Mr. Warwick noted an application for an office/warehouse building on the third parcel. However, that development proposal was withdrawn and will not move forward. A number of people identify the retaining wall on the property that runs along the north lot line. The wall was built before Weston Woods was developed and is owned by the owner of the subject property. He has requested the current survey to include the location of the wall.

MISCELLANEOUS

City Council Meetings

Chair Doan and Commissioner Thompson are respectively scheduled to attend the City Council meetings of September 6, 2016 and September 19, 2016.

ADJOURNMENT

MOTION: by Commissioner Thompson, seconded by Commissioner Wolfe, to adjourn the meeting at 10:01 p.m.

VOTE: **Ayes - 7** **Nays - 0**

ATTEST:

Rob Warwick, Senior Planner

MOTION SHEET

MOVED BY COUNCILMEMBER _____

SECONDED BY COUNCILMEMBER _____

To approve the following payment of bills as presented by the finance department.

Date	Description	
09/01/16	Accounts payable	\$2,440.00
08/31/16	Accounts payable	\$508,747.79
08/25/16	Accounts payable	\$340,878.36
08/25/16	Accounts payable	\$249,153.83
08/19/16	Accounts payable	\$593,431.33
08/17/16	Accounts payable	\$229,341.73
08/12/16	Accounts payable	\$21,721.61
	Sub-total Accounts Payable	\$ 1,945,714.65
08/19/16	Payroll (including direct deposits)	
	Sub-total Payroll	\$ 202,308.84
	Total	\$ 2,148,023.49

ROLL CALL:	AYES	NAYS
Johnson		
Quigley		
Wickstrom		
Springhorn		
Martin		

COUNCIL REPORT

Vendor Name	Description	FF	GS	OU	AA	LC	Line Amount	Invoice Amt
3M	SIGN BACKING	101	42200	2180		003	\$382.50	\$382.50
ABLE HOSE & RUBBER INC.	WASH HOSE OUTSIDE OF MECH BAY	701	46500	2400		006	\$153.62	\$153.62
ABLE HOSE & RUBBER INC.	VAC TUBE FOR JD MOWER	701	46500	2220		002	\$37.08	\$37.08
AID ELECTRIC CORPORATION	FIX LIGHTS SOUTH	601	45050	3190		001	\$943.00	\$943.00
ALERUS RETIREMENT & BENEFITS	COBRA MONTHLY FEE/ADMIN/NEW HIRE	101	40210	3190			\$44.00	\$44.00
ALFUTH, APRIL	ELECTION JUDGE - PRIMARY	101	40300	3190			\$161.50	\$161.50
AMERICAN PUMP COMPANY INC	DEWATERING EQUIPMENT FOR DUNLAP Bldg	601	45050	3190		001	\$1,743.00	\$1,743.00
ASSOCIATION FOR NONSMOKERS-MN	TOBACCO COMPLIANCE CHECKS FOR 2016	101	40200	3190		002	\$605.00	\$605.00
AUTO NATION FORD WHITE BEAR LA	304 TRANNY FLUID	701	46500	2130		001	\$51.30	\$51.30
AUTO NATION FORD WHITE BEAR LA	211 AC/EVAP AND HEATER CORE	701	46500	2220		001	\$1,292.18	\$1,292.18
AUTO NATION FORD WHITE BEAR LA	VALVE AND MOTOR ASSEMBLY FOR 304	701	46500	2220		001	\$828.50	\$828.50
AUTO NATION FORD WHITE BEAR LA	BLOWER MOTOR PARTS FOR #304	701	46500	2220		001	\$33.42	\$33.42
BARLOW, SUZANNE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
BAUER BUILT TIRE AND BATTERY I	JD1525 SPARE	701	46500	2230		002	\$102.70	\$102.70
BDI	TOOL CAT MOWER DECK (GOLD UNIT)	701	46500	2220		002	\$131.66	\$131.66
BEISSWENGER'S HARDWARE	PAINT FOR WELL & GAS PIPING	601	45050	2280		005	\$9.88	\$9.88
BEISSWENGER'S HARDWARE	HARDWARE FOR PARKING LOT LIGHT	101	43710	2240			\$5.09	\$5.09
BEISSWENGER'S HARDWARE	MASKING TAPE FOR TRAIL SEALING	101	42200	2180		004	\$15.45	\$15.45
BEISSWENGER'S HARDWARE	SUPPLIES TO INSTALL PARK BENCH	101	43710	2240			\$23.21	\$23.21
BLAHOSKY, DEBRA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$95.00	\$95.00
BLAKE DRILLING COMPANY	DEWATERING FOR ROYAL OAKS	601	45050	3190		004	\$4,421.00	\$4,421.00
BRAKE & EQUIPMENT WAREHOUSE	TIE ROD AND PADS FOR 304	701	46500	2220		001	\$126.65	\$126.65
BRANDT, JADE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$161.50	\$161.50
BROCK WHITE CO LLC	STRAW ROLL SEED WELL &	601	45050	2280		005	\$35.90	\$35.90
BROCK WHITE CO LLC	WATER STOP FOR CB AND MORTAR	603	45850	2480		003	\$119.59	\$119.59
BUCHER, LYNNE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
BWR ARCHITECTS	SERVICES THROUGH JULY 31, 2016	439	43800	5910			\$8,493.35	\$8,493.35
CBIZ BENEFITS & INSURANCE SVC.	INVESTMENT SERVICES/TRUSTEE FEES	101	40210	3190		012	\$248.16	\$248.16
CITY OF COON RAPIDS	TAPING OF SLICE PARADE	230	40900	3190			\$4,608.00	\$4,608.00
CLARK, MARY H	ELECTION JUDGE - PRIMARY	101	40300	3190			\$95.00	\$95.00
CONNOLLY, MICHAEL	ELECTION JUDGE - PRIMARY	101	40300	3190			\$192.63	\$192.63
CRUIS CORPORATION	TRAIL SEAL COATING MATERIALS	405	43450	5300			\$26,778.14	\$26,778.14
CUMMINS, JOHNNY E.	ELECTION JUDGE	101	40300	3190			\$163.88	\$163.88
DAHLKE, ROBERTA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$195.50	\$195.50
DAVE'S SPORT SHOP	BASKETBALL NETS FOR PARKS	101	43710	2240			\$56.00	\$56.00
DAVE'S SPORT SHOP	BASKETBALL NET	101	43710	2240			\$8.00	\$8.00
DEHN, ANN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
DIAMOND VOGEL PAINT	PAINT FOR CROSSWALKS	101	42200	2180		004	\$433.45	\$433.45
DOERR, GERALDINE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$80.75	\$80.75
DOYLE, CHRIS	ELECTION JUDGE - PRIMARY	101	40300	3190			\$85.50	\$85.50
DYNAMEX INC	SHIPPING SERVICE; MN DEPT OF HEALTH	101	40200	3220			\$23.70	\$23.70
EDDLESTON, VICKI M	ELECTION JUDGE - PRIMARY	101	40300	3190			\$161.50	\$161.50
EISENBARTH, JEANNE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$97.38	\$97.38
ELECTRO WATCHMAN INC.	SECURITY MONITORING MAINTENANCE CENTER	701	46500	3196			\$74.85	\$74.85
ESS BROTHERS & SONS INC.	REPAIR/FLEX SEAL 15 CB STRUCTURES	603	45850	3190		002	\$8,450.00	\$8,450.00
FAGERBERG, SANDRA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$97.38	\$97.38
FERGUSON WATERWORKS #2516	MARKING PAINT	601	45050	2280		001	\$207.84	\$207.84
FERGUSON WATERWORKS #2516	SPRAY WAND FOR MARKING	601	45050	2280		001	\$337.94	\$337.94
FLETCHER, HEIDI	ELECTION JUDGE - PRIMARY	101	40300	3190			\$85.50	\$85.50
FLEXIBLE PIPE TOOL COMPANY	BATTERIES AND REPAIR OF 308	701	46500	2220		001	\$259.90	\$259.90
		701	46500	3190		002	\$254.95	\$254.95

COUNCIL REPORT

Vendor Name	Description	FF	GG	OO	AA	CC	Line Amount	Invoice Amt
FLEXIBLE PIPE TOOL COMPANY	PAVEPA EQUIPMENT TRUCK MOUNTED UNIT 308	701	46500	5800			\$196,921.00	\$196,921.00
FLEXIBLE PIPE TOOL COMPANY	MANHOLE EXTRACTOR	602	45550	2280		001	\$199.00	\$199.00
GAME TIME/A PLAYCORE COMPANY	PLAYGROUND PARTS FOR SITZER PARK	101	43710	2240			\$129.10	\$129.10
GAME TIME/A PLAYCORE COMPANY	SITZER PLAYGROUND PARTS SWIVEL WELSTER	101	43710	2240			\$148.46	
GARELICK STEEL COMPANY	STOCK	701	46500	2220		003	\$51.60	\$51.60
GENAW, JILL O	ELECTION JUDGE - PRIMARY	101	40300	3190			\$104.50	\$104.50
GLANDER, DONALD W	ELECTION JUDGE - PRIMARY	101	40300	3190			\$99.75	\$99.75
GRAINGER, INC.	LIGHT BULBS FOR PAVILION	101	43710	2240			\$99.96	\$99.96
GRAINGER, INC.	BARRICADE TAPE AND FLOOR TAPE	101	43710	2240			\$216.20	\$216.20
GRAINGER, INC.	GLOVES FOR FORESTRY INTERNS	101	42200	2180		001	\$8.03	\$8.03
GRAINGER, INC.	DELINEATOR POSTS FOR FARMERS MARKET	101	43710	2240			\$81.78	\$81.78
GRAINGER, INC.	SAFETY GLASSES WITH FOAM GASKET	101	43710	2180			\$100.68	\$100.68
GRAINGER, INC.	BATTERIES	601	45050	2280		001	\$27.28	\$27.28
GUNTER, BOB	ELECTION JUDGE - PRIMARY	101	40300	3190			\$201.25	\$201.25
HANSON, SILVIA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$163.88	\$163.88
HARAM, SUSAN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
HERC-U-LIFT	ANNUAL INSPECTION	701	46500	2220		002	\$140.36	\$140.36
HALL REST ANIMAL HOSPITAL	ANIMAL CONTROL PERIOD ENDING 8-2-16	101	41100	3190		003	\$243.00	\$243.00
HOKKALA GENE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
HOKKALA, MARILYN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$198.38	\$198.38
HOLMGREN, ELLEN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$97.38	\$97.38
I-STATE TRUCK CENTER	FILTER FOR VAC TRUCK	701	46500	2220			\$304.93	\$304.93
INSTRUMENTAL RESEARCH INC	MILY WAXPLES	601	46050	3190		001	\$464.00	\$464.00
IVERSON, JOYCE	ELECTION JUDGE - PRIMARY	101	40300	3190			\$156.75	\$156.75
JACOBS, JERRY	ELECTION JUDGE - PRIMARY	101	40300	3190			\$80.75	\$80.75
JENSEN, SYD	ELECTION JUDGE - PRIMARY	101	40300	3190			\$161.50	\$161.50
JOHN DEERE COMPANY	Z930 MOWER ZTRAK FOR PARK	701	46500	5800			\$11,047.64	\$11,047.64
JOLLIE, KAREN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$95.00	\$95.00
JUREK, DONALD G	ELECTION JUDGE - PRIMARY	101	40300	3190			\$80.75	\$80.75
KENNEDY & GRAVEN, CHARTERED	CENTURYLINK FRANCHISE	250	40900	3190			\$286.80	\$286.80
KLUG, KATHY	ELECTION JUDGE - PRIMARY	101	40300	3190			\$80.75	\$80.75
LANE DESIGN GROUP, INC.	SIGNAGE CONSULTING SERVICES	401	43710	3190			\$12,435.00	\$12,435.00
LARSEN, BARBARA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$95.00	\$95.00
LARSON COMPANIES	AIR COMPRESSOR FILTERS	701	46500	2220		002	\$11.48	\$11.48
LARSON COMPANIES	AIR COMPRESSOR AIR FILTER	701	46500	2220		001	\$11.48	\$11.48
LESCH-GORNLEY, MARY	ELECTION JUDGE - PRIMARY	101	40300	3190			\$83.13	\$83.13
LILLIE SUBURBAN NEWSPAPERS INC	I-35W LAYOUT, EAGLE RIDGE, ORD NO 964	101	40200	3360		001	\$77.40	\$77.40
LILLIE SUBURBAN NEWSPAPERS INC	ELECTION, FIN RPT, TARGET, TODD HINZ, HD	101	40200	3360		001	\$419.25	\$419.25
LILLIE SUBURBAN NEWSPAPERS INC	FALL JOBS BULLET LIST	101	40210	3360		001	\$1,032.00	\$1,032.00
MARCHETTI, ROLEEN C	ELECTION JUDGE - PRIMARY	101	40300	3190			\$156.75	\$156.75
MARTIN, JAMES E	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
MARTIN, PHYLLIS	ELECTION JUDGE - PRIMARY	101	40300	3190			\$161.50	\$161.50
MASLANSKY-TAKAHASHI, ANNE M	ELECTION JUDGE - PRIMARY	101	40300	3190			\$156.75	\$156.75
MCCARTHY, KATHLEEN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$95.00	\$95.00
MENARDS CASHWAY LUMBER **FRID	WET/DRY VAC	101	43710	2400			\$129.00	\$129.00
MENARDS CASHWAY LUMBER **FRID	HARDWARE AND WOOD FOR PRACTICE BOARDS	101	43710	2240			\$132.23	\$132.23
METHO COUNT INC.	TUBING FOR TRAFFIC COUNTER	101	42200	2180		001	\$305.00	\$305.00
MEYER, SANDRA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$99.75	\$99.75
MINNESOTA EQUIPMENT	JD5115M TRACTOR HITCH	701	46500	2220		002	\$117.95	\$117.95
MINNESOTA EQUIPMENT	JD1585 MOWER PARTS	701	46500	2220		002	\$216.51	\$216.51
MIRACLE RECREATION EQUIPMENT C	PLAYGROUND PART-WAVE SLIDE SECTION	101	43710	2240			\$546.00	\$546.00

COUNCIL REPORT

Vendor Name	Description	FF	GG	OO	AA	FF	Line Amount	Invoice Amt
STIEHL, GLORIA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$142.50	\$142.50
STOTTLEMYER, JEAN	ELECTION JUDGE - PRIMARY	101	40300	3190			\$195.50	\$195.50
STREETER, PAUL	ELECTION JUDGE - PRIMARY	101	40300	3190			\$90.25	\$90.25
SUBURBAN RATE AUTHORITY	2016 MEMBERSHIP ASSESSMENT-SECOND HALF	101	40100	4330	006		\$1,275.00	\$1,275.00
SUPPLYWORKS	CLEANING SUPPLIES CC	220	43800	2110			\$271.12	\$271.12
SUPPLYWORKS	TOILET PAPER FOR PAVILION	101	43710	2240			\$54.71	\$54.71
SUPPLYWORKS	CLEANING GLOVES	101	43710	2180			\$109.55	\$109.55
SUPPLYWORKS	CLEANING SUPPLIES CC	220	43800	2110			\$1,842.07	\$1,842.07
SUPPLYWORKS	CLEANING SUPPLIES CC	220	43800	2110			\$617.38	\$617.38
SUPPLYWORKS	CLEANING GLOVES	101	43710	2110			\$46.95	\$46.95
SUPPLYWORKS	REPAIRS TO LARGE SCRUBBER	220	43800	3890			\$332.22	\$332.22
SUPPLYWORKS	SHOWER CURTAINS FOR POOL LOCKER ROOMS	220	43800	2240	003		\$97.96	\$97.96
SUPPLYWORKS	REPAIR SUPPLIES CC	220	43800	2240	001		\$69.29	\$69.29
T.A. SCHIFSKY & SONS, INCORPOR	FINES FOR SPOT PATCHING SEALCOAT AREAS	101	42200	2180	002		\$53.53	\$53.53
TEKLING, JUDITH	ELECTION JUDGE - PRIMARY	101	40300	3190			\$85.50	\$85.50
TRI STATE BOBCAT, INC.	OIL FILTER FOR BOBCAT S630	701	46500	2220	002		\$5.50	\$5.50
TRI STATE BOBCAT, INC.	TOOL CAT TIE ROD	701	46500	2220	002		\$199.51	\$199.51
TRI STATE BOBCAT, INC.	STUD/NUT TOOLCAT	701	46500	2220	002		\$47.77	\$47.77
TRI STATE BOBCAT, INC.	STUD TOOLCAT	701	46500	2220	002		\$8.53	\$8.53
TRI STATE BOBCAT, INC.	TOOLCAT STUD/NUT AND FILTER	701	46500	2220	002		\$64.83	\$64.83
TRI STATE BOBCAT, INC.	TOOLCAT AIR CLEANER	701	46500	2220	002		\$19.51	\$19.51
TWIN SOURCE SUPPLY	TP/PAPER TOWELS FOR MTCC CENTER	701	46500	2220	003		\$604.40	\$604.40
TYCO INTEGRATED SECURITY LLC	SECURITY SYSTEM MONITORING	101	40210	3190	008		\$94.00	\$94.00
UNIFIRST CORPORATION	UNIFORM RENTAL	101	42200	3970	001		\$42.67	\$170.68
		601	45050	3970	001		\$42.67	
		602	45550	3970	001		\$42.67	
		603	45850	3970	001		\$21.34	
		701	46500	3970	001		\$21.33	
UNIFIRST CORPORATION	UNIFORM RENTAL	101	42200	3970	001		\$42.67	\$170.68
		601	45050	3970	001		\$42.67	
		602	45550	3970	001		\$42.67	
		603	45850	3970	001		\$21.33	
		701	46500	3970	001		\$21.34	
UNIFIRST CORPORATION	UNIFORM RENTAL PARKS	101	43710	3970			\$70.84	\$70.84
UNIFIRST CORPORATION	UNIFORM RENTAL PARKS	101	43710	3970			\$70.84	\$70.84
UNIFIRST CORPORATION	UNIFORM RENTAL	101	42200	3970	001		\$43.67	\$174.68
		601	45050	3970	001		\$43.67	
		602	45550	3970	001		\$43.67	
		603	45850	3970	001		\$21.84	
		701	46500	3970	001		\$21.83	
UNLIMITED SUPPLIES INC	BOLTS	701	46500	2400	006		\$17.13	
UNLIMITED SUPPLIES INC	NUTS/BOLTS, BATTERIES FOR GATE OPENER	701	46500	2400	006		\$285.98	\$285.98
UNLIMITED SUPPLIES INC	BATTERIES FOR GATE OPENERS	701	46500	2220	003		\$10.00	
UPPER CUT TREE SERVICES INC	GRIND STUMPS IN PARKS AND GROUNDS	101	43710	3190			\$1,470.00	\$1,470.00
VAN PAPER COMPANY	TRASH BAGS FOR PARKS	101	43710	2240			\$77.14	\$77.14
VISION INTERNET PROVIDERS INC	PROJECT PAYMENT 1 OF 2 WEB REDESIGN	230	40900	3190			\$14,250.00	\$14,250.00
WEGLEITNER, BARBARA	ELECTION JUDGE - PRIMARY	101	40300	3190			\$161.50	\$161.50
WENNER, GERALD J	ELECTION JUDGE - PRIMARY	101	40300	3190			\$195.50	\$195.50
WENNER, KRIS	ELECTION JUDGE - PRIMARY	101	40300	3190			\$99.75	\$99.75
WHEREALT, GAIL	ELECTION JUDGE - PRIMARY	101	40300	3190			\$166.25	\$166.25
WILD, SCOTTY	ELECTION JUDGE - PRIMARY	101	40300	3190			\$156.75	\$156.75

COUNCIL REPORT:

Vendor Name	Description	FF	GG	DD	AA	CC	Line	Amount	Invoice Amt
MN DEPARTMENT OF LABOR AND IND	ANNUAL ELEVATOR OPERATORS LICENSE	701	46500	3196		002		\$100.00	\$100.00
MOECKEL, ROSE	ELECTION JUDGE - PRIMARY	101	40300	3190				\$207.00	\$207.00
MOLENAAR, MICHELLE	ELECTION JUDGE - PRIMARY	101	40300	3190				\$80.75	\$80.75
MTI DISTRIBUTING, INC	IRRIGATION REPAIR SUPPLIES	101	43710	2240				\$211.37	\$211.37
MULHOLLAND, JAMES	ELECTION JUDGE - PRIMARY	101	40300	3190				\$195.50	\$195.50
MURAKAMI, JUDITH	ELECTION JUDGE - PRIMARY	101	40300	3190				\$156.75	\$156.75
NAPA AUTO PARTS	SMALL ENGINE OIL	701	46500	2130		001		\$47.88	\$47.88
NAPA AUTO PARTS	DOME BULBS	701	46500	2220		001		\$13.74	\$13.74
NELSON, DAVE	ELECTION JUDGE - PRIMARY	101	40300	3190				\$99.75	\$99.75
NORM'S TIRE SALES	304 ALIGNMENT	701	46500	2220		001		\$109.62	\$109.62
NORTHERN ELECTRICAL CONTRACTOR	REPAIRS TO LIGHTS CC	220	43800	3810		003		\$236.25	\$236.25
NORTHERN ELECTRICAL CONTRACTOR	TRACE CIRCUITS FOR ELECTRICAL CLOSET	220	43800	3810		003		\$135.00	\$135.00
NORTHERN ELECTRICAL CONTRACTOR	REPAIRS TO PAVILION LIGHTS	101	43710	3810				\$195.75	\$195.75
O'NEILL, MARY	ELECTION JUDGE - PRIMARY	101	40300	3190				\$161.50	\$161.50
OFFICE DEPOT	LUNCHROOM SUPPLIES	101	40800	2180				\$67.96	\$67.96
OFFICE DEPOT	GENERAL OFFICE SUPPLIES	101	40200	4890		001		\$28.47	\$114.60
		225	43555	2170				\$86.13	
OFFICE DEPOT	GENERAL OFFICE SUPPLIES	101	40200	2010		002		\$142.82	\$142.82
OFFICE DEPOT	OFFICE SUPPLIES	101	40500	2010		008		\$6.01	\$6.01
OFFICE DEPOT	GENERAL OFFICE SUPPLIES	225	43520	2170		002		\$33.89	\$409.29
		225	43510	2170				\$127.40	
		101	43400	2010				\$13.76	
		220	43800	2010		001		\$43.20	
		220	43800	2010		001		\$114.81	
		220	43800	2180		002		\$56.43	
ON SITE SANITATION INC	TOILET RENTAL FOR BUCHER PARK	101	43710	3950				\$380.00	\$380.00
ON SITE SANITATION INC	TOILET RENTAL FOR COMMONS PARK	101	43710	3950				\$380.00	\$380.00
ON SITE SANITATION INC	TOILET RENTAL FOR LAKE JUDY PARK	101	43710	3950				\$160.00	\$160.00
ON SITE SANITATION INC	TOILET RENTAL FOR MCCULLOUGH PARK	101	43710	3950				\$250.00	\$250.00
ON SITE SANITATION INC	TOILET RENTAL FOR RIVE CREEK FIELDS	101	43710	3950				\$75.00	\$75.00
ON SITE SANITATION INC	TOILET RENTAL FOR SHANROCK PARK	101	43710	3950				\$505.00	\$505.00
ON SITE SANITATION INC	TOILET RENTAL FOR SITZER PARK	101	43710	3950				\$380.00	\$380.00
ON SITE SANITATION INC	TOILET RENTAL FOR BOBBY THEISEN PARK	101	43710	3950				\$255.00	\$255.00
ON SITE SANITATION INC	TOILET RENTAL FOR WILSON PARK	101	43710	3950				\$380.00	\$380.00
ON SITE SANITATION INC	TOILET RENTAL FOR SNAIL LAKE SCHOOL	101	43710	3950				\$75.00	\$75.00
OTTO, SHEILA	ELECTION JUDGE - PRIMARY	101	40300	3190				\$85.50	
PIONEER MANUFACTURING CO	PARKS STRIPER PUMP REBUILD KIT	701	46500	2220		002		\$426.90	\$426.90
PIONEER MANUFACTURING CO	NEW PUMP FOR PARKS STRIPER	701	46500	2220		002		\$1,595.00	\$1,595.00
PIONEER RIM & WHEEL CO.	TEST SWITCH #608	701	46500	2220		002		\$47.32	\$47.32
PLUMBMASTER, INC	REPAIR SUPPLIES CC	220	43800	2240		001		\$2,216.58	\$2,216.58
PLUMBMASTER, INC	REPAIR SUPPLIES CC	220	43800	2240		001		\$89.21	\$89.21
PLUMBMASTER, INC	REPAIR SUPPLIES CC	220	43800	2240		001		\$1,647.96	\$1,647.96
QUICK, ROBERT	ELECTION JUDGE - PRIMARY	101	40300	3190				\$99.75	\$99.75
RAMSEY COUNTY	LAW ENFORCEMENT SERVICES FOR JULY 2016	101	41100	3190		001		\$172,554.80	
REEGSTAD, BARBARA	ELECTION JUDGE - PRIMARY	101	40300	3190				\$78.38	\$78.38
RENGSTORF, SUSAN	ELECTION JUDGE - PRIMARY	101	40300	3190				\$85.50	\$85.50
REYNEN, THOMAS	ELECTION JUDGE - PRIMARY	101	40300	3190				\$85.50	\$85.50
ROYAL CONCRETE PIPE	SLAB AND FLOOR FOR 5632 DUNLAP REPAIR	603	45850	2180		003		\$649.00	\$649.00
SAFE-FAST INC	BRACKETS FOR TRI-POD	602	45550	2282		001		\$374.05	\$374.05
SAMPSON, BRUCE	ELECTION JUDGE - PRIMARY	101	40300	3190				\$85.50	\$85.50
STEPKA, JOE	ELECTION JUDGE - PRIMARY	101	40300	3190				\$102.13	

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	CC	Line Amount	Invoice Amt
YALE MECHANICAL INC	REPAIRS TO CONFERENCE ROOM AC	701	46500	3196		003	\$404.75	\$404.75
YALE MECHANICAL INC	LEAK REPAIR IN POOL PUMP ROOM	220	43800	3810		007	\$376.46	\$376.46
YALE MECHANICAL INC	REPAIRS TO RTU #2	220	43800	3810		003	\$1,596.82	\$1,596.82
YALE MECHANICAL INC	CONTRACT MAINTENANCE FOR HVAC	220	43800	3190		004	\$1,565.25	\$1,565.25
YALE MECHANICAL INC	PIPE REPAIRS POOL AND MECHANICAL ROOM	220	43800	3810		003	\$1,198.69	\$1,198.69
ZACKS INC.	CENTRAL GARAGE SUPPLIES	701	46500	2400			\$950.91	
ZEP MANUFACTURING COMPANY	MECHANIC SHOP FLUIDS	701	46500	2130		001	\$583.68	\$583.68
ZIEGLER, INCORPORATED	SERVICE KIT FOR CAT	701	46500	2220		002	\$65.46	\$65.46
ZIEPER, RUTH	ELECTION JUDGE - PRIMARY	101	40300	3190			\$95.00	\$95.00
Total of all invoices:							\$508,747.79	

COUNCIL REPORT

Vendor Name	Description	FF	GG	OO	AA	CC	Line Amount	Invoice Amt
BOB MICHELS CONSTRUCTION	EROSION RED 3306 QVASSO HTS RES 12-118	101	22030				-51,000.00	-51,000.00
ABREGO, STEPHANIE	RSV# 1332971 REFUND REFUND	220	22040				\$25.00	\$25.00
BOB MICHELS CONSTRUCTION	EROSION RED 3306 QVASSO HTS RES 12-118	101	22030				\$1,000.00	\$1,000.00
BULTHAUS, LEAH	RSV# 1332948 REFUND REFUND	220	22040				\$525.00	\$525.00
CLARK, MARY	SOCIAL MEDIA: HOW TO USE PINTEREST AND I	220	22040				\$15.00	\$15.00
CROUCH, ANGI	RSV# 1332969 REFUND REFUND	220	22040				\$25.00	\$25.00
DERMODY, JAYSA	AQUATICS - LEVEL 2	220	22040				\$80.00	\$80.00
HOA, WILLOW CREEK	RSV# 1328546 REFUND REFUND	220	22040				\$128.55	\$128.55
IBRAHIM, RASHID	RSV# 1332952 REFUND REFUND	220	22040				\$525.00	\$525.00
JONES, ERICA	SIX WEEKLY TUITION	220	22040				\$142.00	\$142.00
KHANG, HANG	RSV# 1332950 REFUND REFUND	220	22040				\$50.00	\$50.00
LOCHER, SARAH	RSV# 1332966 REFUND REFUND	220	22040				\$25.00	\$25.00
MAY, LINDA	SOCIAL MEDIA: HOW TO USE PINTEREST AND I	220	22040				\$15.00	\$15.00
MIDWEST CIVIL CONSTRUCTORS, LLC	PAYMENT #4, C.P. 18-01, 18-02, 16-07	578	47000	5900			\$305,993.62	\$337,338.14
		449	47000	5900			\$28,016.15	
		452	47000	5900			\$3,328.37	
MUTANDA, NZEBA	RSV# 1328913 REFUND REFUND	220	22040				\$1,151.68	\$1,151.68
ONCKEN, JULIE	RSV# 1327568 REFUND REFUND	220	22040				\$74.99	\$74.99
PRAIRIE, JOAN	TAYLOR FALLS SCENIC BOAT TOUR	220	22040				\$60.00	\$60.00
PRESTON, DINA	RSV# 1332957 REFUND REFUND	220	22040				\$25.00	\$25.00
STEWART, LUCY	TENNIS - PEENEES	220	22040				\$48.00	\$48.00
STIEHM, ANDREW	RSV# 1332972 REFUND REFUND	220	22040				\$25.00	\$25.00
STURPE, JULIA	RSV# 1332955 REFUND REFUND	220	22040				\$50.00	\$50.00
SVBRANDT, DONALD	RSV# 1332955 REFUND REFUND	220	22040				\$50.00	\$50.00
WHITE, AMANA	RSV# 1332961 REFUND REFUND	220	22040				\$25.00	\$25.00
WHITE, BRIAN	RSV# 1332974 REFUND REFUND	220	22040				\$25.00	\$25.00

Total of all invoices: \$340,878.56

COUNCIL REPORT

Vendor Name	Description	FF	GG	DD	AA	CC	Line	Amount	Invoice Amt
FUN CHARACTERS	FACEPAINTERS FOR SLICE	270	40250	3190		002		-\$400.00	-\$400.00
ADVANCED ENGINEERING AND	MTP CONTROL SERVICES CP 14-02	454	47000	5910				\$1,960.24	\$1,960.24
ADVANCED ENGINEERING AND	MTP CONSTRUCTION SERVICES CP 14-02	454	47000	5910				\$20,152.82	\$20,152.82
ARC SERVICES INC	REPAIRS TO POOL RAILINGS	220	43800	3810		007		\$580.64	\$580.64
BEISSMENGERS HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		001		\$24.27	\$24.27
BELSON OUTDOORS INC	BENCH FOR MCCULLOUGH PARK	101	43710	2240				\$585.42	\$585.42
C & E HARDWARE	DIE ELECTRIC GREASE	603	45850	2180		002		\$3.49	\$3.49
C & E HARDWARE	HINGE PIN FOR JUVIS85	701	46500	2220		002		\$2.25	\$2.25
COMMISSIONER OF REVENUE- WHTA	WITHHOLDING TAX - PAYDATE 08-19-16	101	21720					\$11,619.26	
COOPER, KYLE W.	SOFTBALL UMPIRE AUGUST 9 & 16	225	43510	3190		001		\$72.00	\$72.00
FIRST STUDENT, INC.	AUGUST 10 FIELD TRIP BUS COST	225	43535	3190		003		\$1,007.60	\$1,007.60
FUN CHARACTERS	FACEPAINTERS FOR SLICE	270	40250	3190		002		\$400.00	
GENESIS EMPLOYEE BENEFITS INC	VEBA CONTRIBUTIONS: 08-19-16	101	20418					\$6,060.00	\$5,060.00
GOPHER	FLAG FOOTBALL - WRIST BANDS	225	43510	2170		018		\$322.22	\$322.22
GOPHER	FLAG FOOTBALLS - GRIP ZONE SIZE 2	225	43510	2170		018		\$174.92	\$174.92
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001		\$19.99	\$19.99
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001		\$19.99	\$19.99
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001		\$19.99	\$19.99
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001		\$23.75	\$23.75
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001		\$23.75	\$23.75
GRANDMA'S BAKERY	COFFEE SERVICE	220	43800	2591		003		\$22.00	\$22.00
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001		\$19.99	\$19.99
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001		\$16.94	\$16.94
HOFMEISTER, DONALD	SOFTBALL UMPIRE AUGUST 9,15,16,18	225	43510	3190		001		\$168.00	\$168.00
ICMA/VANTAGEPOINT TRANSFER-300	EMPLOYEE CONTRIBUTIONS PAYDATE: 08-19-16	101	21750					\$5,137.29	\$5,137.29
INTERNATIONAL CODE COUNCIL, IN	CODE COUNCIL DUES	101	44300	4330				\$135.00	\$135.00
JEWELL, TED W.	SOFTBALL UMPIRE AUGUST 9,11,16,18	225	43510	3190		001		\$168.00	\$168.00
LAKE'S MARKETING GROUP	TC CLIPPER FARMERS' MARKET SEPTEMBER AD	220	43800	2201				\$485.00	\$485.00
LEAGUE OF MN CITIES JMS TRUST	PROPERTY/LIABILITY INS-4TH INSTALLMENT	101	40500	3410				\$12,053.55	\$33,579.50
		101	40800	3410				\$387.75	
		101	41200	3410				\$296.00	
		101	42050	3410				\$215.50	
		101	43450	3410				\$281.00	
		101	43710	3410				\$5,070.00	
		210	42750	3410				\$116.20	
		220	43800	3410				\$2,411.23	
		225	43400	3410				\$323.15	

COUNCIL REPORT

Vendor Name	Description	FF	GG	DD	AA	CC	Line	Amount	Invoice Amt
		230	40900	3410				\$41.72	
		601	45050	3410				\$1,300.84	
		602	45550	3410				\$5,325.34	
		603	45850	3410				\$195.50	
		603	45900	3410				\$272.50	
		604	42800	3410				\$55.97	
		701	46500	3410				\$5,233.25	
MALIKOWSKI, RODNEY P	SOFTBALL UMPIRE AUGUST 11 & 18	225	43510	3190		001		\$96.00	
MCCAREN DESIGNS INC	MONTHLY HORTICULTURE SERVICES	220	43800	3190		007		\$1,196.00	\$1,196.00
MENARDS CASHWAY LUMBER **FRIDL	SHRINK WRAP / LAUNDRY DETERGENT	701	46500	2400		006		\$37.74	\$37.74
MENARDS CASHWAY LUMBER *MAPLEV	NEW MET VAC/SUPPLIES	601	45050	2280		001		\$103.10	\$206.21
		602	45550	2280		001		\$103.11	
MENARDS CASHWAY LUMBER *MAPLEV	TRAIL SUPPLIES	101	42200	2180		001		\$82.36	
MIDVEST LOCK & SAFE INC	REPAIRS TO DOOR LOCKS CL	220	43800	3810		003		\$515.27	\$515.27
MIDVEST LOCK & SAFE INC	REPAIRS TO POOL EXIT ALARM	220	43800	3810		007		\$369.29	\$369.29
MRPA	MARKETING STRATEGY SEMINAR	220	43800	4500				\$248.00	\$248.00
MRPA	MRPA CONFERENCE REG - JB,SS,BS, JR,AJ	101	\$3400	4500				\$1,700.00	\$1,700.00
PUBLIC EMPLOYEES RETIREMENT AS	PERA DEFINED CONTRIBUTION:06-24-16	101	21740					\$251.30	\$251.30
PUBLIC EMPLOYEES RETIREMENT AS	EMPL/EMPLOYER CONTRIBUTIONS- 08-19-16	101	21740					\$31,406.38	\$31,406.38
ROSEVILLE PARK AND RECREATION	CASCADE BAY & WATERPARK OF AMERICA	225	43590	3175		002		\$187.32	\$187.32
SAM'S CLUB DIRECT	SD SNACKS/500 COFFEE	225	\$3590	2174		002		\$26.94	\$175.16
		225	43535	2170		004		\$148.22	
SCORE SPORTS-AMERICAN SOCCER C	SOCCER BALLS,AIR PUMPS,DISC CONE STRAPS	225	43510	2170		007		\$1,844.69	\$1,844.69
SRE CONSULTING GROUP INC	INSPECTION 1694 WATERMAIN RELOCATE 15-10	425	47000	5910				\$1,613.61	
TDS METROCOM	TELEPHONE SERVICES	101	40200	3210		003		\$1,075.25	\$1,361.17
		101	43710	3210				\$250.93	
		601	45050	3210				\$34.94	
TREASURY, DEPARTMENT OF	FEDERAL WITHHOLDING TAX: 08-19-16	101	21710					\$29,143.95	
		101	21730					\$35,911.62	
		101	21735					\$8,398.78	\$73,454.41
USB & ASSOCIATES, INC.	BUCHER LIFE STATION DESIGN CP 15-13	432	47000	5910				\$2,803.25	\$2,803.25
USB & ASSOCIATES, INC.	INSPECTION - WABASSO BEACH	101	22020					\$2,262.00	\$2,262.00
XCEL ENERGY	SURFACE WATER: ELECTRIC	603	45900	3610				\$109.79	\$109.79
XCEL ENERGY	SIRENS: ELECTRIC	101	42050	3190				\$5.48	\$5.48
XCEL ENERGY	COMMUNITY CENTER: ELECTRIC/GAS	220	43800	2140				\$1,586.07	\$26,273.59
		220	43800	3610				\$24,687.52	
XCEL ENERGY	STORM SEWER LIFT STATIONS: ELECTRIC	603	45850	4890		003		\$297.69	
XCEL ENERGY	TRAFFIC SIGNAL SHARED W/ARON HILLS:ELED	101	42200	3610				\$48.42	\$48.42
XCEL ENERGY	WATER TOWERS: ELECTRIC	601	45050	3610				\$54.82	\$54.82
XCEL ENERGY	SLICE OF SHOREVIEW: ELECTRIC	270	40250	3610				\$126.22	\$126.22
XCEL ENERGY	WELLS/WATER TREATMENT PLANT: ELECTRIC/GAS	601	45050	3610				\$6,379.23	\$16,695.28
		604	45050	2140				\$103.80	
		601	45050	3610				\$10,146.29	
		604	45050	2140				\$66.00	
YALE MECHANICAL INC	RPZ TEST AND REPAIR SITZER PARK	101	43710	3810				\$985.62	\$985.62
YALE MECHANICAL INC	RPZ TEST MCCULLOUGH PARK	101	43710	3810				\$613.30	\$613.30
YALE MECHANICAL INC	RPZ TESTING HIGHWAY 96	101	43710	3810				\$381.25	\$381.25
YALE MECHANICAL INC	RPZ TESTING COMMONS PARK	101	43710	3810				\$270.25	\$270.25
YALE MECHANICAL INC	RPZ TESTING BUCHER PARK	101	43710	3810				\$159.25	\$159.25
YALE MECHANICAL INC	RPZ TESTING RICE CREEK FIELDS	101	43710	3810				\$159.25	\$159.25
YALE MECHANICAL INC	RPZ TESTING SHAMROCK PARK	101	43710	3810				\$159.25	\$159.25

COUNCIL REPORT

Vendor Name	Description	FF	GC	DD	AA	CC	Line Amount	Invoice Amt
YALE MECHANICAL INC	RP TESTING THEISEN PARK	101	43710	3810			\$159,25	\$159,25
Total of all invoices:								<u>\$249,153,83</u>

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	CC	Line Amount	Invoice Amt
ADVANCED COATING SYSTEMS	MONUMENT SIGN WORK	401	43710	3190			\$3,000.00	
BALLER, YVONNE	REFUND CLOSING OVRPYMT-5931 ALAMEDA ST	601	36190			003	\$27.45	
BEISSWENGER'S HARDWARE	REPAIR SUPPLIES CC	220	43800	2240		001	\$14.88	\$14.88
C & E HARDWARE	PAINT BRUSHES	601	45050	2280		005	\$2.98	\$2.98
CHIRINDO, KUNDAL	REFUND CLOSING OVRPYMT-4241 SYLVIA LN N	601	36190			003	\$81.40	\$81.40
CULLIGAN	IRON FILTER RENTAL SERVICE POOL	220	43800	3190		007	\$88.00	\$88.00
DYNAMEX INC	DELIVERY TO EAGAN POST OFFICE - 7/29/16	601	45050	3220		001	\$27.50	\$55.00
		602	45550	3220		001	\$27.50	
FINE, JEFFREY	PHOTO CONTEST WINNER	101	40400	4890		001	\$100.00	
GENESIS EMPLOYEE BENEFITS INC	FLEX - MED/DEPENDENT CARE 8-12-16	101	20431				\$219.62	\$382.12
		101	20432				\$162.50	
GENESIS EMPLOYEE BENEFITS INC	FLEX - MED/DEPENDENT CARE 08-05-16	101	20431				\$658.70	
HAWKINS, INC	CHLORINE, SODIUM HYDROXIDE	220	43800	2160		001	\$954.36	\$954.36
HEALTHY CONTRIBUTIONS	FITNESS INCENTIVE PROCESSING FEES	220	43800	3190		003	\$5.75	\$5.75
HEINZE, MIKE AND JESSICA	PHOTO CONTEST WINNER	101	40400	4890		001	\$100.00	\$100.00
HOLMQUIST, DAVID	REFUND CLOSING OVRPYMT-5677 BEER TRAIL E	601	36190			003	\$10.45	\$10.45
JEFF ELLIS & ASSOCIATES, INC	AUGUST AUDIT	220	43800	3190		007	\$850.00	\$850.00
KAUFMAN SIGN COMPANY	MONUMENT SIGN RELOCATION	401	43710	3190			\$2,389.00	\$2,389.00
MATHESON TRI-GAS INC	CO2	220	43800	2160		002	\$106.91	\$106.91
MATHESON TRI-GAS INC	CO2	220	43800	2160		002	\$106.91	\$106.91
MELTON, GAYE	REFUND CLOSING OVRPYMT-788 LAKE VIEW DR	601	36190			003	\$95.49	\$95.49
MOFJELD, NORMAN	REFUND CLOSING OVRPYMT-904 LAMNVIEW AVE	601	36190			003	\$30.72	\$30.72
ORKIN EXTERMINATING CO INC.	PEST CONTROL CC AND CITY HALL	220	43800	3190		004	\$171.93	\$171.93
PLUG'N PAY TECHNOLOGIES INC.	JUL/METAIL/CC FEES 2016	220	43800	4890		002	\$129.75	\$316.72
		225	43400	4890			\$186.97	
PLUG'N PAY TECHNOLOGIES INC.	JULY/ECOMM/CC FEES 2016	220	43800	4890		002	\$4.41	
		225	43400	4890			\$21.09	\$25.50
PLUMMER, JOEY	REFUND CLOSING OVRPYMT-401 MAJESTIC CT	601	36190			003	\$75.00	\$75.00
POSTMASTER	DEPOSIT IN PERMIT IMPRINT 5606-SHOKEVIEW	602	45550	3220		001	\$490.00	\$980.00
		601	45050	3220		001	\$490.00	
PRIVUP, ROBERT J	REFUND CLOSING OVRPYMT-640 RANDY AVE	601	36190			003	\$18.56	
RING, RYAN OR HAILEY PUZEL	REFUND CLOSING OVRPYMT-173 WENDY COURT	601	36190			003	\$113.52	\$113.52
STRAKA, BOB	PHOTO CONTEST WINNER	101	40400	4890		001	\$450.00	\$450.00
TAATJES, SHERRILL	REFUND CLOSING OVRPYMT-4435 CHATSWORTH	601	36190			003	\$117.88	\$117.88
TIVOLITOO, INC	LILY PAD TURTLE FULL REPAIR	220	43800	2200		004	\$980.00	\$980.00
TIVOLITOO, INC	GLASS BOTTOM BOAT STRUCTURAL REPAIR	405	43800	5300			\$700.00	\$700.00
U S BANK CREDIT CARD FEES	JULY 2016 CREDIT CARD FEES	220	43300	4890		002	\$3,388.27	\$8,712.32
		225	43400	4890			\$5,324.11	

Total of all invoices: \$21,721.61

COUNCIL REPORT

Vendor Name	Description	FF	GG	DD	AA	YY	Line	Amount	Invoice Amt
TO, OOD LAKES BUILD MEMBERSHIP	SUMMER CONFERENCE, NELSON	101	44300	4500				\$130.00	\$130.00
A & L SUPERIOR SOD, INC	SOD FOR 694	601	45050	2280		002		\$24.00	
AMAZON.COM	USB EXTENSION CABLE	101	40550	2010		001		\$5.79	\$5.79
AMAZON.COM	MONITORS FOR TERESA	422	40550	5800		011		\$279.98	\$279.98
AMAZON.COM	SUMMER DISCOVERY ENRICHMENT/PLANO BOOKS	225	43535	2170		001		\$31.95	\$31.95
AMAZON.COM	AUDIO CABLES	225	43530	2170		003		\$14.06	\$14.06
AMAZON.COM	BRASS HANDLE FOR DRACK BLOWER	701	46500	2220		002		\$127.38	\$127.38
AMAZON.COM	MICROPHONE STAND FOR PUPPET WAGON	225	43590	2175		001		\$39.89	\$39.89
AMAZON.COM	MICROPHONE FOR PUPPET WAGON	225	43590	2175		001		\$80.00	\$80.00
ANEM	ANEM FALL CONFERENCE: GURLEY	101	42050	4500		004		\$150.00	\$150.00
APVA.COM	APVA REGISTRATIONS	101	42050	4500		002		\$2,389.00	\$2,749.00
		601	45050	4500		003		\$180.00	
		603	45850	4500		003		\$180.00	
APVA.COM	APVA REGISTRATIONS	603	45850	4500		002		\$45.00	
		602	45550	4500		003		\$135.00	
		602	45550	4500		002		\$45.00	\$225.00
APVA.COM	APVA REGISTRATIONS	101	42200	4500		003		\$225.00	
ARBORETUM ONLINE STORE	CLEAN WATER SUMMIT: MALONEY	601	45050	4500		002		\$80.00	\$80.00
ARC SERVICES INC	SHELF FOR PAVILION SOUND SYSTEM	101	43710	2240				\$1,001.20	\$1,001.20
BEISWENGER'S HARDWARE	REPAIR SUPPLIES ET	220	43800	2240		001		\$21.47	\$21.47
BEST WESTERN PLUS	DOCK DOGS HOTEL FEE	270	40250	3190		002		\$303.96	\$303.96
BOYD, JODY	RSV# 1326265 REFUND REFUND	220	22040					\$500.00	\$500.00
C & E HARDWARE	CHICKEN WIRE FOR PONDS	603	45850	2180		002		\$15.99	\$15.99
C & E HARDWARE	DUCT TAPE FOR SEAL COAT	101	42200	2180		004		\$32.97	\$32.97
C & E HARDWARE	TAPE FOR TRAIL SEAL COATING	101	43450	2250		001		\$55.94	\$55.94
C & E HARDWARE	BUG REPELLANT	101	42200	2180		001		\$15.98	\$15.98
CITY OF APPLE VALLEY	SUMMER DISCOVERY FIELD TRIP	225	43535	3190		001		\$1,674.50	\$1,674.50
DKC GOOD FOOD	SUMMER DISCOVERY LUNCH WK 3/1-5	225	43535	3190		002		\$1,343.55	\$1,343.55
COMCAST.COM	MODEM 2 INTERNET CHARGES	230	40900	3190		002		\$139.85	\$139.85
COMCAST.COM	COMPLEX STAFF INTERNET SERVICES	230	40900	3190				\$139.85	\$139.85
COMCAST.COM	COMPLEX STAFF INTERNET SERVICES	230	40900	3190		002		\$139.85	\$139.85
CUMMINS NPOWER LLC	REPAIRS TO GENERATOR	220	43800	3810		001		\$595.70	\$595.70
DAVANNI'S	ADVENTURE QUEST CARNIVAL STAFF LUNCH	225	43590	2175		001		\$60.61	\$60.61
DAVIS, JOCELYN	RSV# 1326295 REFUND REFUND	220	22040					\$25.00	\$25.00
DION, MATTHEW	RSV# 1326271 REFUND REFUND	220	22040					\$50.00	\$50.00
DRY REG NOW INC	ADVANCED PDF SOFTWARE FOR STAFF/LESS TAX	101	40550	2180		005		\$321.35	\$299.98
		101	40550	2180		005		-\$21.37	
EXTENDED DAY, ST. AMBROSE	CREDIT BALANCE REFUND REFUND	220	22040					\$50.40	\$50.40
GAS PLUS INC.	PREMIUM FUEL	701	46500	2120		003		\$80.20	
GAS PLUS INC.	PREMIUM FUEL	701	46500	2120		001		\$108.19	\$108.19
GOODPOINTE TECHNOLOGY INC	ROAD CONDITION SURVEY	404	42200	3190				\$2,464.80	\$2,464.80
GOT PRINT.COM	BANQUET ROOM FOLDERS	220	43800	2201				\$663.37	\$663.37
GRUNDTNER, TROY	EROSION RED 1039 GLEN PAUL CT RES 16-68	101	22030					\$1,000.00	\$1,000.00
GTS EDUCATIONAL EVENTS	BEYOND BASICS PLAN/ZONING: K.PETERSON	101	40100	4500				\$150.00	\$150.00
GUETZKOW, ASHLEY	RSV# 1326269 REFUND REFUND	220	22040					\$500.00	\$500.00
HAYNES, JASMINE	RSV# 1326292 REFUND REFUND	220	22040					\$25.00	\$25.00
HOME DEPOT, THE	PUPPET WAGON SUPPLIES	225	43590	2175		001		\$28.86	\$28.86
HOOZE 4X4 INC.	HUBS PART	701	46500	2220		003		\$249.78	\$249.78
IMAGINE PUBLISHING.COM	WEB DESIGNER MAGAZINE SUBSCRIPTION	101	40550	4330		004		\$101.56	\$101.56
JENSEN, JEFF	EROSION REDUCT 4545 HODGSON RD RES 16-68	101	22030					\$500.00	\$500.00
LEISER, DAVID W.	HOUNDS VIEW MUSTANG BASKETBALL CAMPS	225	43510	3190		012		\$8,392.00	\$8,392.00

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Vendor Name	Description	FF	56	00	AA	00	Line Amount	Invoice Amt
MENARDS CASHWAY LUMBER MAPLE	SEALCOAT SUPPLIES	101	42200	2180		004	\$121.58	\$121.58
MIA INVESTMENTS/EBAY.COM/HIGH	MONITOR FOR PARKS FRONT DESK AREA	101	40550	2180		001	\$406.59	\$579.99
		101	40550	2180		001	-\$26.60	
MICHAELS - ARTS AND CRAFTS	SLICE OF SHOREVIEW CHALK PAINT	270	40250	2180		003	\$29.94	
MINNESOTA DEPT LABOR AND INDUS	BUILDING SURCHARGE REPORT, JULY 2016	101	20802				\$2,042.95	\$2,002.09
		101	34060				-\$40.86	
MINNESOTA GFOA.COM	INVESTING ECONOMIC OUTLOOK: MALONEY, D	101	40500	4500		003	\$50.00	\$50.00
MINNESOTA GFOA.COM	MONTHLY MEETING: FALK, R.	101	40500	4500		003	\$25.00	\$25.00
MINNESOTA GFOA.COM	MONTHLY MEETING: ESPE	101	40500	4500		003	\$25.00	\$25.00
MINNESOTA GFOA.COM	MN GFOA ANNUAL CONFERENCE: ESPE	101	40500	4500		005	\$225.00	\$225.00
MINNESOTA GFOA.COM	GFOA CONFERENCE: MALONEY	101	40500	4500		005	\$225.00	\$225.00
MINNESOTA GFOA.COM	GFOA CONFERENCE: FALK	101	40500	4500		005	\$225.00	\$225.00
MINNESOTA REVENUE	ID #L2115656256	101	20435				\$55.37	\$55.37
MISSION CONSTRUCTION INC	EROS, LAND, CERT 625 CO RD E RES 16-68	101	22030				\$1,000.00	\$5,000.00
		101	22025				\$2,000.00	
		101	22020				\$2,000.00	
MUNICIPAL BUILDERS INC	MTR CONSTRUCTION PROJ # 14-02	454	47000	5900			\$157,839.65	\$157,839.65
MUNICIPAL BUILDERS INC	MTR CONSTRUCTION PROJ # 14-02	454	47000	5900			\$2,479.76	\$2,479.76
NATIONAL CAMERA EXCHANGE	AQA PHOTO DEVELOPING	225	43590	2175		001	\$36.06	\$36.06
NATIONAL STUDENT CLEARING HOU	DEGREE VERIFICATION	101	40210	4890		006	\$13.50	\$13.50
NATIONAL STUDENT CLEARING HOU	DEGREE VERIFICATION	101	40210	4890		006	\$12.50	\$12.50
NORTHSTAR CHAPTER APA	PAYROLL CONFERENCE: HARVEY, K	101	40500	4500		001	\$250.00	\$250.00
ORIENTAL TRADING COMPANY	PRESCHOOL SUPPLIES	225	43555	2170			\$45.87	\$45.87
PANINO'S	EDA SUPPLIES	240	44400	2180		001	\$144.26	\$144.26
PUBLIC EMPLOYEES RETIREMENT AS	PERA DEFINED CONTRIBUTION: 05-27-16	101	21740				\$251.30	
RAMSEY COUNTY TREASURER	LIFE INSURANCE: AUGUST 2016	101	20414				\$2,743.51	\$2,951.51
		101	20417				\$210.00	
REDSTONE CONSTRUCTION LLC	PROJECT 15-01675-03 FINAL PAYMENT	577	47000	5900			\$10,105.11	\$10,105.11
REHBEIN'S BLACK DIRT	BLACK DIRT 694	604	45050	2280		002	\$84.00	
REHBEIN'S BLACK DIRT	BLACK DIRT WELL 6	604	45050	2280		005	\$144.00	\$166.00
RICE-PARDQ, DEIDRE	RSV# 1326280 REFUND REFUND	220	22040				\$25.00	\$25.00
RICOH USA, INC.	LEASE: MFC3003 C84066191/8-23 TO 9-22-16	101	40200	5930		002	\$273.62	\$273.62
RITTER, VICKY	RSV# 1326302 REFUND REFUND	220	22040				\$25.00	\$25.00
SAFE FOOD TRAINING.COM	FOOD SAFETY CERTIFICATION: JOHNSON/QVALE	220	43800	4500			\$240.00	\$240.00
SAM'S CLUB DIRECT	PRESCHOOL SUPPLIES/SD SUPPLIES	225	43555	2170			\$65.04	\$141.45
		225	43555	2170		002	\$76.11	
SHERMAN, RESA	RSV# 1326283 REFUND REFUND	220	22040				\$25.00	\$25.00
STROMGREN, ADAM	RSV# 1326276 REFUND REFUND	220	22040				\$25.00	\$25.00
SMILESSONUNIVERSITY.COM	AUTISM DISORDER TRAINING SUPPLIES	225	43520	2170		003	\$70.99	\$70.99
TARGET STORE	SUMMER DISCOVERY SUPPLIES	225	43535	2170		001	\$103.33	\$103.33
TARGET STORE	ADVENTURE QUEST SUPPLIES	225	43590	2175		001	\$28.42	\$28.42
TARGET STORE	AQ ACADEMY SUPPLIES (CAMERA)	225	43590	2175		002	\$97.93	\$97.93
TARGET STORE	FARMERS MARKET/BINGO SUPPLIES	225	43590	2174		001	\$37.94	\$87.40
		225	43590	2174		002	\$49.46	
TRANSACTION TECHNOLOGIES, INC.	USB MODULE FOR ITHACA 610 RECEIPT PRINTE	101	40550	2010		001	\$108.17	
TRI TECH DISPENSING	REPAIRS TO WAVE ICE MACHINE	220	43800	3810		005	\$282.66	\$282.66
UNIVERSITY OF MINNESOTA-VISUAL	SIGN MAINTENANCE TRAINING: YANG, N	101	42050	4500		007	\$65.00	\$65.00
UPPER CUT TREE SERVICES INC	MO 16-21, 16-27, 16-28	101	43900	3190		002	\$108.00	\$2,224.00
		101	43900	3190		002	\$1,216.00	
		101	43900	3190		002	\$900.00	
UPPER CUT TREE SERVICES INC	MO 16-28, 16-32, 16-33, 16-36	101	43900	3190		002	\$72.00	

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Vendor Name	Description	FF	GG	DD	AA	CC	Line Amount	Invoice amt
		101	43900	3190		002	\$306.00	
		101	43900	3190		002	\$1,288.00	\$2,626.00
		101	43900	3190		002	\$960.00	
URBAN LAND INSTITUTE	BUILDING FOUNDATION: CASTLE	101	44100	4500			\$300.00	\$300.00
VALLEYFAIR	VALLEYFAIR TRIP	225	43590	3175		002	\$1,464.72	\$1,464.72
VANG, PAJ	RSV# 1326274 REFUND REFUND	220	22040				\$100.00	\$100.00
VILLELLA, CRISTINA	RSV# 1326259 REFUND REFUND	220	22040				\$600.00	\$600.00
WALGREENS	AGA PHOTO DEVELOPING	225	43590	2175		001	\$41.56	\$41.56
WALMART	PUPPET WAGON SUPPLIES	225	43590	2175		001	\$35.80	\$35.80
WALMART	PUPPET WAGON SUPPLIES	225	43590	2175		001	\$66.89	\$66.89
XCEL ENERGY	STREET LIGHTS: ELECTRIC	804	42600	3810			\$12,667.99	\$12,667.99
Total of all invoices:								\$229,341.73

COUNCIL REPORT

Vendor Name	Description	FF	GG	OO	AA	CC	Line	Amount	Invoice Amt
ANCHOR PAPER COMPANY	COPY PAPER LESS DISCOUNT \$7.40	101	40200	2010			001	\$732.60	\$732.60
ANCOM COMMUNICATIONS INC	TWO WAY RADIO SUPPLIES / REPLACEMENT	220	43800	2180			002	\$191.85	\$191.85
CANTEEN	COFFEE SUPPLIES	220	43800	2590			001	\$144.00	\$360.00
		101	40800	2180				\$216.00	
CKC GOOD FOOD	SUMMER DISCOVERY LUNCH WK 8/8-12	225	43535	3190			002	\$1,274.29	
COCA COLA REFRESHMENTS	WAVE CAFE BEVERAGE FOR RESALE	220	43800	2590			001	\$658.44	\$658.44
COMMUNITY HEALTH CHARITIES - M	EMPLOYEE CONTRIBUTIONS: 08-19-16	101	20420					\$156.50	\$156.50
GREAT LAKES HIGHER ED GUARANTY	61-3073149/EDELSTEIN	101	20435					\$251.04	\$251.04
HEGGIE'S PIZZA LLC	WAVE CAFE FOOD FOR RESALE	220	43800	2590			001	\$375.10	\$375.10
ICMA/VANTAGEPOINT TRANSFER-705	ROTH CONTRIBUTIONS PAYDATE: 8-19-16	101	20430					\$1,165.00	\$1,165.00
MINNESOTA CHILD SUPPORT PAYMEN	PAYDATE: 08-19-16	101	20435					\$269.11	\$269.11
MINNESOTA ENVIRONMENTAL FUND	EMPLOYEE DEDUCTIONS: 08-19-16	101	20420					\$36.00	\$36.00
MINTERWEISMAN CO DBA CORE-MARK	WAVE CAFE FOOD FOR RESALE	220	43800	2590			001	\$486.73	\$486.73
MINTERWEISMAN CO DBA CORE-MARK	WAVE CAFE FOOD FOR RESALE	220	43800	2590			001	\$433.12	\$433.12
NORTHWEST ASPHALT INC.	PAYMENT #1, GRANSIE RD PROJ # 16-05	460	47000	5900				\$354,714.64	\$354,714.64
PEARSON BROS INC	RMT 1 SEAL COAT PROJECT 16-04	404	42200	3190				\$226,032.07	\$226,032.07
PUBLIC EMPLOYEES RETIREMENT AS	PERA DEFINED CONTRIBUTION: 08-19-16	101	21740					\$251.30	\$251.30
SAINTS NORTH FAMILY SKATE CENT	SUMMER DISCOVERY FIELD TRIP	225	43535	3190			001	\$652.00	\$652.00
UNITED WAY - GREATER TWIN CITE	EMPLOYEE CONTRIBUTIONS: 08-19-16	101	20420					\$58.00	
UNLIMITED SUPPLIES INC	REPAIR SUPPLIES CC	220	43800	2240			001	\$108.94	\$108.94
UPPER CUT TREE SERVICES INC	WD 16-35 BLVD DISEASED LARGE ELM	101	43900	3190			002	\$2,840.00	\$2,840.00
WATSON COMPANY	WAVE CAFE FOOD FOR RESALE	220	43800	2590			001	\$724.56	\$724.56
WATSON COMPANY	WAVE CAFE FOOD FOR RESALE	220	43800	2590			003	\$91.72	\$366.88
		101	40800	2180				\$275.16	
WATSON COMPANY	WAVE CAFE FOOD FOR RESALE	220	43800	2590			001	\$953.20	
WATSON COMPANY	WAVE CAFE FOOD FOR RESALE	220	43800	2590			001	\$123.00	\$123.00
XCEL ENERGY	BOOSTER STATION, ELECTRIC	601	45050	3610				\$220.84	\$220.84
XCEL ENERGY	SIREN METER 19231847, ELECTRIC	101	42050	3190				\$16.12	\$16.12
Total of all invoices:								\$593,431.33	

COUNCIL REPORT

Vendor Name	Description	FF	GG	OO	AA	CC	Line Amount	Invoice AMT
MELVIN, TESSIA	EXPENSES FOR HRC DIALOGUE	101	40100	4890		002	-\$42.66	-\$42.66
4IMPRINT	PRESCHOOL SCHOOL BAGS	225	43555	2170			\$209.65	\$209.65
ALDEN POOL & MUNICIPAL SUPPLY	MEDIA REPLACEMENT LIFT STATIONS	602	45550	2282		001	\$1,103.00	\$1,103.00
ALLEN, DEANNE	PLANNING-JULY, AUG, CC-AUG MTG, WORKSHOP	101	40200	3190		001	\$200.00	\$700.00
		101	40200	3190		001	\$200.00	
		101	44100	3190			\$150.00	
		101	44100	3190			\$150.00	
BACHMAN'S	SHRUB PLANTING FOR MERCURY DR RESTORATION	450	47000	5950			\$682.57	
BARNES, KIRSTIN	TIP ESCROW TO EAGLE RIDGE/SHOREVIEW RIDG	240	44400	3190			\$3,040.00	\$4,227.50
		307	44100	4890			\$570.00	
		408	44100	4890			\$237.50	
		101	22020				\$380.00	
BATTERIES PLUS	LIGHTS FOR ENTRY WAY SHOP	701	46500	2183		001	\$13.98	\$13.98
BETSMENGENERS HARDWARE	OFFICE SUPPLIES	101	42050	2010			\$6.67	
BRAUN INTERTEC CORPORATION	WTP CONSTRUCTION TESTING CP 14-02	454	47000	5910			\$251.50	\$251.50
C & E HARDWARE	SUPPLIES TO SECURE SIGN	701	46500	2400		002	\$16.98	\$16.98
CANTEEN	COFFEE SUPPLIES	220	43800	2590		001	\$447.86	\$560.86
		101	40800	2180			\$113.00	
CANVAS SOLUTIONS, INC.	MAINTENANCE PARKS/34958993/591252228	101	43710	3190			\$312.00	
CKC GOOD FOOD	SD LUNCH WEEK 8, 15-19	225	43535	3190		002	\$1,281.22	\$1,281.22
CKI LOCKER	POOL LOCKER ROOM REPAIR SUPPLIES	220	43800	2240		003	\$3,860.00	
DAVE'S SPORT SHOP	FLAG FOOTBALL BLOCKER SHIELDS & BAGS	225	43510	2170		018	\$850.00	\$850.00
DELANG, DANIEL	SD DANCE OFF DVDS	225	43535	2170		002	\$520.00	\$520.00
DELTA DENTAL	DENTAL COVERAGE: SEPT 2016	101	20415				\$6,801.20	\$7,131.50
		101	20411				\$330.30	
FIRST STUDENT, INC.	AUGUST 17 FIELD TRIP BUS COST	225	43535	3190		003	\$825.00	
GENESIS EMPLOYEE BENEFITS INC	FLEX - MED/DEPENDENT CARE 08-26-16	101	20431				\$66.23	\$228.73
		101	20432				\$162.50	
GOPHER	FIRST AID KITS, COACH WHISTLES, LANYARDS	225	43510	2170		007	\$1,031.89	\$1,031.89
GOPHER	FLAG FOOTBALL REFEREE SHIRTS	225	43510	2170		018	\$74.76	
GRANDMA'S BAKERY	OFFICE SUPPLIES	101	42050	2010			\$64.50	\$84.50
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001	\$23.75	\$23.75
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001	\$23.75	\$23.75
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001	\$19.99	\$19.99
GRANDMA'S BAKERY	BIRTHDAY CAKES	220	43800	2591		001	\$19.99	\$19.99
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$17.86	\$17.86
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$16.94	\$16.94
GRANDMA'S BAKERY	WAVE CAFE FOOD FOR RESALE	220	43800	2590		001	\$16.94	\$16.94
HORIZON COMMERCIAL POOL SUPPLY	REPAIR OF BOAT SLIDE	220	43800	2200		003	\$42.95	\$42.95
HORIZON COMMERCIAL POOL SUPPLY	POOL CHEMICALS	220	43800	2160		001	\$105.67	\$105.67
HORIZON COMMERCIAL POOL SUPPLY	WHIRL POOL FILTER CLEANER	220	43800	2160		001	\$381.30	\$381.30
HORIZON COMMERCIAL POOL SUPPLY	WHIRL POOL MOSS-6 MONTHS	220	43800	2160		003	\$624.90	\$624.90
HORIZON COMMERCIAL POOL SUPPLY	MOSS SUPPLY MAIN POOL- 6 MONTHS	220	43800	2160		003	\$2,915.82	\$2,915.82

COUNCIL REPORT

Vendor Name	Description	FF	GG	OO	AA	CL	Line Amount	Invoice Amt
JEFF SMITH LLC	SUMMER B TAE KWON DO PAYMENT	225	43530	3190			\$1,047.15	\$1,047.15
LAWRENCE SIGN	HALF DOWN PAYMENT FOR MONUMENT SIGN PROJ	401	43710	3190			\$29,403.00	\$29,403.00
MATHESON TRI-GAS INC	CO2 FOR WHIRL POOL	220	43800	2160		002	\$106.91	\$106.91
MEDICA	HEALTH INSURANCE: SEPT 2016	101	20410				\$68,709.49	\$68,709.49
MELVIN, TESSIA	EXPENSES FOR HRG DIALOGUE	101	40100	4890		002	\$42.66	\$42.66
MENARDS CASHWAY LUMBER **FRIDL	SPOTLIGHTS FOR SEWER	602	45550	2260		001	\$119.61	\$119.61
MEYER, JAMIE	SUMMER CLASS REIMBURSEMENT	601	45050	4500		003	\$584.10	\$1,168.20
		602	45550	4500		003	\$584.10	
MINNESOTA METRO NORTH TOURISM	JULY 2016 HOTEL/MOTEL TAX	101	22079				\$23,052.71	\$21,900.07
		101	38420				-\$1,152.64	
MINNESOTA PREMIER PUBLICATIONS	MN GOOD AGE 1/4 PG AD 30 DAYS \$35	220	43800	2201			\$644.00	\$644.00
MINNESOTA PREMIER PUBLICATIONS	MN PARENT JULY W.PARK WEB/PRINT LISTING	220	43800	2201			\$199.00	\$199.00
MINNESOTA PREMIER PUBLICATIONS	MN PARENT AUGUST W. PARK PARTY LISTING	220	43800	2201			\$298.00	\$298.00
NEPERS MINNESOTA	PERA LIFE INSURANCE: SEPT 2016	101	20413				\$208.00	\$208.00
NEOFUNDS BY NEOPOST	POSTAGE/INVOICE 289172 & 11273104	101	40200	3220			\$6,026.90	\$6,026.90
NORTHERN TOOL/BLUE TARP FINANC	MOTOR FOR SEAL COAT TANK	405	43450	5300			\$879.99	\$879.99
NORTHLAND CAPITAL FINANCIAL SE	FITNESS EQUIPMENT LEASE-AUGUSTER 2016	220	43800	3960		005	\$1,388.62	\$1,388.62
OLSON, REBECCA	MEALS FOR PRIMARY ELECTION WORKERS	101	40300	2180			\$50.55	
OUVERSON SEWER & WATER	LINING OF SEWER LINE 3575 OWASSO ST	602	45550	3190		002	\$3,693.00	\$3,693.00
PARTY UNIT	HALLOWEEN SPOOKTACULAR - DJ	225	43580	3172		001	\$350.00	\$350.00
PRESS PUBLICATIONS	SLICE OF SHOREVIEW GUIDE AD JULY 2016	220	43800	2201			\$389.00	\$389.00
RAMSEY COUNTY PROPERTY RECORDS	TIF DIST #5/TIF RETURNED TO COUNTY	416	44100	4890			\$401,165.41	\$401,165.41
RICOH USA INC.	MAINTENANCE: MFC6502SP/8-21 TO 11-20-16	101	40200	3850		002	\$2,639.30	\$2,639.30
RICOH USA INC.	RICOH 8210N PRINTER/8-28 TO 11-27-16	101	40450	3660		004	\$67.08	\$67.08
RICOH USA INC.	MAINTENANCE:235283003 COPIES/7-23/8-22	101	40200	3850		002	\$399.35	\$399.35
SAM'S CLUB DIRECT	ANNUAL ADMINISTRATIVE SERVICE FEE	225	43400	4330			\$18.75	\$50.00
		101	40500	4330		008	\$6.25	
		220	43800	4330			\$12.50	
		101	40200	4330		008	\$6.25	
		701	46500	4330		001	\$6.25	
SAM'S CLUB DIRECT	MEMBERSHIP FEE RENEWAL 2016 --\$30 CREDIT	225	43400	4330			\$45.00	
		101	40500	4330		008	\$45.00	
		220	43800	4330			\$30.00	
		101	40200	4330		008	\$15.00	
		701	46500	4330		001	\$15.00	\$150.00
SPRINT	BILLING PERIOD 7/15/16 - 8/14/16	101	40200	3210		002	\$32.55	\$32.55
STANTEC CONSULTING SERVICES IN	WATER HEATER REPLACEMENT PROJECT	405	43800	3810			\$83.01	
THE KNOT	THE KNOT STOREFRONT 8/29-9/19/16	220	43800	2201			\$143.48	\$143.48
VERIZON WIRELESS	BILLING 7/11/16 - 8/10/16	601	45050	4330			\$25.00	\$1,089.07
		101	42050	2010			\$35.00	
		602	45550	3190			\$36.20	
		601	45050	3190			\$437.19	
		101	40200	3210		002	\$555.68	
WIMACTEL INC.	PAYPHONE TELEPHONE	101	40200	3210		001	\$60.00	\$60.00
XCEL ENERGY	LIFT STATIONS: ELECTRIC	602	45550	3610			\$708.12	\$708.12
XCEL ENERGY	PARKS: ELECTRIC/GAS	101	43710	3610			\$1,301.12	\$1,532.12
		101	43710	2140			\$231.00	

(000) OF ALL INVOICES: \$573,003.45

COUNCIL REPORT

Vendor Name	Description	FF	GG	00	AA	CC	Line Amount	Invoice Amt
BLACK, MARTESS	RSV# 1338323 REFUND REFUND	220	22040				\$25.00	\$25.00
BREVER, BONNIE	RSV# 1338291 REFUND REFUND	220	22040				\$500.00	\$500.00
EAKMAN, TERESA	RSV# 1338310 REFUND REFUND	220	22040				\$25.00	\$25.00
HANSEN, JACKIE	RSV# 1338296 REFUND REFUND	220	22040				\$25.00	\$25.00
JOHNSTON, SARA	RSV# 1338299 REFUND REFUND	220	22040				\$25.00	\$25.00
KASIGA, EMMA	RSV# 1338327 REFUND REFUND	220	22040				\$50.00	\$50.00
KOZLOWSKI, FRAN	PT WANDA 6 SESSIONS	220	22040				\$326.00	\$326.00
LEDEZMA, LUPE	FALL SOCCER LEAGUE (GRADES 1&2)	220	22040				\$90.00	\$90.00
LINDE, HANANIAH	RSV# 1338293 REFUND REFUND	220	22040				\$500.00	\$500.00
LINDE, HANANIAH	RSV# 1338294 REFUND REFUND	220	22040				\$25.00	\$25.00
MADISON, SHANNON	RSV# 1338297 REFUND REFUND	220	22040				\$25.00	\$25.00
MARKO, ZACHARY	RSV# 1338322 REFUND REFUND	220	22040				\$25.00	\$25.00
OLESON, SHERRY	CREDIT BALANCE REFUND REFUND	220	22040				\$120.00	\$120.00
OLSON, CHRISTY	RSV# 1338315 REFUND REFUND	220	22040				\$25.00	\$25.00
SAFT, ABMAHAN	RSV# 1338321 REFUND REFUND	220	22040				\$25.00	\$25.00
SINGH, ARVINDER	MANTA RAY	220	22040				\$9.00	\$9.00
STAGEBERG, SARAH	RSV# 1338289 REFUND REFUND	220	22040				\$500.00	\$500.00
STEINBACH, ANDREW	FLAG FOOTBALL LEAGUE (GRADES 1&2)	220	22040				\$20.00	\$20.00
TAYLOR, EMILY	RSV# 1338312 REFUND REFUND	220	22040				\$25.00	\$25.00
WEIGEL, MIKE	RSV# 1338845 REFUND REFUND	220	22040				\$50.00	\$50.00
WHITEHEAD, ANNA	RSV# 1338326 REFUND REFUND	220	22040				\$25.00	\$25.00
Total of all invoices:							\$2,040.00	\$2,040.00

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,286
Vendor number	20309 1 2016
Vendor name	LAWRENCE SIGN ✓
Address	945 PIERCE BUTLER ROUTE ✓ ST. PAUL, MN 55104

Date	Comment line on check	Invoice number	Amount
08-19-16 ✓	HALF DOWN PAYMENT FOR MONUMENT SIGN PROJ	08-23-16 17289	\$29,403.00 ✓

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

[] Purchase was made through the state's cooperative purchasing venture.

[X] Purchase was made through another source. The state's cooperative purchasing venture was considered.

[] Cooperative purchasing venture consideration requirement does not apply.

Return to: _____

Account Coding	Amount
401 43710 3190	\$29,403.00

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$

Reviewed by: Amy Truhlar
 (signature required) Amy Truhlar

Approved by: Terry Schwerm
 (signature required) Terry Schwerm

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,117	Council approved March 7, 2016
Vendor number	00239 1	2016
Vendor name	FLEXIBLE PIPE TOOL COMPANY	
Address	30577 PEARL DRIVE ST JOSEPH, MN 56374	

Date	Comment line on check	Invoice number	Amount
08-16-16 /	CAMERA EQUIPMENT TRUCK MOUNTED UNIT 308	20298	\$196,921.00

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Account Coding	Amount
701 46500 5800	\$196,921.00

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by: (signature required) <u>Dan Curley</u>	
Approved by: (signature required) <u>Terry Schwerm</u>	

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,414
Vendor number	01337 4 2016
Vendor name	RAMSEY COUNTY PROPERTY RECORDS/REV
Address	ATTN DICK SIVANICH 90 PLATO BLVD W. PO BOX 64097 ST. PAUL MN 55164-0097

Date	Comment line on check	Invoice number	Amount
08-29-16	TIF DIST #5/TIF RETURNED TO COUNTY	08/29/2016	\$401,165.41

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

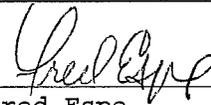
Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Return to: _____

Account Coding	Amount
416 44100 4890	\$401,165.41

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$

Reviewed by: 
 (signature required) Fred Espe

Approved by: 
 (signature required) Terry Schwerm

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,442		
Vendor number	01308 1	2016	
Vendor name	MINNESOTA METRO NORTH TOURISM		
Address	CITY OF BLAINE FINANCE DEPARTMENT 10801 TOWN SQUARE DRIVE BLAINE, MN 55449		

Date	Comment line on check	Invoice number	Amount
08-30-16	JULY 2016 HOTEL/MOTEL TAX	JULY 2016	\$21,900.07

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

Return to:	
------------	--

Account Coding	Amount
101 22079	\$23,052.71
101 38420	-\$1,152.64

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by:	
(signature required) Rob Falk	
Approved by:	
(signature required) Terry Schwerm	

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,307
Vendor number	20228 1 2016
Vendor name	MEDICA
Address	NW 7958 PO BOX 1450 MINNEAPOLIS MN, 55485-7958

20041299204

Date	Comment line on check	Invoice number	Amount
08-12-16 ✓	HEALTH INSURANCE: SEPT 2016	20041312494	\$68,709.49 ✓

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Return to: _____

Account Coding	Amount
101 20410	\$68,709.49

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$

Reviewed by: Kathy Harvey
 (signature required) Kathy Harvey

Approved by: Terry Schwerm
 (signature required) Terry Schwerm

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,257
Vendor number	01095 1 2016
Vendor name	ADVANCED ENGINEERING AND ✓
Address	ENVIRONMENTAL SERVICES INC 4050 GARDEN VIEW DRIVE SUITE 200 GRAND FORKS ND 58201

Date	Comment line on check	Invoice number	Amount
07-31-16 /	WTP CONSTRUCTION SERVICES CP 14-02	49312 ✓	\$20,152.62 ✓

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

Return to:	
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Account Coding	Amount
454 47000 5910	\$20,152.62

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by:	 8/22/16
(signature required) Tom Wesolowski	
Approved by:	
(signature required) Terry Schwerm	

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
4600 Victoria Street North
Shoreview MN 55126

Voucher Number	58,197
Vendor number	01446 1 2016
Vendor name	TREASURY, DEPARTMENT OF
Address	INTERNAL REVENUE SVC - EFT/NO CHECK EFTPS ENROLLMENT PROCESSING P.O. BOX 4210 IOWA CITY IA 52244

Date	Comment line on check	Invoice number	Amount
08-19-16	FEDERAL WITHHOLDING TAX: 08-19-16	08-24-16	\$73,454.41

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Return to: _____

Account Coding	Amount
101 21710	\$29,143.95
101 21730	\$35,911.68
101 21735	\$8,398.78
SEE PERMANENT PAYROLL RECORDS	

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by: (signature required) <u>J. Kuschel</u> Jodse Kuschel	
Approved by: (signature required) <u>T. Schwerm</u> Terry Schwerm	

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

J

Purchase Voucher

City of Shoreview
4600 Victoria Street North
Shoreview MN 55126

Voucher Number	58,192
Vendor number	00545 1 2016
Vendor name	PUBLIC EMPLOYEES RETIREMENT ASSOC.
Address	P.O. BOX 75608 ST. PAUL MN 55175-0608
EFT TRANSACTION - NO CHECK PRINTS	

Date	Comment line on check	Invoice number	Amount
08-19-16	EMPL/EMPLOYER CONTRIBUTIONS: 08-19-16	08-19-16	\$31,406.38 ✓

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Return to: _____

Account Coding	Amount
101 21740	\$31,406.38

SEE PERMANENT
PAYROLL RECORDS

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$

Reviewed by: K. Harvey
(signature required) Kathy Harvey

Approved by: T. Schwerm
(signature required) Terry Schwerm

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,018
Vendor number	01337 2 2016
Vendor name	RAMSEY COUNTY
Address	90 PLATO BLVD W. PO BOX 64097 ST. PAUL MN 55164-0097

Date	Comment line on check	Invoice number	Amount
08-08-16	LAW ENFORCEMENT SERVICES FOR JULY 2016	SHRFL-001522 ✓	\$172,554.80

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Account Coding	Amount
101 41100 3190 001	\$172,554.80 ✓

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by:	<u>Amy Truhlar</u>
(signature required)	Amy Truhlar
Approved by:	<u>Terry Schwerm</u>
(signature required)	Terry Schwerm

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

Purchase Voucher

City of Shoreview
 4600 Victoria Street North
 Shoreview MN 55126

Voucher Number	58,049
Vendor number	01734 1 2016
Vendor name	MUNICIPAL BUILDERS INC
Address	17125 ROANOKE STREET NW ANDOVER MN 55304

Date	Comment line on check	Invoice number	Amount
08-12-16	WTP CONSTRUCTION PROJ # 14-02	014	\$157,839.65

THIS IS AN EARLY CHECK, PLACE VOUCHER IN EARLY CHECK FILE

This Purchase Voucher is more than \$25,000.00; was the state's cooperative venture considered before purchasing through another source?

Purchase was made through the state's cooperative purchasing venture.

Purchase was made through another source. The state's cooperative purchasing venture was considered.

Cooperative purchasing venture consideration requirement does not apply.

Return to: _____

Account Coding	Amount
454 47000 5900	\$157,839.65

Is sales tax included on invoice?	Not Taxable
If no, amount subject to sales use tax	\$
Reviewed by: <u>Tom Wesolowski</u> 8/12/16	(signature required) Tom Wesolowski
Approved by: <u>Terry Schwerm</u>	(signature required) Terry Schwerm

Two quotes must be attached to purchase voucher for all purchases between \$10,000 and \$50,000. If no quote is received, explain below:

Quote 1	
Quote 2	
Explanation if no quote received	

MOTION

MOVED BY COUNCIL MEMBER: _____

SECONDED BY COUNCIL MEMBER: _____

To approve the Site and Building Plan Review application submitted by River of Life Church, 4294 Hodgson Road for a bathroom addition, subject to the following conditions:

1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.
2. The approval will expire after one year if the required permits have not been issued and work has not begun on the project.
3. The applicant shall obtain a building permit for the addition prior to commencing any work on the project.

This approval is based on the following findings:

1. The proposed improvements are consistent with the Land Use Chapter (Chapter 4) of the Comprehensive Plan.
2. The proposed addition will not conflict or impede the planned land uses of the surrounding properties.
3. The proposed addition complies with the Development Code standards.

ROLL CALL: AYES _____ **NAYS** _____

Johnson	_____	_____
Quigley	_____	_____
Springhorn	_____	_____
Wickstrom	_____	_____
Martin	_____	_____

TO: Mayor, City Council and City Manager
FROM: Kathleen Castle, City Planner
DATE: September 2, 2016
SUBJECT: File No.2628-16-27, Site and Building Plan Review, River of Life Church, 4294 Hodgson Road

INTRODUCTION

River of Life Church, 4294 Hodgson Road, submitted a Site and Building Plan Review application for a bathroom addition. The proposed addition is located on the east side of the Church building. The application was complete as of August 4, 2016.

PROJECT DESCRIPTION

The project site is located on Hodgson Road immediately south of Sitzer Park. The property has a lot area of 4.61 acres and is developed with the church building, a residence, parking lot and outdoor play area. Access to the property is gained from a driveway off Hodgson Road.

The intent of the proposed addition is to enlarge the bathrooms on the main floor and lower level so they are compliant with the American Disabilities Act (ADA). The addition is approximately 158 square feet in size and is designed as one-story above the ground grade. The 16'7" height is less than the height of the existing two-story building. Exterior building materials will match the existing building using vinyl siding and asphalt shingles. The addition is adjacent to the playground area which is enclosed with fencing. Please see the attached plans.

COMPREHENSIVE PLAN

The *2008 Comprehensive Plan* designates this property for Institutional use. Uses within this category include public and private schools, fire and police stations, city hall, churches and other public or quasi-public uses. Surrounding planned land uses include low-density residential and park.

DEVELOPMENT ORDINANCE REQUIREMENTS AND REVIEW

The property is zoned R-1, Detached Residential (Section 205.080), a typical zoning for church and school properties. Public and quasi public uses are allowed in this zoning district through the Site and Building Plan Review process provided the use will not conflict with or impede the use of adjoining property. Conditions may be attached to site and building plan approval by the City Council to ensure compatibility with adjacent land uses (Section 205.080 (B4)).

Staff has reviewed the plans in accordance with planning and zoning requirements. The proposed addition is consistent with the policies of the *Comprehensive Plan* and the Development Regulations. The intent of the addition is to provide ADA compliant bathroom facilities for church visitors. The addition will be setback about 300' from the east property line

and 110' from the south property line. While the R-1 District does not specifically address structure setbacks for non-residential uses, the City has generally applied the setback standards found in the O, Office District. A minimum 50-foot setback is required when an office building abuts residential properties (Section 205.044(D3)). The proposed setbacks exceed this standard.

Staff believes that the proposed addition will not conflict with or impede the use of the surrounding residential and park properties.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of the applicant's request. One phone call was received regarding the proposed design and compliance to the ADA standards. The City's Building Official has stated that the ADA compliant bathrooms are not required for this structure. Design issues may be resolved with modifications to the existing plan.

The Planning Commission discussed the ADA requirements and potential impact on the proposed plan. The Commission concluded that any design issues will be resolved through the building permit process. The Commission recommended the City Council approve the plan with a 6 – 0 vote.

STAFF RECOMMENDATION

The proposed bathroom addition meets the requirements of the City's development regulations and the intent of the *Comprehensive Plan*. Therefore, Staff recommends the Planning Commission recommend the City Council approve the submitted site and building plans, subject to the following conditions:

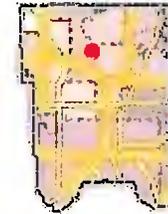
1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.
2. The approval will expire after one year if the required permits have not been issued and work has not begun on the project.
3. The applicant shall obtain a building permit for the addition prior to commencing any work on the project.

Attachments

- 1) Location Map
- 2) Applicant's Statement
- 3) Submitted Plans
- 4) Motion



Legend



-  City Halls
-  Schools
-  Hospitals
-  Fire Stations
-  Police Stations
-  Recreational Centers
-  Parcel Points
-  Parcel Boundaries

Notes

4294 Hodgson Road

600.0 0 300.00 600.0 Feet



4294 Hodgson Road, Shoreview, MN 55126
Telephone: 651-484-8737

July 21, 2016

Planning Commission
Shoreview, MN 55126

Proposed Development:

- to enlarge the restrooms on both the upper and lower levels
- to update them according to ADA guidelines

This request is to extend the east wall of the current restrooms by approximately 9'4". This addition will have no effect on traffic patterns or water displacement and is in the fenced area of the playground.

Sincerely,

A handwritten signature in blue ink that reads "James G. Medin".

Dr. James G Medin, Pastor

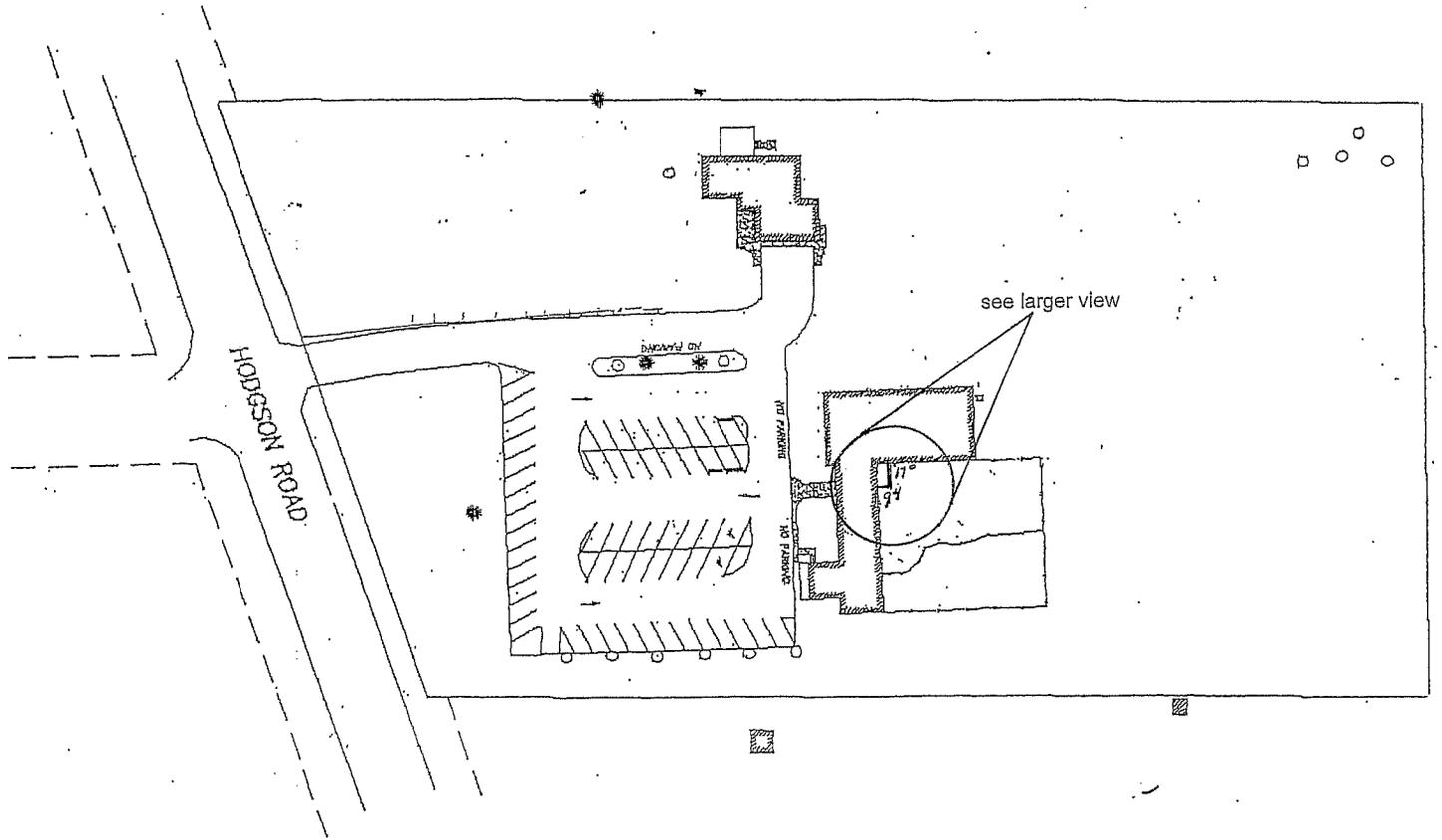
River of Life Church

Phone: (651) 484-8737

medinj@RiverOfLifeMN.org



RIVER OF LIFE CHURCH
of 4294 Hodgson Road, Shoreview, MN.

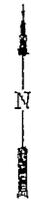


see larger view

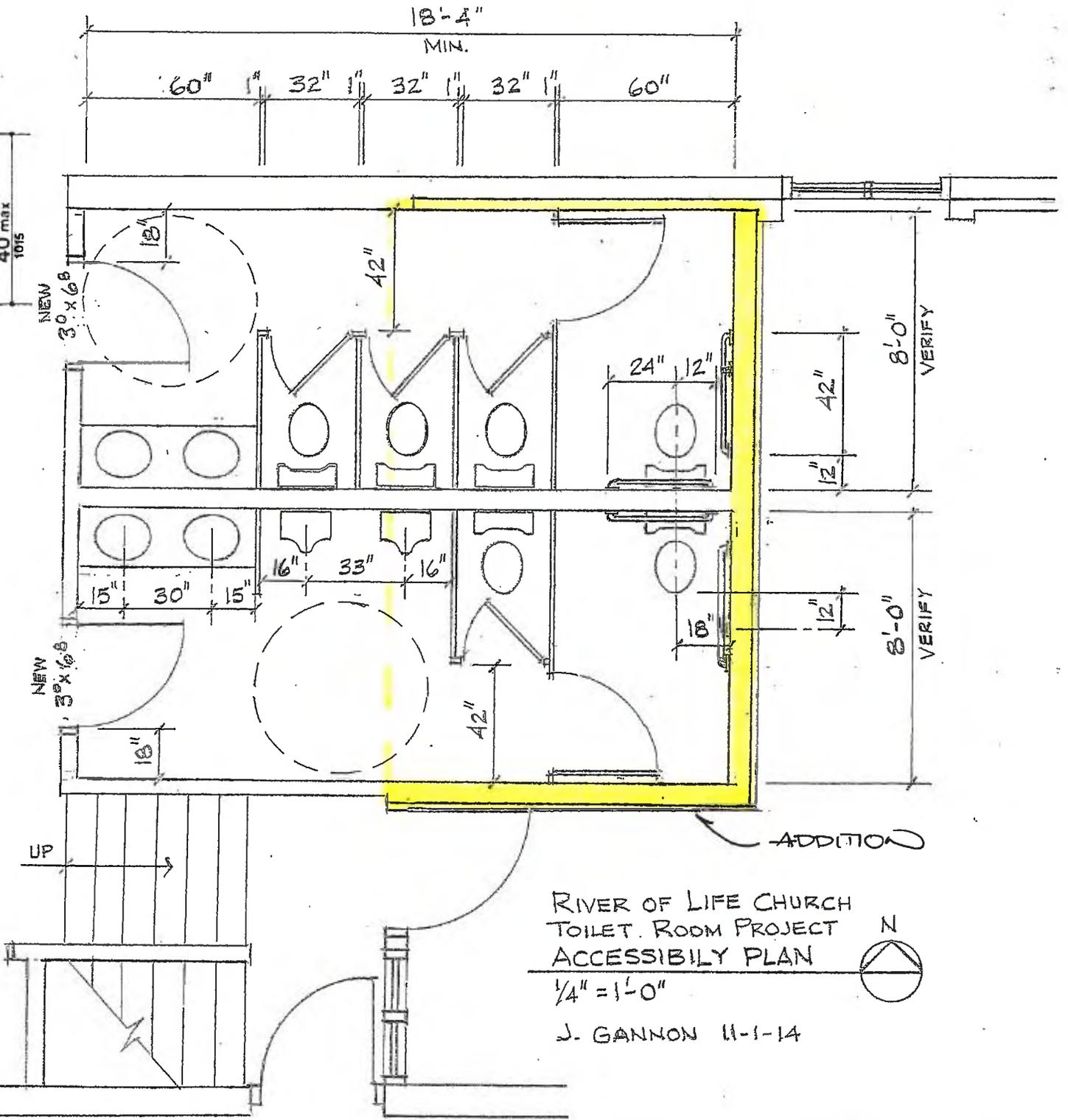
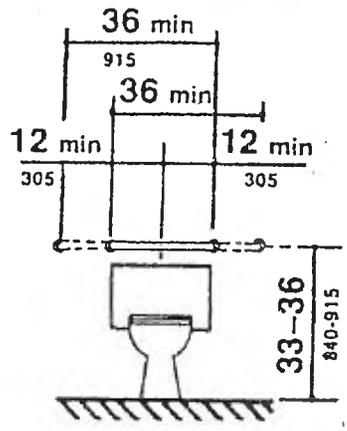
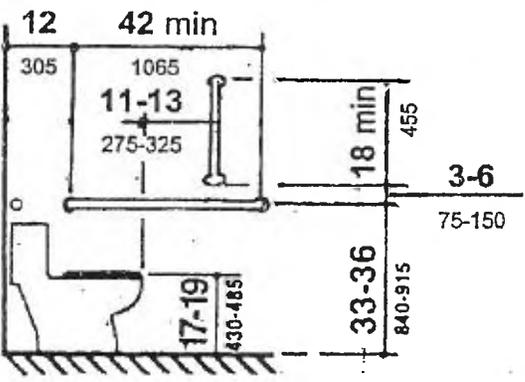
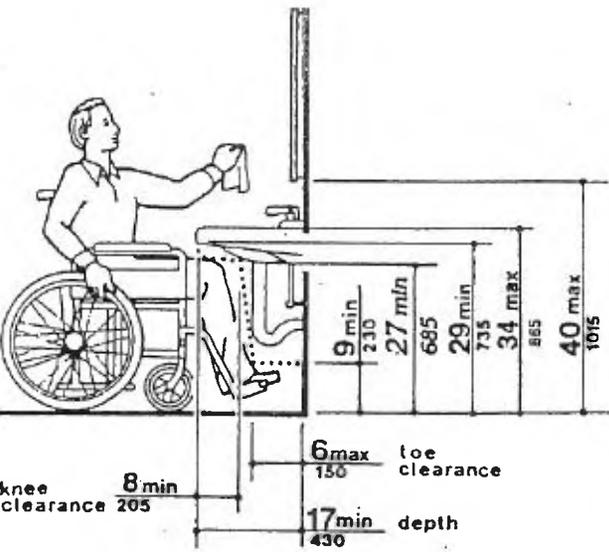
HODGSON ROAD

AD PARKING

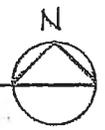
AD PARKING
NO PARKING

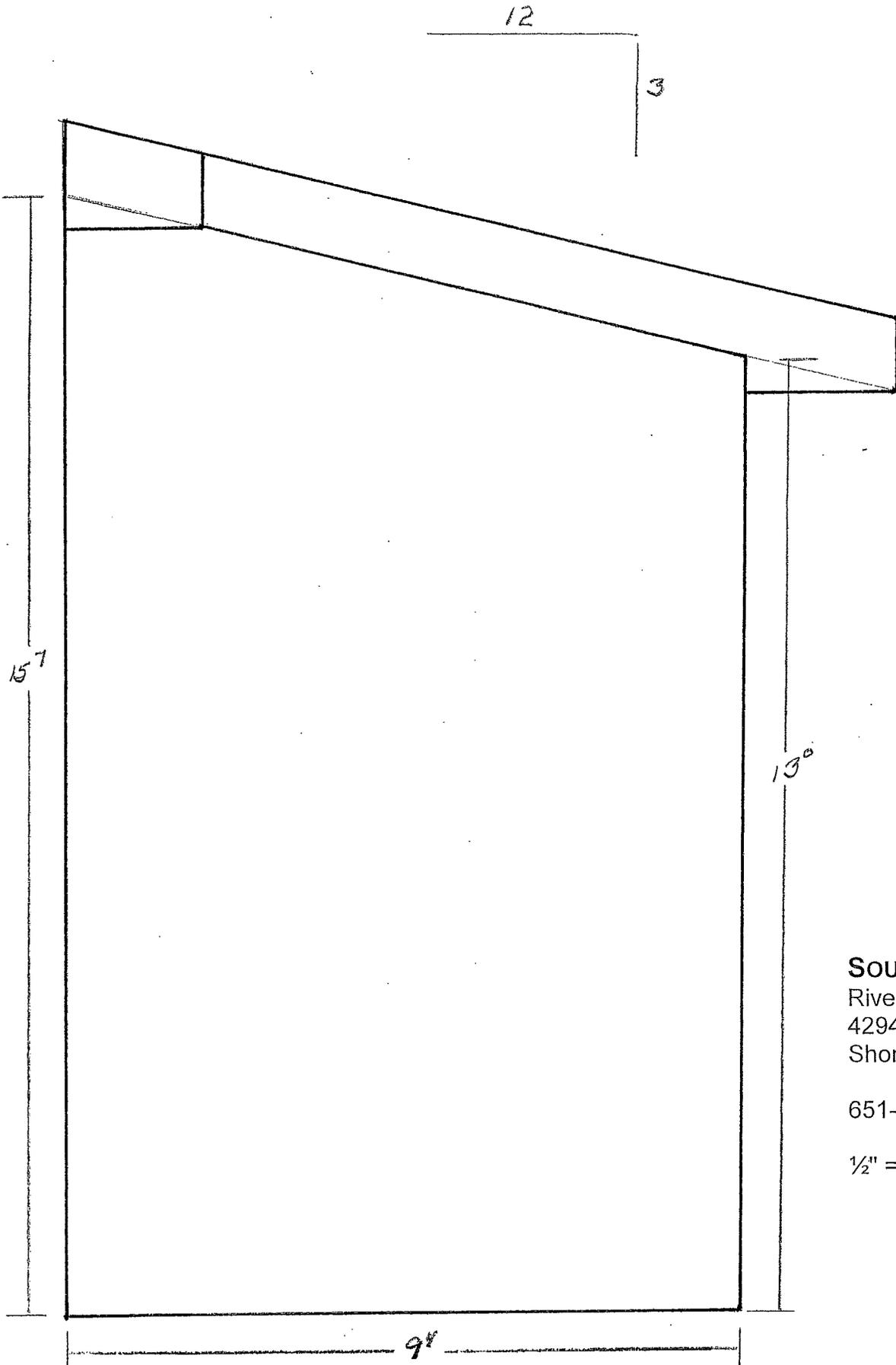


Scale in feet
0 10 20 40 80



RIVER OF LIFE CHURCH
 TOILET ROOM PROJECT
 ACCESSIBILITY PLAN
 1/4" = 1'-0"
 J. GANNON 11-1-14

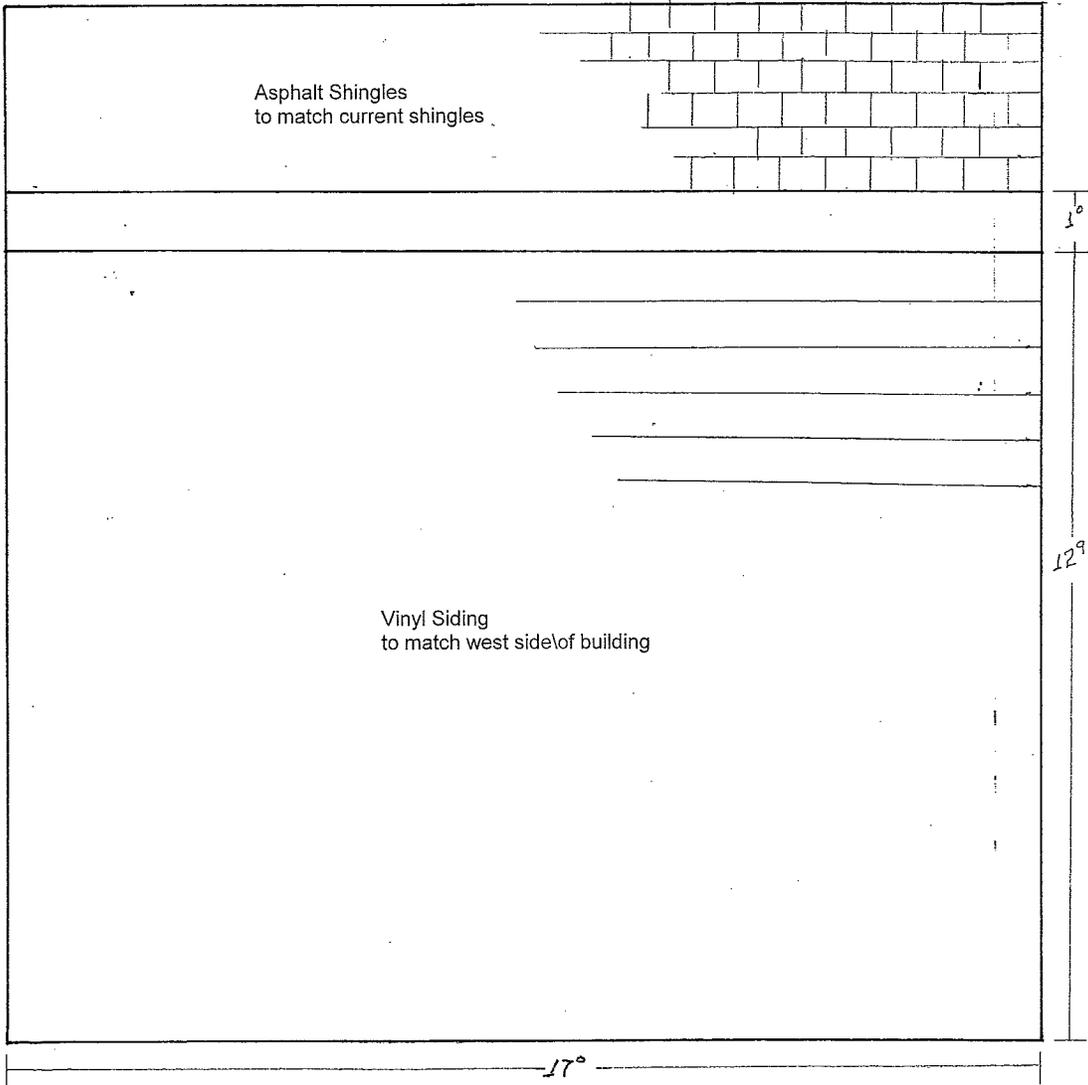




SOUTH ELEVATION
River of Life Church
4294 Hodgson Road
Shoreview, MN 55126

651-319-2152

1/2" = 1'



Asphalt Shingles
to match current shingles

Vinyl Siding
to match west side of building

1" = 1'

12' 9"

17'

EAST ELEVATION
River of Life Church
4294 Hodgson Road
Shoreview, MN

651-319-2152

1/2" = 1'



MOTION
TO APPROVE AN AMENDMENT TO THE COMPREHENSIVE SIGN
PLAN
GRAMSIE SQUARE CENTER
3999 RICE STREET

MOVED BY COUNCIL MEMBER _____

SECONDED BY COUNCIL MEMBER _____

To approve the Comprehensive Sign Plan Amendment submitted by Tyme Properties, subject to the following conditions:

1. The sign shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.
2. The Comprehensive Sign Plan for the Center shall remain consistent with the Sign Specifications attached to this approval.
3. Each tenant shall employ consistent fonts and colors for both their wall sign and tenant panel on the freestanding sign.
4. The applicant shall obtain a sign permit prior to the installation of any signs on the property.

Approval is based on a finding that the Comprehensive Sign Plan is consistent with prior City approvals for this property.

ROLL CALL: AYES _____ NAYS _____

Johnson	_____	_____
Quigley	_____	_____
Springhorn	_____	_____
Wickstrom	_____	_____
Martin	_____	_____

Regular City Council Meeting – September 6, 2016

TO: Mayor, City Council, City Manager
FROM: Rob Warwick, Senior Planner
DATE: September 1, 2016
SUBJECT: File No. 2633-16-32, Tyme Properties, Gramsie Square, 3999 Rice Street - Comprehensive Sign Plan Amendment

INTRODUCTION

Tyme Properties has submitted an application to amend the Comprehensive Sign Plan for Gramsie Square, a multi-tenant retail center located at Rice St. and Gramsie Road. They propose to alter the existing freestanding sign, adding a cabinet for the fuel station. The proposed sign does not conform to the approved plan, and an amendment to the Comprehensive Sign Plan is required.

In addition to adding the fuel brand to the pylon sign, the amendment proposes that the pylon include fonts and color of the tenants' choice.

The fuel brand sold by the station is being changed to Minnoco, and will offer renewable fuels (E85, E30, E15) in addition to traditional diesel and gasoline fuel. A copy of the applicant's statement is attached.

The application was complete August 24, 2016.

BACKGROUND

The property is in the C-2, General Commercial District, and the existing use conforms to the zoning regulations and previous approvals. The retail center was approved and constructed in 1985. The Center has about 12,000 sq. ft. of floor area. Footings and foundation were also constructed at that time to allow a future expansion on the south end of the building, and those remain in place underground. At the same time, the City approved a Comprehensive Sign Plan for the Center. The Sign Plan addresses both wall signs (on both the east and west building fascia), and the freestanding sign. The Sign Plan was first amended in 1991, and again in 1998, and 2007.

The sign plan includes provisions addressing:

- Wall Signs:
 - East Fascia (Rice Street)
 - Individual letter style mounted within the sign band
 - Maximum 24-inch height
 - No color or font restriction
 - Logos are permitted
 - Not to exceed 80% of the tenant space

- Centered over tenant space with minimum 18-inch clearance on each end of space (to provide separation between fascia signs)
 - West Fascia (Gramsie Road)
 - Individual letter style mounted within the sign band
 - Maximum 18-inch height
 - White letters using a block style font
 - Minimum 18-inch clearance from the border of the tenant space
 - Awnings (“Canopy”) are allowed if uniform.
- Pylon Sign
 - Maximum 25-foot height and 80-sq. ft. size
 - Advertise Gramsie Square, incl. the street address
 - Tenant panels to use uniform lettering and color
- The convenience store and gas facility are not subject to the sign plan.

The Sign Plan approved deviations for sign height and area. Since 1998 the regulations for signs have been amended several times, including differentiating between sign area, and the copy and graphics area. According to current Code, a multi-tenant building with less than 20,000 sq. ft. of floor area is permitted a pylon sign with a 20-foot height and 30 square foot area.

A gas price display has been added to the pylon sign, and that is defined as a type of changeable copy sign. Changeable copy signs are permitted with a 40-sq. ft. maximum when integrated on an existing freestanding sign in the C-2 District, however gas price displays have a maximum 6 sq. ft. area for the digital price display. The existing sign is consistent with the prior approvals.

DEVELOPMENT CODE REQUIREMENTS

Signs are regulated according to the provisions of Section 208 of the Development Code. Multi-tenant retail centers, such as the Gramsie Square, are required to have a comprehensive sign plan since more than one wall sign is displayed. For structures less than 20,000 square feet in area, a cabinet-style pylon sign is permitted provided the height does not exceed 10-feet and the sign area does not exceed 30 square feet.

A changeable copy sign, can be integrated on the pylon, and its area is permitted *in addition* to area of the freestanding sign. The gas price display shows two types of fuel and their prices. The price display uses 12-inch numbers, and has an area less than the maximum 6 sq. ft. allowed.

The proposed height and area are consistent with the approved plan. The Minnoco cabinet proposed on the pylon uses font and color that do not conform to the approved plan, and so a sign plan amendment is requested.

Comprehensive Sign Plan Review

The Comprehensive Sign Plan considers five elements that govern all signs within the development: location, materials, size, color, and illumination.

STAFF REVIEW

The proposed sign plan was reviewed in accordance with the City's sign standards and previous sign plan approvals. The existing signage for the Center includes wall signs for the tenants, the freestanding pylon sign, including the gas price display, and canopy signs for the fuel station. While the approved sign plan allows wall signs on the west façade of the building, no permanent signs are displayed on that elevation.

Comprehensive Sign Plan Review

Staff considers that the addition of the fuel brand on the pylon sign drives the request, in order to use the font and colors that characterize the brand. Staff expects that a second amendment to the sign plan will be requested soon to obtain approval for other Minnoco signage for the store and station fuel canopy.

The pylon sign exceeds Code standards for height and area, but remains in compliance with the approved plan. As a result, no new deviation is proposed and the City review should focus on expanding colors and fonts used for tenants on the pylon sign. The applicant states that the change upgrades the image of the pylon and the sign will have greater appeal.

Staff does not disagree since wall signs currently vary in font and color. It seems appropriate to carry those design variations to the pylon sign. The Center name and address remains the dominant feature of the pylon, as required. Other multi-tenant buildings allow use of logos on a freestanding sign, and staff believes that is also appropriate for this site.

PLANNING COMMISSION

The Planning Commission reviewed the application at the August 30th special meeting. Commissioners discussion focused on after hours sign illumination and consistency between tenants' wall and freestanding signs. The Commission unanimously (6-0) recommended approval of the amendment with an added condition required that each tenant's wall sign and panel on the freestanding sign employ consistent font and colors.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of this request. No comments have been received.

RECOMMENDATION

Staff and the Planning Commission have reviewed the proposal in accordance with the requirements for a Comprehensive Sign Plan. Given the number of prior amendments to the original approval, staff has compiled specifications for the wall and free standing signs that reflects the history of City approvals, and those specifications are suggested as part of the recommended approval, subject to the following:

1. The sign shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.
2. The Comprehensive Sign Plan for the Center shall remain consistent with the Sign Specifications attached to this approval.

3. Each tenant shall employ consistent fonts and colors for both their wall sign and tenant panel on the freestanding sign.
4. The applicant shall obtain a sign permit prior to the installation of any signs on the property.

Attachments

1. Location Map
2. Submitted Plans and Written Statements
3. Comment
4. Comprehensive Sign Plan Specifications, 2016
5. Proposed Motion

T:/2016pcf/2633-16-32 3999 rice st/compsign plan /CCreport.docx



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries
- Airports

Notes

Gramsie Square Center

400.0 0 200.00 400.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet
 © Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



Tyme Properties LLC

August 24, 2016

Rob Warwick
Senior Planner
City of Shoreview
4600 Victoria St. No.
Shoreview, MN 55126

RE: New Free Standing Pylon Sign
Gramsie Square Shopping Center
3999 Rice Street
Shoreview, MN

Comprehensive Sign Plan Application Narrative

This Comprehensive Sign Plan narrative is for installation of a new pylon ID sign for the Gramsie Square Shopping Center located at 3999 Rice Street, Shoreview, MN 55126.

The property manager is Tyme Properties, LLC represented by Thomas Schutte (651-330-2403).

A major tenant of the shopping center, Gramsie Corner Mart, is working with Minnesota Service Station and Convenience Store Association (MSSA) to rebrand to a Minnoco branded gas station.

MINNOCO (Minnesota Independent Oil Company) is a brand of gasoline developed for the members of the MSSA (Minnesota Service Station & Convenience Store Association) by the members of the MSSA. Allowing members of the Association the opportunity to own and control their own brand of fuel while offering alternative renewable fuels such as Diesel, E85, E30, E15, 87, 89 and 91 octane fuels.

A primary objective of the Minnoco brand is the sale and distribution of renewable ethanol fuels. Minnoco stations fund the installation of ethanol-compatible dispensing infrastructure at each of its fueling stations. Minnoco is working with the MN Dept of Agriculture and the US Dept of Agriculture on a Biofuel Infrastructure Partnership. Minnoco and each of its gas station partners invest heavily into the new infrastructure requirements and make a long-term commitment to offering the alternative fuels.

We are using the event of the gas station rebranding to modify and update the property's pylon ID sign. The current ID sign contains one LED price display reader board. With the change to Minnoco, the gas station needs to be able to display more than one gas price. In addition, the current ID sign does not display the name of the gas station. We believe the new ID sign will better highlight the new Minnoco gas station and offers us a chance to upgrade the image of the ID sign which will offer all of our tenants an upgraded image and be a more appealing accessory for the shopping center.



Tyme Properties LLC

In designing the new ID sign, we attempted to comply with the existing comprehensive sign plan in the following areas:

- Maintained "Gramsie Square" as the prominent feature of the ID sign. Gramsie Square occupies the largest tenant sign area and is located at the top of the sign.
- Maintained the address of the property, which will be listed on the top graphic panel on the new ID sign.
- The overall graphic and text area of the sign is less than 80 square feet.
- Maintained the LED Price Display reader board at the bottom of the overall pylon sign.
- The LED price displays fill an area that is less than maximum allowed.
- Maintained the overall height the same as the existing pylon sign at 24 feet.

We are asking for consideration of the following modification to the existing Comprehensive Sign Plan:

- The current sign plan calls for Tenant Lettering on the ID sign "be uniform in color and type".
- We are requesting that the color and font of the tenant displays be variable.
- The existing plan does allow for variable color and font for the individual wall signs for each tenant.
- We are asking that the same variability be allowed on the tenant faces on the new ID sign.
- We believe the variability offers brighter and more attractive options and will draw more interest for the businesses that occupy Gramsie Square Shopping Center.
- We have attached designs for both variable and consistent tenant fonts and colors for your review.

Please call with any concerns regarding this new signage. My telephone number is 651-330-2403.

Sincerely,

Thomas M. Schuette
On behalf of Tyme Properties LLC

TMS/kl

Attachment



Tyme Properties LLC

August 19, 2016

Rob Warwick
Senior Planner
City of Shoreview
4600 Victoria St. No.
Shoreview, MN 55126

RE: New Free Standing Pylon Sign
Gramsie Square Shopping Center
3999 Rice Street
Shoreview, MN

Dear Rob,

I am a property manager with Tyme Properties LLC, which is the new property management company of Gramsie Square Shopping Center. The purpose of this letter is to express support for the new monument sign to be built at Gramsie Square Shopping Center.

The new sign will feature the name and address of the shopping center "Gramsie Square, 3999 Rice Street" at the top of the sign. The lowest part of the sign will be used to display the new Minnoco sign and the two (2) gas price displays.

Of great concern for this new sign is the color and font of individual signs. We strongly request that the color and font of the Tenant displays not be required to be similar. The retail businesses of Gramsie Square Shopping Center will benefit by the right to use various colors and fonts to display the name of their business. The businesses of the shopping center include Mansetti's, Jade House, Bravo Fitness, Shear Genius Salon, Fantastic Nails, State Farm Insurance and Gramsie Corner Mart. A business such as State Farm Insurance must display its logo and the appropriate red color.

I have attached an illustration of the sign with the same color signage and another sketch with various color signage. Clearly the sign with various colors is brighter and more attractive and will draw more interest for the businesses of the shopping center. The sign with all the same colors does not jump out to the eye and tends to blend together with no visual attraction.

Thank you for your consideration to this request to have multi-color tenant names on the a new Gramsie Square pylon sign.

Please call with any concerns regarding this new signage. My telephone number is 651-330-2403.

Sincerely,

Thomas M. Schuette
On behalf of Tyme Properties LLC

TMS/kl

Attachment

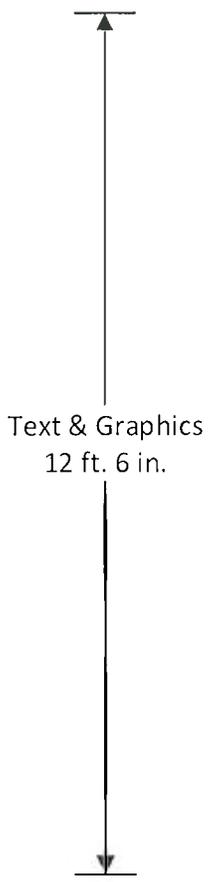
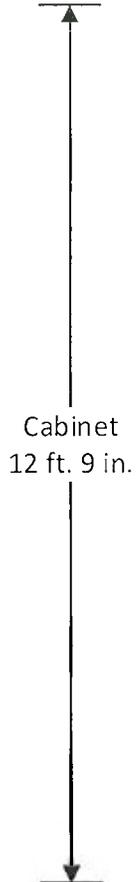
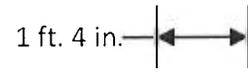
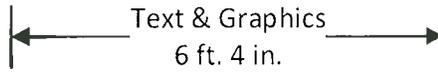
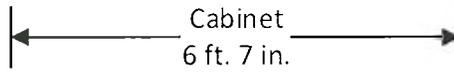


Same Height as
Current Sign
24 ft.

8 ft.

Main ID Sign

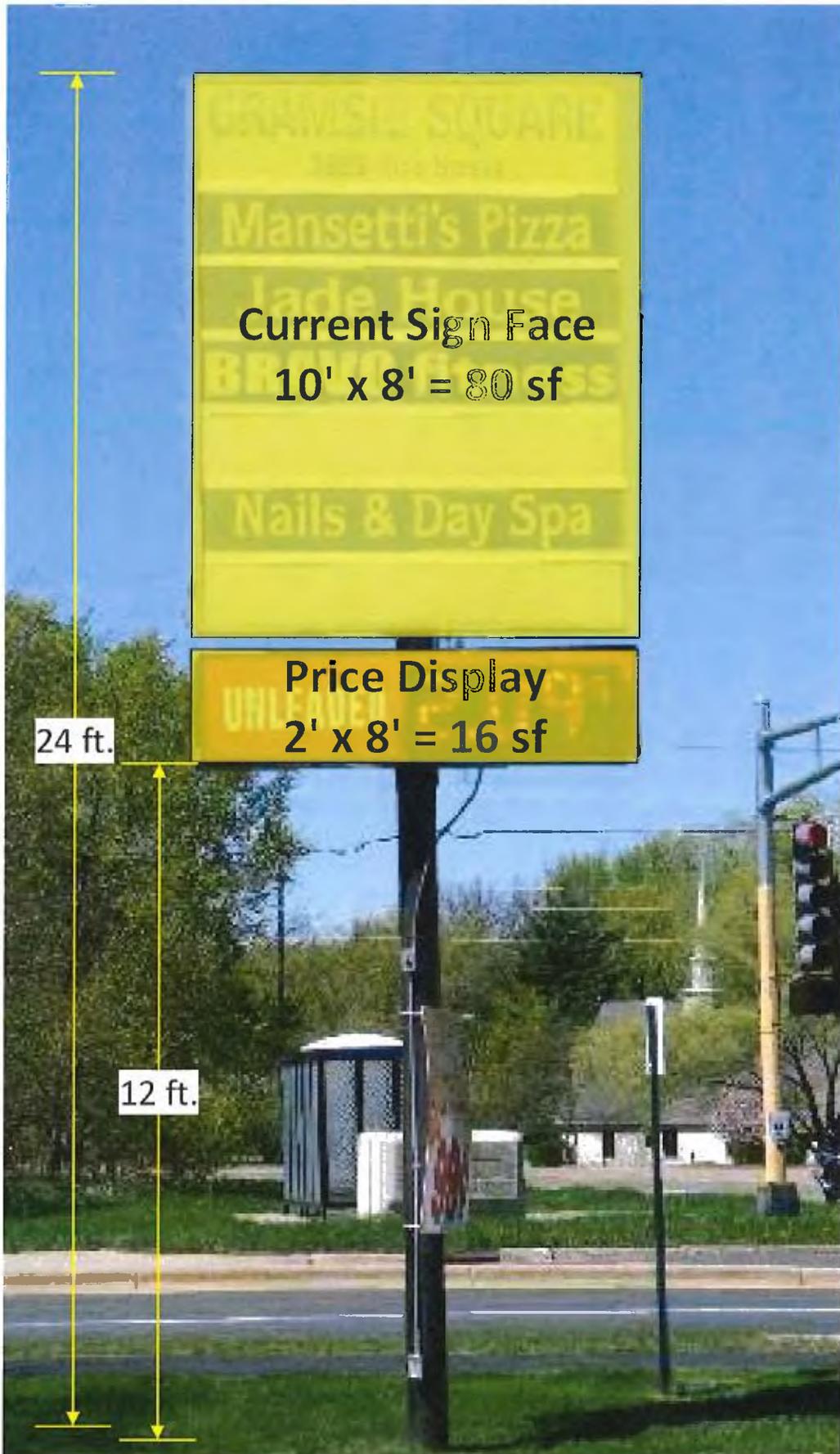
Consistent Text Font and Color





Location of existing and proposed new ID Sign. The new ID sign will be installed onto the existing sign pole.

Gramsie Square Shopping Center
3999 Rice St.
Shoreview, MN 55126



GRANITE SQUARE
300 New York
Mansetti's Pizza
Jade House
BRANDY BROS
Nails & Day Spa

Current Sign Face

10' x 8' = 80 sf

UNLEADED
GAL \$3.99

Price Display

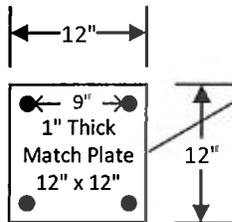
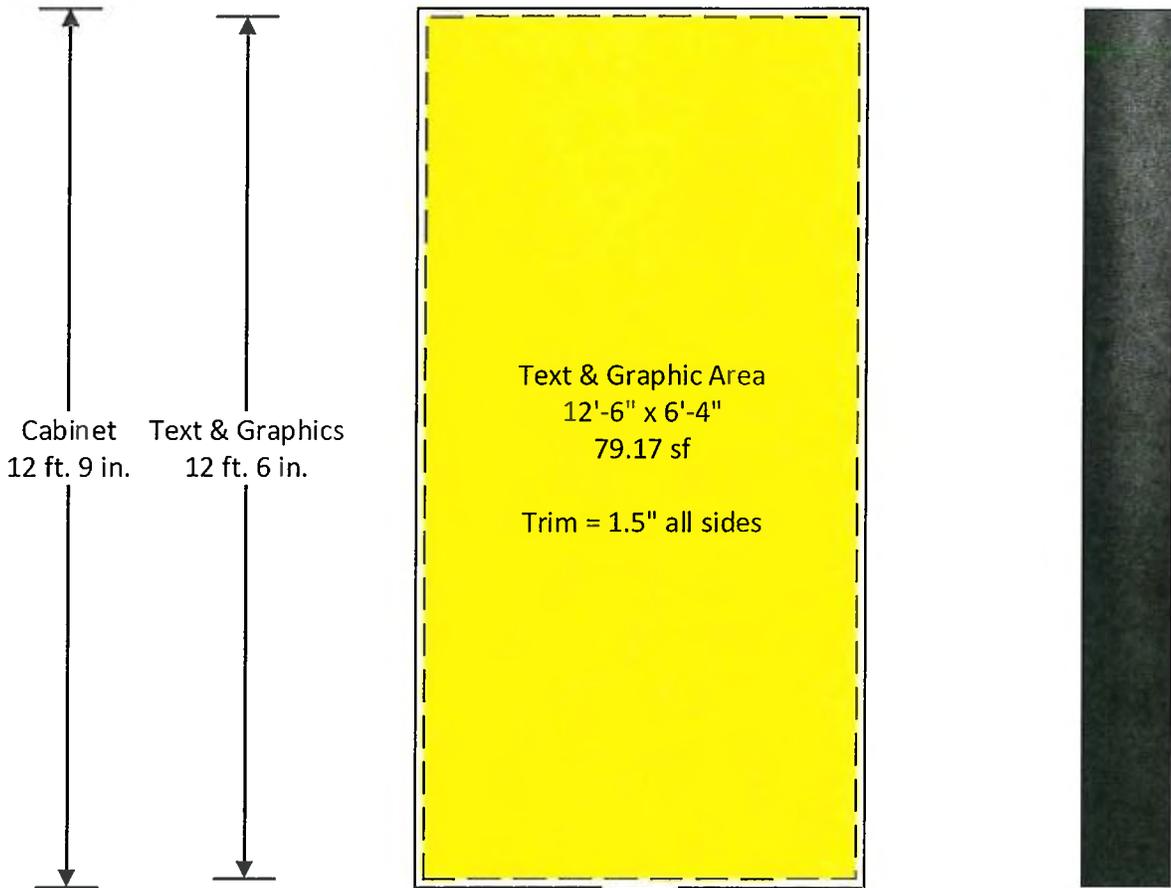
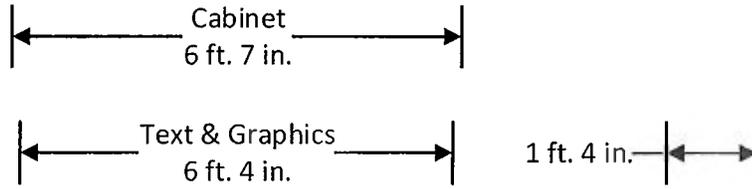
2' x 8' = 16 sf

24 ft.

12 ft.

Main ID Sign

- > No greater than 80 Square Feet
- > Same height as existing sign



The text & graphic area is designed to be less than 80 square feet.

Main ID Sign

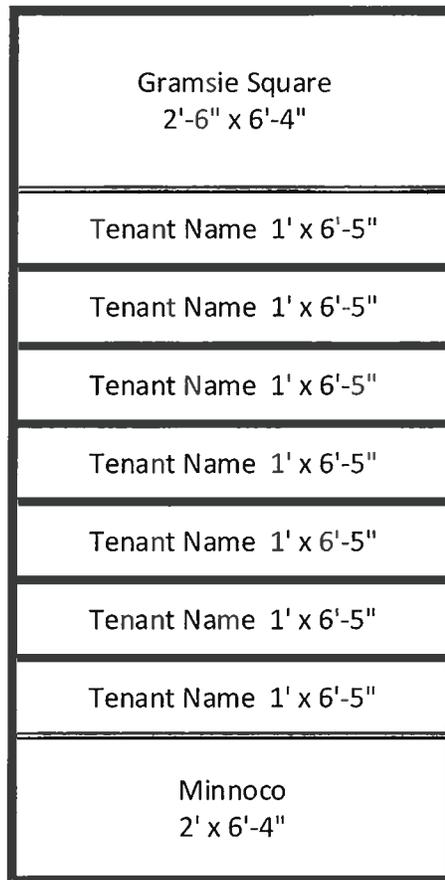
Cabinet
6 ft. 7 in.

Text & Graphics
6 ft. 4 in.

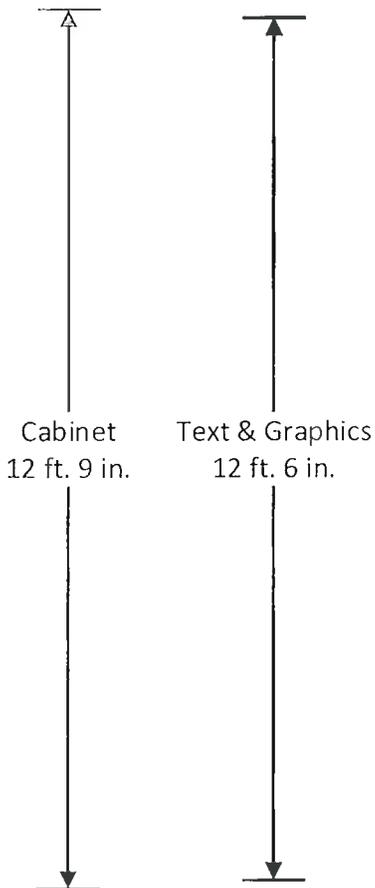
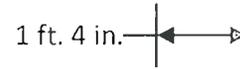
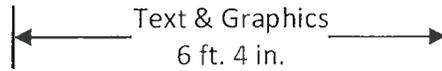
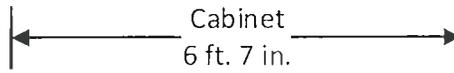
1 ft. 4 in.

Cabinet
12 ft. 9 in.

Text & Graphics
12 ft. 6 in.



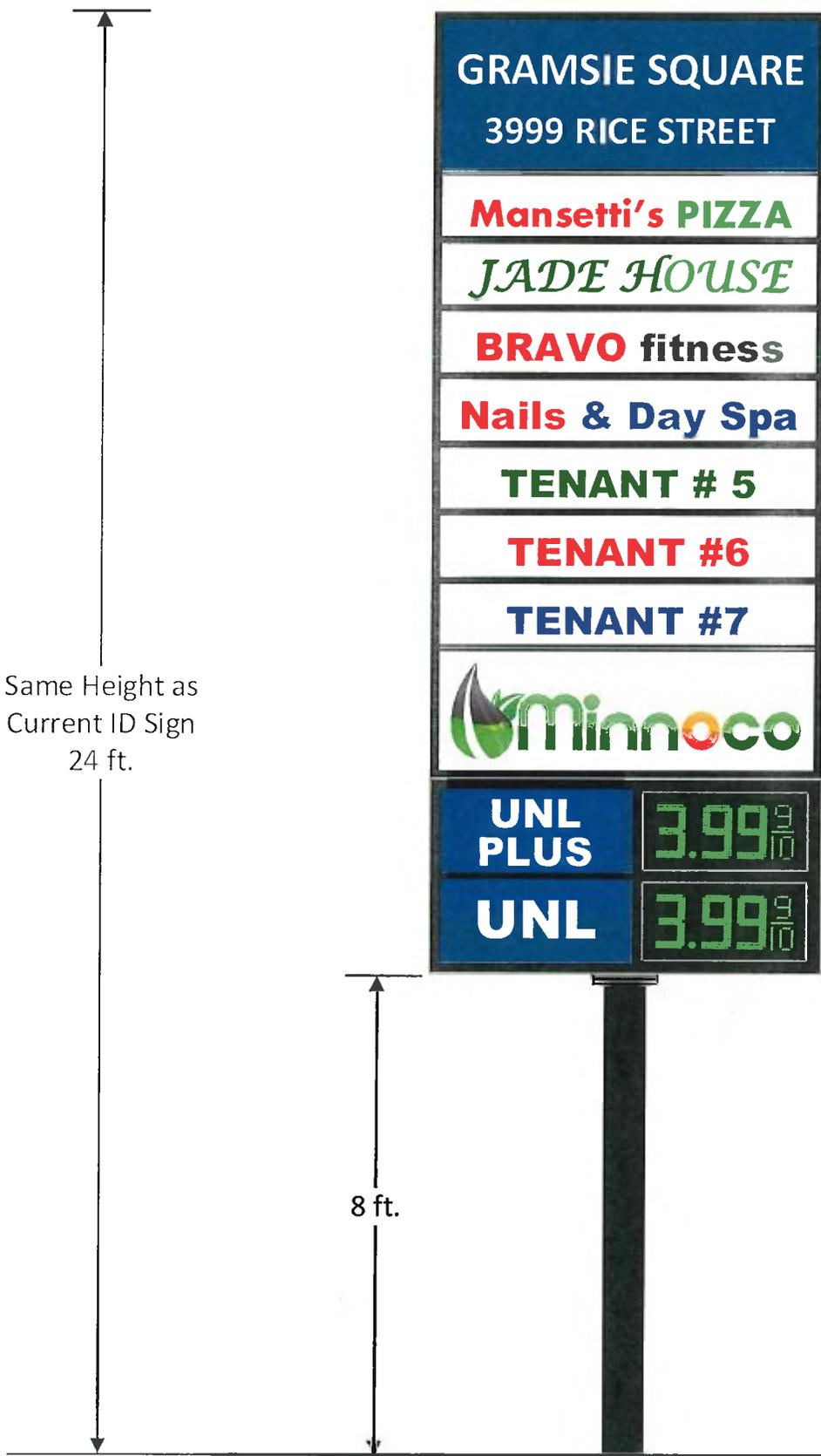
Main ID Sign
Variable Text Font & Color



Price Display Sign



12" Numbers with 3" spacing each produces a total price display area of 2.5' x 2.33' = 5.83 sf.



TENANT SIGN SPECIFICATIONS
GRAMSIE SQUARE, 3999 Rice Street

The Comprehensive Sign Plan for Gramsie Square was approved in 19985, and amended in 1991, 1998, 2007, and 2016. All applicable provisions of the original plan and subsequent amendments are included below. Outdated provisions are not shown here.

All Signs

1. Official business logos may be used within the allocated sign area.
2. Except for permissible logos, only business names shall be included. Telephone number, internet urls, product names, etc. shall not be permitted.

Fascia Signs, East (Rice Street) Elevation

1. Signs shall be composed of individual letters or canister type signs mounted to the wall only in the sign band. Letters shall be no more than twenty-four (24) inches in height. Lettering is not restricted to any particular style or color.
2. A sign shall not cover more than eighty percent (80%) of the linear distance of the store front to which it is attached. However, all signs shall be set at least eighteen (18) inches from the borders of the Tenant's lease area. Signs must be centered in front of each store.
3. A wall mounted, back-lighted canopy (awning) sign is permitted for the restaurant tenant (currently Mansettis) at the south end of the first phase of the center.
4. Installation of any additional canopy (awning) shall require the installation of a canopy or series of canopies across the entire front of the structure, up to the fuel station. In such case, the canopies shall be uniform in color, size, and signage schemes.

Fascia Signs, West (Gramsie Road) Elevation

1. Signs shall be composed of individual letters 18 inches in height and shall be white. Lettering is restricted to block style letters which must be mounted to the sign band on the wall.
2. Signs shall be non-illuminated.
3. A sign shall not cover more than eighty percent (80%) of the linear distance of the store front to which it is attached. However, all signs shall be set at least eighteen (18) inches from the borders of the Tenant's lease area.

Free Standing Pylon Sign

1. The sign shall be located on the property as noted on the Site Plan for Gramsie Square with a revision date of March 20, 1985.
2. The height of the sign shall be no greater than 25 feet and the size shall be 80 square feet.
3. The sign shall advertise Gramsie Square, the Center address, and current tenants only.
4. Lettering shall be a minimum of 4-inches in height.

5. Lettering is not restricted to any particular style or color, but the freestanding sign panel for each tenant shall be consistent with the font and color lettering employed for that tenant's wall sign.
6. A readerboard (Gas Price Display) may be displayed on the freestanding sign.

Temporary Signs

1. As permitted by City Code in effect at the time.
2. Any temporary signs shall be banners affixed to the Rice St. or Gramsie Road building elevations.
3. Permits shall be secured prior to display of any temporary signs.

NOTE: The specifications set forth, above, do not apply to the convenience store and gas facility located at the north end of the development. Tenant signing for said premises includes two wall signs and canopy signs in accordance with the City Code.

TO: MAYOR, CITY COUNCIL, CITY MANAGER

FROM: THOMAS L. HAMMITT
SENIOR ENGINEERING TECHNICIAN

DATE: SEPTEMBER 1, 2016

SUBJECT: 2016 STREET SEAL COAT
CONTRACTOR PAYMENT NO. 2 (FINAL)

INTRODUCTION

Contractor Payment No. 2 (Final), has been prepared by staff and is presented to the City Council.

BACKGROUND

On June 6, 2016, the City of Shoreview entered into a contract with Pearson Bros. Inc., in the amount of \$ 264,907.57, for seal coating City streets. Based on final quantities, the amount of work completed was \$234,784.75. The Contractor Payment No. 2 (Final), including the retainage, is in the amount of \$8,752.68. All inspections and punch list items have been completed and have shown the work to be acceptable.

RECOMMENDATION

It is recommended that Council approve the attached proposed resolution for Contractor Payment No. 2 (Final) for the 2016 Street Seal Coat Project 16-04.

tlh

#16-04

t:/projects/seal coat/2016/council/paymt2final16

APPLICATION FOR PAYMENT

NO. 2 - FINAL

PROJECT: 2016 STREET SEAL COATING

OWNER: CITY OF SHOREVIEW

PROJECT NO: PROJECT 16-04

CONTRACTOR: PEARSON BROS INC

APPLICATION DATE: 8/13/16 FOR PERIOD ENDING: 9/1/16

STATEMENT OF WORK

ORIGINAL CONTRACT AMOUNT	<u>\$ 264,907.57</u>
NET CHANGE BY CHANGE ORDER	<u>\$ 0.00</u>
CONTRACT AMOUNT TO DATE	<u>\$ 234,784.75</u>
TOTAL AMOUNT OF WORK COMPLETED TO DATE	<u>\$ 234,784.75</u>
LESS 0% RETAINAGE	<u>\$ 0.00</u>
AMOUNT DUE TO DATE	<u>\$ 234,784.75</u>
LESS PREVIOUS PAYMENTS	<u>\$ 226,032.07</u>
PAYMENT DUE THIS APPLICATION	<u>\$ 8,752.68</u>

APPLICATION FOR PAYMENT

Page Two

I hereby certify that all items and amounts shown are correct for the work completed to date.

CONTRACTOR: PEARSON BROS INC.

BY: _____
(Name and Title)

DATE: _____

APPROVED FOR PAYMENT:

OWNER: CITY OF SHOREVIEW

BY: 
Tom Wesolowski (City Engineer)

DATE: 9/1/16

**2016 STREET SEAL COAT
PROJECT 16-04
Application for Payment No.2 Final**

SEAL COATING

AGGREGATE

Item No.	Item Description	Unit	Quantity	Unit Price	Extension
1.	FA-2 Class A 1/8" Traprock	Ton	1,775	\$ 45.99	\$ 81,632.25

BITUMINOUS EMULSION

Item No.	Item Description	Unit	Quantity	Unit Price	Extension
1.	CRS-2P-Cationic Emulsion	Gal	47,350	\$ 3.15	\$ 149,152.50

TRAFFIC SIGNS

Item No.	Item Description	Unit	Quantity	Unit Price	Extension
1.	Traffic Control	Sign	30	\$ 100.00	\$ 3,000.00

SECOND SWEEPING

Item No.	Item Description	Unit	Quantity	Unit Price	Extension
1.	Second Sweeping	LS	1	\$ 1,000.00	\$ 1,000.00

TOTAL SEAL COATING - PAYMENT 1 \$234,784.75

PROPOSED

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF SHOREVIEW, MINNESOTA**

HELD SEPTEMBER 6, 2016

* * * * *

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on September 6, 2016, at 7:00 p.m. The following members were present:

and the following members were absent:

Member introduced the following resolution and moved its adoption.

**RESOLUTION NO. 16-81
APPROVING FINAL PAYMENT
2016 STREET SEAL COAT
PROJECT 16-04**

WHEREAS, on June 6, 2016, a contract was awarded to Pearson Bros. Inc., in the amount of \$264,907.57, for the 2016 Street Seal Coat Project, and,

WHEREAS, the contractor, Pearson Bros. Inc., has completed all work on the project in the amount of \$ 234,784.75 and is now requesting final payment, in the amount of \$ 8,752.68, and

WHEREAS, visual inspections have been completed and have shown the work to be acceptable, and

WHEREAS, the Director of Public Works has recommended approval of the Contractor Payment No.2 (Final).

NOW, THEREFORE, BE IT RESOLVED by the City Council of Shoreview, Minnesota:

That Contractor Payment No. 2 (Final), in the amount of \$ 8,752.68, for the 2016 Street Seal Coat Project 16-04 is hereby approved.

The motion for the adoption of the foregoing resolution was duly seconded by Member _____ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

WHEREUPON, said resolution was declared duly passed and adopted this 6th day of September, 2016.

STATE OF MINNESOTA)
)
COUNTY OF RAMSEY)
)
CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City Council held on the 6th day of September, 2016, with the original thereof on file in my office and the same is a full, true and complete transcript herefrom insofar as the same relates to the approval of Contractor Payment No.2 (Final) for the 2016 Street Seal Coating Project 16-04.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 7th day of September, 2016.

Terry C. Schwerm
City Manager

SEAL

PROPOSED MOTION

MOVED BY COUNCILMEMBER _____

SECONDED BY COUNCILMEMBER _____

authorizing execution of a Professional Services Agreement with Barr Engineering Co. for engineering activities associated with a pond/wetland assessment prioritization study.

ROLL CALL:	AYES	NAYS
JOHNSON	_____	_____
QUIGLEY	_____	_____
SPRINGHORN	_____	_____
WICKSTROM	_____	_____
MARTIN	_____	_____

TO: MAYOR, CITY COUNCIL, AND CITY MANAGER

FROM: TOM WESOLOWSKI, CITY ENGINEER

DATE: SEPTEMBER 1, 2016

SUBJECT: AUTHORIZE PROFESSIONAL SERVICES AGREEMENT FOR
POND/WETLAND ASSESSMENT PRIORITIZATION STUDY

INTRODUCTION

Professional services are required to complete an assessment of the converted wetlands and constructed ponds that are used to treat stormwater as part of the City's stormwater collection and treatment system. Staff has identified the necessary services and recommends that the City Council authorize approval of a professional services agreement with Barr Engineering Company.

DISCUSSION

A majority of the City's stormwater collection and treatment system that was constructed in the 1980's, 90's and early 2000's included the conversion of existing wetlands or the construction of ponds to treat stormwater runoff. The function of the ponds and converted wetlands is to provide storage and capture and remove sediment and nutrients to protect higher quality water bodies farther downstream. Over time sediment collects in the ponds and wetlands and reduces the storage capacity and treatment effectiveness. Currently the City inspects and maintains 131 treatment ponds and/or converted wetlands.

Many of the City's ponds have naturally accumulated sediment and require the sediment to be removed to restore the designed storage and treatment capacity. The City has started to complete sediment removal projects, but due to the cost can only remove sediment from a couple of ponds each year. Further, due to concerns for PAH contaminated sediment, the cost associated with collecting and disposing of dredged materials have increased dramatically in recent years.

City staff inspects the ponds each year and based on the observed condition determines what ponds should be cleaned. Other considerations such as location of the pond and where the pond discharges are also used to determine the priority. This process has worked, but is a bit arbitrary. Given the age of the infrastructure and limited funding, staff needs better methods and tools to help ensure that efforts to determine the priority are being done in the most effective way.

City staff is recommending an assessment prioritization study be completed for the existing ponds and wetlands to determine the order in which sediment removal projects be completed. A standardized assessment criteria will be created that will include information such as drainage area, land use, soil type, location, and quality of downstream water bodies. The prioritized list will ensure the limited funds available for sediment removal projects will be providing the most benefit to the City's stormwater treatment system.

The estimated cost for the study is \$30,000 and will be funded through the City's surface water fund. The proposal from Barr Engineering for the prioritization study is attached.

RECOMMENDATION

It is recommended that the City Council approve the attached motion authorizing a professional services agreement with Barr Engineering Company for engineering services associated with a pond/wetland assessment prioritization study.



August 12, 2016

Mr. Tom Wesolowski
City Engineer
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

Re: Request for proposal—pond/wetland assessment prioritization study

Dear Mr. Wesolowski:

Thank you for the opportunity to respond to your request for engineering services. Since the early 1960s, Barr has worked with more than 150 municipalities and over 20 watershed management organizations, including the Ramsey-Washington Metro Watershed District (RWMWD). We look forward to working with you to help address your city-wide modeling needs and meet your pond/wetland maintenance goals.

We understand that the City of Shoreview (City) is interested in developing a tool to help prioritize the assessment of the significant ponds and wetlands throughout the City for future maintenance efforts. This project can build on the work we have already completed for the portions of the City that are within the RWMWD. The bulk of the effort for this proposed project lies in creating a P8 model for the areas of the City that are within the Rice Creek Watershed District (RCWD), using HMS modeling work that has already been completed by others.

As we have discussed, we anticipate that not all of the information needed for the creation of a City-wide P8 model will be available. We will, at times, have to make assumptions that can be corrected later, as more information is available. The paragraphs below describe the assumptions we assume we may have to make- they are reflected in our cost estimate for the work.

Drainage areas

We will assume that the current drainage areas in the HMS models are correct, limiting the subdivision of drainage divides to 10 areas in cases where a significant pond or wetland is not currently modeled in HMS. We will assume that the drainage directions in the HMS model/flow arrows in the City's existing GIS information are correct and will assume that no tailwater/backflow/complex hydraulics exist in the system unless you inform us of areas with complex hydraulics.

Pond/wetland outlet information

If outlet pipe data exists for ponds and wetlands, we will use that information in the P8 model instead of the HMS model rating curve. If no outlet pipe data exists for certain ponds and wetlands, we will use the existing HMS rating curve. If the HMS rating curve is too coarse for P8 (and results in a runtime error), we will add more "steps" to the rating curve using linear interpolation. If this assumption generates unlikely results, we will assume an outlet pipe size and will make note of where we have done so in the technical memo report deliverable.

Land use/soil type

We will assume that the land use information in the HMS model is correct. If we need to create new land use information for subdivided drainage areas, we will assume a soil type of A or A/D, based on county soil survey information, combined with available Met Council land use information for the year 2020.

Pond/wetland bathymetry

If bathymetric data exists from as-builts or past dredging activities, we will use that information in the P8 model. If no information exists, we will make an assumption on bathymetry based on the size of the waterbody, and its wetland type. We assume that no additional ponds/wetlands will need to be added to the P8 model that has already been made for City areas within the RWMWD.

Project scope

We envision the following tasks for creating your City-wide P8 model and pond/wetland assessment prioritization tool.

(Note: Tasks 1 through 5 pertain only to the parts of Shoreview that are within the RCWD).

Task 1: Reviewing existing data and HMS models and generating data request list for the City, including as-builts and pond/wetland outlets and overflows.

Task 2: Conducting interim meeting with City staff to discuss ponds and wetlands to be modeled, and to present the data request list to City staff.

Task 3: Refining drainage divides based on ponds/wetlands to be modeled. In most cases, the ponds and wetlands that we model will be at the terminus of existing drainage areas. We will subdivide up to 10 drainage areas to accommodate additional ponds and wetlands in to the City-wide P8 model in RCWD areas.

Task 4: Generating device (pond/wetland) inputs using LiDAR data to create storage curves where as-built information is not available.

Task 5: Generating hydrologic inputs for drainage areas.

Task 6: Running Shoreview P8 models for RCWD areas and combining results with existing Shoreview P8 models for RWMWD areas.

Task 7: Completing an assessment prioritization table for all modeled ponds and wetlands throughout the City (both RCWD and RWMWD areas together).

Task 8: Developing a technical memo that outlines project methodology, modeling assumptions, and prioritized table of pond/wetlands for assessment. This table will be in the same format as the table the City has already received for the ponds/wetlands in the RWMWD. The City will be able to use the table of ponds and wetlands to prioritize which waterbodies should be assessed (inspected and surveyed) for maintenance activities in the future (the table will indicate which ponds/wetlands should be *assessed*, not necessarily that they need to be *maintained*). As a part of the technical memo, we will include a brief discussion of the process for permitting dredging in both ponds and wetlands.

We propose to complete this work for an estimated total not to exceed \$30,000.

Thank you for your consideration of our proposal. We look forward to helping the City of Shoreview with this project.

Sincerely,



Brad Lindaman, PE
Vice President, Principal in Charge
952-832-2808



Erin Anderson Wenz, PE, ENV SP
Project Manager
952-832-2805

2016 fee schedule

Barr's fee schedule, presented below, summarizes the range of billing rates for each of our staffing categories. In many cases, these billing rates represent a wide range, based on varying levels of experience and expertise of staff within these categories. When building a team, appropriate staff are selected with consideration for both applicable experience and staff billing rates to make sure you receive high-value services for a reasonable cost.

Description	2016 rate*
Principal.....	\$145-295
Consultant/Advisor.....	\$155-250
Engineer/Scientist/Specialist III.....	\$125-150
Engineer/Scientist/Specialist II.....	\$95-120
Engineer/Scientist/Specialist I.....	\$65-90
Technician III.....	\$125-150
Technician II.....	\$95-120
Technician I.....	\$50-90
Support Personnel II.....	\$95-150
Support Personnel I.....	\$50-90

*Rates do not include sales tax on services that may be required in some jurisdictions.

Rates for litigation support services will include a 30% surcharge.

A ten percent (10%) markup will be added to subcontracts for professional support and construction services to cover overhead and insurance surcharge expenses.

Invoices are payable within 30 days of the date of the invoice. Any amount not paid within 30 days shall bear interest from the date 10 days after the date of the invoice at a rate equal to the lesser of 18 percent per annum or the highest rate allowed by applicable law.

Reimbursable expenses including, but not limited to, the actual and reasonable costs of transportation, meals, lodging, parking costs, postage, and shipping charges will be billed at actual cost. Materials and supplies charges, printing charges, and equipment rental charges will be billed in accordance with Barr's standard rate schedules. Mileage will be billed at the IRS-allowable rate.

Key personnel



Brad Lindaman, PE, Vice President, Principal in Charge

Brad's nearly 30 years of experience in civil engineering encompass drainage and surface water quality studies, design development and review, contract development and administration, and construction management and quality control. Brad serves as the primary consulting engineer for the Ramsey-Washington Metro Watershed District, managing Barr's work, reviewing grading-permit applications, assisting with day-to-day operations, and overseeing capital improvement projects. He has managed multiple waterski lake design projects including water-balance studies, water-needs assessments, soil investigations, and embankment designs. He has also led the development of lake management plans and managed numerous golf course improvement projects involving roadway and feature redesign, wetland replacement, and stormwater management.



Erin Anderson Wenz, PE, ENV SP Project Manager

Erin has nearly 20 years of experience working on projects involving hydraulics and hydrology, including both stormwater and lake water quality modeling for watershed districts and municipalities. She has managed strategic lake management plans as well as total maximum daily load studies for numerous Minnesota lakes. She also develops stormwater management plans and designs and constructs low-impact development features such as rain gardens, porous pavement, and tree trenches. For the Ramsey-Washington Metro Watershed District, Erin is currently managing the retrofit of rain gardens on commercial and school properties within the district. She also developed a watershed restoration and protection strategies (WRAPS) report and managed the design and construction of low-impact development features at Maplewood Mall.



Michael McKinney, Project Engineer

Michael's background includes a wide range of water resources-related disciplines, from open-channel engineering and environmental engineering chemistry to hydrologic modeling and low-impact development for nonpoint-source pollution control. At Barr, he specializes in hydrologic and hydraulic modeling and water quality modeling and has gained experience in stream restoration, stormwater best management practice design, in-lake water quality modeling, and flood risk analysis. For the Ramsey-Washington Metro Watershed District, Michael updated XP-SWMM and Barr watershed models, including incorporating Atlas 14 precipitation depths and distributions, and designed and developed a pond performance and assessment prioritization study.

Thank you for retaining us. We will do our best to justify your expression of confidence in us. This letter, together with our Standard Terms (attached) sets forth the Agreement between the City of Shoreview (Client) and Barr Engineering Co. (Barr) regarding the Shoreview Pond/Wetland Assessment Prioritization Study.

This Agreement will be effective for the duration of the services or until August 1, 2017, whichever comes first, unless earlier terminated by either you or us. We will commence work upon receipt of a copy of this letter signed by you. The estimated schedule for the services is that all tasks will be completed by December 31, 2016. We will inform you of our progress by a monthly progress report that accompanies each invoice.

For the services provided, you will pay us according to the attached Standard Terms. We will bill you monthly. The cost of the services will not exceed \$30,000 USD without prior approval by you.

We understand you have the authority to direct us. We will direct communications to you at the address on this letter. Direction should be provided to Erin Anderson Wenz at the letterhead address.

During the term of this Agreement, Barr agrees to maintain with a company or companies lawfully authorized to do business in the jurisdiction in which the project is located, the type of insurance and policy limits as set forth below (USD):

Workers' Compensation and Employers' Liability

1. Coverage A: Per State Statute
2. Coverage B: \$500,000 Each Accident
\$500,000 Disease – Policy Limit
\$500,000 Disease – Each Employee

Commercial General Liability

1. \$2,000,000 General Aggregate
2. \$2,000,000 Products – Completed Operations Aggregate
3. \$1,000,000 Each Occurrence
4. \$1,000,000 Personal Injury

Commercial Automobile Liability

1. \$1,000,000 Combined Single Limit Bodily Injury and Property Damage

The Commercial Automobile Liability shall provide coverage for the following automobiles:

1. All Owned Automobiles
2. All Non-Owned Automobiles
3. All Hired Automobiles

Umbrella Liability

1. \$10,000,000 Each Claim
\$10,000,000 Annual Aggregate
2. The Umbrella Liability shall provide excess limits over and above the Commercial General Liability, Employers' Liability and Commercial Automobile Liability limits as stated in this article.

Professional Liability/Pollution Incident Liability

Professional Liability errors and omissions insurance including Pollution Incident Liability coverage with limits of not less than \$5,000,000 Per Claim / \$5,000,000 Aggregate.

Certificates of Insurance

Certificates of Insurance shall be provided upon request.

Barr and Client waive all rights against each other, their subcontractors, agents, and employees, and the other's consultants, separate contractors, and their subcontractors, agents, and employees for losses or damages covered by property or casualty insurance, commercial general liability, or Builder's Risk insurance. This waiver of subrogation shall be effective notwithstanding any duty of indemnity.

If this Agreement is satisfactory, please sign the enclosed copy of this letter in the space provided, and return it to us. This Agreement will be open for acceptance until October 31, 2016, unless earlier withdrawn by us.

Sincerely yours,

BARR ENGINEERING CO.



Brad Lindaman,

Its Vice President

Accepted this _____ day of _____, 20__

City of Shoreview

By _____

Its _____

Attachments

Standard Terms—Professional Services



STANDARD TERMS—PROFESSIONAL SERVICES

Our Agreement with you consists of the accompanying letter or other authorization, Work Orders, and these Standard Terms – Professional Services.

Section 1: Our Responsibilities

- 1.1 We will provide the professional services ("Services") described in this Agreement. We will use that degree of care and skill ordinarily exercised under similar circumstances by reputable members of our profession practicing in the same locality.
- 1.2 We will select the means, methods, techniques, sequences, or procedures used in providing our Services. If you direct us to deviate from our selections, you agree to hold us harmless from claims, damages, and expenses arising out of your direction.
- 1.3 We will acquire all licenses applicable to our Services and we will comply with applicable law.
- 1.4 Our duties do not include supervising your contractors or commenting on, supervising, or providing the means and methods of their work unless we accept any such duty in writing. We will not be responsible for the failure of your contractors to perform in accordance with their undertakings.
- 1.5 We will provide a health and safety program for our employees, but we will not be responsible for contractor, job, or site health or safety unless we accept that duty in writing.
- 1.6 Estimates of our fees or other project costs will be based on information available to us and on our experience and knowledge. Such estimates are an exercise of our professional judgment and are not guaranteed or warranted. Actual costs may vary. You should add a contingency.
- 1.7 The information you provide to us will be maintained in confidence except as required by law.

Section 2: Your Responsibilities

- 2.1 You will provide access to property as required.
- 2.2 You will provide us with prior reports, specifications, plans, changes in plans, and information about the project which may affect the delivery of our Services. You will hold us harmless from claims, damages, and related expenses, including reasonable attorneys' fees, involving information not timely called to our attention or not correctly shown on documents you furnished to us.
- 2.3 You agree to provide us with emergency procedure information and information on contamination and dangerous or hazardous substances or processes we may encounter in performing the Services.
- 2.4 You agree to hold us harmless as to any claim that we are an owner, operator, generator, transporter, treater, storer, or a disposal facility within the meaning of any law governing the handling, treatment, storage, or disposal of dangerous or hazardous materials.
- 2.5 Site remediation services may involve risk of contamination of previously uncontaminated air, soil, or

water. If you are requesting that we provide services that include this risk, you agree to hold us harmless from such contamination claims, damages, and expenses, including reasonable attorneys' fees, unless the loss is caused by our negligence.

- 2.6 You agree to make disclosures required by law. If we are required by law or legal process to make such disclosures, you agree to hold us harmless and indemnify us from related claims and costs, including reasonable attorneys' fees.

Section 3: Reports and Records

- 3.1 We will retain analytical data relating to the Services for seven years and financial data for three years.
- 3.2 Monitoring wells are your property and you are responsible for their permitting, maintenance and abandonment unless we accept that duty in writing. Samples remaining after tests are conducted and field and laboratory equipment that cannot be adequately cleansed of contaminants are your property. They will be discarded or returned to you, at our discretion, unless within 15 days of the report date you give written direction to store or transfer the materials at your expense.
- 3.3 Our reports, notes, calculations, and other documents, and our computer software and data are instruments of our Services, and they remain our property, subject to a license to you for your use in the related project for the purposes disclosed to us. You may not use or transfer our reports to others for a purpose for which they were not prepared without our written approval. You agree to indemnify and hold us harmless from claims, damages, and expenses, including reasonable attorneys' fees, arising out of any unauthorized transfer or use.
- 3.4 Because electronic documents may be modified intentionally or inadvertently, you agree that we will not be liable for damages resulting from change in an electronic document occurring after we transmit it to you. In case of any difference or ambiguity between an electronic and a paper document, the paper document shall govern. When accepting document transfer in electronic media format, you accept exclusive risk relating to long-term capability, usability, or readability of documents, software application packages, operating systems, and computer hardware.
- 3.5 If you do not pay for the Services in full as agreed, we may retain reports and work not yet delivered to you and you agree to return to us our reports and other work in your possession or under your control. You agree not to use or rely upon our work for any purpose until it is paid for in full.

Section 4: Compensation

- 4.1 You will pay for the Services as agreed upon or according to our then current fee schedules if there is no other written agreement as to price. An estimated cost is

not a firm figure unless stated as such and you should allow for a contingency in addition to estimated costs.

- 4.2 You agree to notify us of billing disputes within 15 days and to pay undisputed portions of invoices within 30 days of invoice date. For balances not paid under these terms, you agree to pay interest on unpaid balances beginning 10 days after invoice date at the rate of 1.5% per month, but not to exceed the maximum rate allowed by law.
- 4.3 If you direct us to invoice another, we will do so, but you agree to be responsible for our compensation unless you provide us with that person's written acceptance of the terms of our Agreement and we agree to extend credit to that person.
- 4.4 You agree to compensate us in accordance with our fee schedule if we are asked or required to respond to legal process arising out of a proceeding to which we are not a party.
- 4.5 If we are delayed by factors beyond our control, or if the project conditions or the scope of work change, or if the standards change, we will receive an equitable adjustment of our compensation.
- 4.6 In consideration of our providing insurance to cover claims made by you, you hereby waive any right of offset as to payment otherwise due us.

Section 5: Disputes, Damage, and Risk Allocation

- 5.1 Each of us will exercise good faith efforts to resolve disputes without litigation. Such efforts will include a meeting attended by each party's representative empowered to resolve the dispute. Disputes (except collections) will be submitted to mediation as a condition precedent to litigation.
- 5.2 We will not be liable for special, incidental, consequential, or punitive damages, including but not limited to those arising from delay, loss of use, loss of profits or revenue, loss of financing commitments or fees, or the cost of capital. Each of us waives against the other and its subcontractors, agents, and employees all rights to recover for losses covered by our respective property/casualty or auto insurance policies.
- 5.3 We will not be liable for damages unless you have notified us of your claim within 30 days of the date of your discovery of it and unless you have given us an opportunity to investigate and to recommend ways of mitigating damages, and unless suit is commenced within two years of the earlier of the date of injury or loss and the date of completion of the Services.
- 5.4 For you to obtain the benefit of a fee which includes a reasonable allowance for risks, you agree that our aggregate liability will not exceed the fee paid for our services or \$50,000, whichever is greater, and you agree to indemnify us from all liability to others in excess of that amount. If you are unwilling to accept this allocation of risk, we will increase our aggregate liability to \$100,000 provided that, within 10 days of the date of our Agreement, you provide payment in an amount that will increase our fees by 10%, but not less than \$500, to compensate us for the greater risk undertaken. This

increased fee is not the purchase of insurance.

- 5.5 If you fail to pay us within 60 days following invoice date, we may consider the default a total breach of our Agreement and, at our option, we may terminate all of our duties without liability to you or to others.
- 5.6 If we are involved in legal action to collect our compensation, you agree to pay our collection expenses, including reasonable attorneys' fees.
- 5.7 The law of the state in which the project site is located will govern all disputes. Each of us waives trial by jury. No employee acting within the scope of employment shall have any individual liability for his or her acts or omissions and you agree not to make any claim against individual employees.

Section 6: Indemnification

- 6.1 Each of us will indemnify and hold harmless the other from and against demands, damages, and expenses to the comparative extent they are caused by the negligent acts, omissions, or breach of contract of the indemnifying party or of those others for whom the indemnifying party is legally responsible.
- 6.2 To the extent that may be necessary to indemnify either of us under Section 6.1, you and we expressly waive, in favor of the other only, any immunity or exemption from liability that exists under any worker compensation law.

Section 7: Miscellaneous Provisions

- 7.1 We will provide a certificate of insurance to you upon request. Any claim as an Additional Insured shall be limited to losses caused by our sole negligence.
- 7.2 This Agreement is our entire agreement, and it supersedes prior agreements. Only a writing signed by both of us making specific reference to the provision modified may modify it.
- 7.3 Neither of us will assign this Agreement without the written approval of the other. No other person has any rights under this Agreement.
- 7.4 A writing may terminate this Agreement. We will receive an equitable adjustment of our compensation if our work is terminated prior to completion as well as our fees and expenses on the basis agreed upon through the effective date of termination.
- 7.5 We will not discriminate against any employee or applicant for employment because of race, color, creed, national origin, sex, religion, age, genetic information, marital status, sexual orientation, gender identity, familial status, disability, status with regard to public assistance, membership or activity in a local human-rights commission, or status as a protected veteran. We will take affirmative action to ensure that applicants are considered, and employees are treated during their employment, without regard to those factors. Our actions will include, but are not limited to notifications, hiring, promotion or employment upgrading, demotion, transfer, recruitment or recruitment advertising, layoffs or terminations, rates of pay and other forms of compensation, and selection for training or apprenticeship.

End of Standard Terms

PROPOSED MOTION

MOVED BY COUNCILMEMBER _____

SECONDED BY COUNCILMEMBER _____

to approve an amendment in the amount of \$170,000 to the Professional Services Agreement with Advanced Engineering and Environmental Services, Inc. (AE2S) for activities relating to Water System Improvements – Water Treatment Plant, City Project 14-02.

ROLL CALL:	AYES	NAYS
JOHNSON	_____	_____
QUIGLEY	_____	_____
SPRINGHORN	_____	_____
WICKSTROM	_____	_____
MARTIN	_____	_____

REGULAR COUNCIL MEETING
SEPTEMBER 6, 2016
TEW

TO: MAYOR, CITY COUNCIL, AND CITY MANAGER

FROM: MARK MALONEY - PUBLIC WORKS DIRECTOR
TOM WESOLOWSKI – CITY ENGINEER

DATE: SEPTEMBER 1, 2016

SUBJ: AMENDMENT TO PROFESSIONAL SERVICES AGREEMENT
WATER SYSTEM IMPROVEMENTS – WATER TREATMENT PLANT,
CITY PROJECT 14-02

INTRODUCTION

A consultant hired by the City has been providing design, construction management, and instrumentation and control services for the public infrastructure improvements associated with Water System Improvements – Water Treatment Plant, City Project 14-02. Additional services beyond the scope of the original agreement are required and an amendment to the professional services agreement has been prepared. City Council approval of the amendment is recommended at this time.

BACKGROUND

At its November 3, 2014 meeting the City Council authorized a professional services agreement with Advanced Engineering and Environmental Services, Inc. (AE2S) for design and bidding services related to Water System Improvements – Water Treatment Plant, City Project 14-02 in the amount of \$941,200. In June of 2015 the Council approved an amendment to the original agreement in the amount of \$652,345 for construction phase and supervisory control and data acquisition (SCADA) programming services.

DISCUSSION

During the construction of the water treatment plant additional design and construction services were needed to address changes and additions to the water treatment plant and existing City water supply infrastructure. Including, but not limited to, design changes for interior and exterior piping and the site layout based on comments from the Minnesota Department of Health, that were received after the project was bid. Design changes were also required to address electrical upgrades at the existing booster station and additional infrastructure at City wells to allow the meters to accurately measure the water that is pumped out of the wells as well as other miscellaneous upgrades to existing water supply infrastructure.

With the construction of the water treatment plant, the SCADA hardware and software that control the operation of the City's water supply infrastructure will be upgraded to include

the operation of the water treatment plant. The communication portion of the SCADA system that allows the water supply infrastructure to provide information back to the main computer is based on older technology. Newer technology is available and the existing infrastructure can be upgraded to provide more reliable and redundant communication. Given the upgrades required to the SCADA system, to accommodate the water treatment plant, there is an economy to complete the upgrades to the existing water supply infrastructure at this time.

The amendment breaks down into two phases; design and construction phase services (\$86,000), and SCADA communication upgrades (\$84,000). The cost for the SCADA upgrades includes supply and installation of hardware and required programming. Please refer to the attached letter from AE2S detailing the break-down of the amendment.

Current funding for the project can accommodate the additional cost associated with the proposed amendment.

RECOMMENDATION

It is recommended that the City Council approve the attached motion approving the amendment to the Professional Services Agreement with AE2S, Inc. for design and construction phase services and instrumentation and control services relating to Water System Improvements – Water Treatment Plant, City Project 14-02.



August 25, 2016

Tom Wesolowski, PE
City Engineer
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

**RE: Additional Services and Request for Professional Services Amendment
Shoreview Water Treatment Plant
City of Shoreview, Minnesota**

Dear Mr. Wesolowski:

Over the past two years, the AE2S project team, MBI, GM Contracting, and representatives of the City of Shoreview have worked together closely on the successful construction of the Shoreview WTP and Well No. 6 raw water pipeline. The project Design Phase was initiated in December 2013. As of August 1, 2016 the WTP project is nearly complete and only limited construction items remain to be addressed. The Well No. 6 raw water pipeline has reached substantial completion and will be fully complete this fall. The project team is anticipating substantial completion of the WTP in October. AE2S is committed to continuing working with the City of Shoreview to bring every aspect of this Project to satisfactory completion. However, AE2S is respectfully requesting compensation for the professional services associated with additional services performed throughout the Design, and Construction Phases of this Project that were outside of the originally agreed Scope of Services.

To the greatest extent possible, additional services were accomplished within the professional fees established in the original project Agreement, and estimated Professional Fees were transferred between project Phases to accommodate initial additional services. As the project nears completion, actual fees required to complete the desired scope of services can be more accurately identified and associated professional fees have been adjusted.

This letter provides an overview of the Additional Services provided in association with Shoreview WTP and Well No. 6 raw water pipeline projects, and identifies the work remaining to complete the project.

There were numerous items that developed throughout the project that were not included in the original Agreement, but were deemed in the best interest of the City of Shoreview to be completed. Additional Services included, but were not limited to:

- Professional Design and Construction Phase services associated with improvements implemented throughout the project.
 - Some improvements were designed and implemented into the Construction Project.
 - Some improvements were designed, but ultimately not incorporated into the Project, if they were determined to have an associated cost that outweighed the value.

Advanced Engineering and Environmental Services, Inc.

6901 East Fish Lake Road Suite 184 • Water Tower Place Business Center • Maple Grove, MN 55369 • (t) 763-463-5036 • (f) 763-463-5037

Mr. Tom Wesolowski

City Engineer

**RE: Additional Services and Request for Professional Services Amendment
Shoreview Water Treatment Plant
City of Shoreview, Minnesota**

August 25, 2016

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- Extensive regulatory coordination to secure approval from Xcel Energy, Ramsey County, the Department of Natural Resources, and the Rice Creek Watershed District for the most advantageous Well No. 6 Transmission Pipeline alignment.
- Professional Design and Construction Phase services for meter vault systems at Wells No. 3 and 4. The construction value for these meter vaults is approximately \$75,748.57.
- Represent the City of Shoreview in working with EIM and MBI to coordinate the construction of fiber optic communication ring around the Maintenance facility and the WTP, concurrent with WTP construction. This included a directional drilling estimate, potential alignment evaluation, control system coordination, and Contractor coordination.
- Development of a comprehensive Operations Manual and expanded training program to assist Shoreview operators in the operation of a new WTP and improve operational understanding of the WTP.
- Reimbursement for fees paid to regulatory agencies for plan review and permit approval.

As of August 1st, the AE2S Professional Services Agreement amount is approximately 94-percent expended. AE2S's total costs including labor, expenses and sub consultants total approximately \$1,498,145. The current Contract with the City of Shoreview is for \$1,593,545. The balance of \$95,400 is insufficient to provide for remaining Construction Observation Services, Start-up Services, I&C System Programming, Project Close-Out, and Warranty Phase Services.

The Project construction is scheduled to be Substantially Complete in October 2016 with Final Completion in December. Between now Project Completion, continued construction observation and startup services will be required. We anticipate the following staffing requirements through November:

- Randy Leppala - 40 hours/month through November = Total 160 Hours
- Aaron Vollmer - 40 hours/ month plus 120 hours in October for startup = Total 240 Hours
- Nancy Zeigler – 4 Hours in October for Pipeline project closeout items
- Grant Meyer – 5 Hours in October for startup assistance
- Del DeBoer – 20 Hours in October for startup assistance and training

Mr. Tom Wesolowski
City Engineer

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Based on the original Scope of Services, work completed to date, and the Contractors proposed Project completion schedule, AE2S is respectfully requesting an additional \$86,000 in Professional Services fees to complete the Project. The major task items remaining are as follows:

Additional Services Requested	Professional Fees
Shoreview Water Treatment Plant Construction Services	
○ Remaining Construction Services Needs <ul style="list-style-type: none">▪ Construction Observation▪ Construction Administration▪ Start-Up Services▪ Training▪ Project Close-Out	\$78,000
○ Remaining I&C Services Budget	\$79,000
○ Remaining Post Construction Budget	\$24,400
Subtotal	\$181,400
• Remaining Professional Services Budget	(\$95,400)
Construction Services Subtotal	\$86,000

Shoreview Well Communication Services Improvements

In addition to the Additional Services and remaining work as outlined above, City of Shoreview representatives and AE2S have also worked together to coordinate control system improvements to the six (6) wells that comprise the City's raw water supply system.

As Shoreview requested, AE2S is prepared to provide professional services for Supervisory Control and Data Acquisition (SCADA) programming and commissioning, as further described below, for existing Wells 2, 3, 4, 5, 6, and 7.

AE2S will perform the following professional services as authorized by the City of Shoreview:

1. Controls engineering and design.
2. Replace existing Allen-Bradley serial-only SLC programmable logic controller (PLC) with Allen-Bradley Micrologix 1100 Ethernet PLC.
3. Provide and install additional input/output (I/O) modules for PLC.
4. Perform PLC programming for Wells 2-7, South Tower, and Water Treatment Plant (WTP) PLC's as more fully described by the Sequence of Operation.
5. Replace existing Allen-Bradley serial-only Panelview operator interface terminal (OIT) with Allen-Bradley Panelview Plus 6" Ethernet OIT.
6. Provide and install Ethernet switch (fiber/Ethernet switch for Well 3 and Well 5).
7. Perform OIT programming.
8. Startup and commissioning.
9. Provide final as-built control panel drawings.

Mr. Tom Wesolowski
 City Engineer

**RE: Additional Services and Request for Professional Services Amendment
 Shoreview Water Treatment Plant
 City of Shoreview, Minnesota**

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A breakdown of the estimated labor, Equipment, and Construction costs for the Scope of Services is as follows:

Additional Services Requested	Professional Fees
Shoreview Well Communication Services Improvements	
• Total Professional Services	\$49,900.00
• Total Equipment Cost	\$27,600.00
• Total Construction Cost	\$6,500.00
Well Communication Subtotal	\$84,000

All work associated with the Shoreview Wells Control Hardware would be completed this fall in conjunction with the WTP startup in October.

Professional Service Fee Requested

AE2S is respectfully requesting compensation for professional services previously provided and for the additional services explained above to be completed on a cost plus basis to the Not to Exceed amount of One Hundred and Seventy Thousand Dollars (\$170,000.00). An outline of the primary scope items is provided in the following table.

Additional Services Requested	Professional Fees
Shoreview Water Treatment Plant Construction Services	
○ Remaining Construction Service Needs	\$78,000
○ Remaining I&C Services Budget	\$79,000
○ Remaining Post Construction Budget	\$24,400
Subtotal	\$181,400
• Remaining Professional Services Budget	(\$95,400)
Construction Services Subtotal	\$86,000
Shoreview Well Communication Services Improvements	
• Total Professional Services	\$49,900.00
• Total Equipment Cost	\$27,600.00
• Total Construction Cost	\$6,500.00
Well Communication Subtotal	\$84,000
Total Professional Services	\$170,000

Mr. Tom Wesolowski
City Engineer

**RE: Additional Services and Request for Professional Services Amendment
Shoreview Water Treatment Plant
City of Shoreview, Minnesota**

August 25, 2016
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Authorization

Upon authorization by the City of Shoreview, AE2S will work with City officials to prepare an Amendment to the Engineering Services Agreement Between Owner and Engineer for Professional Services. The official Agreement will be returned to the City of Shoreview for final review and authorization.

AE2S has worked extensively over the past several years to support the City of Shoreview and assist in determination of the most cost effective project improvements in an effort to achieve a lower overall project cost while improving capacity, quality and condition of the Shoreview water system. The project design team has strived to provide maximum benefit and provide a high level of value throughout the continued project efforts.

AE2S is committed to working with the City of Shoreview on the implementation of a successful Shoreview Water Treatment Plant Project that will reliably serve the City for several decades. AE2S truly appreciates the opportunity to continue working with you to complete this important project for the City of Shoreview. Should you have any questions or comments regarding this request for additional services or the project in general, please feel free to contact me.

Submitted in Service,
AE2S



Aaron Vollmer, P.E.
Operations Manager

PROPOSED MOTION

MOVED BY COUNCILMEMBER _____

SECONDED BY COUNCILMEMBER _____

To award the quote for the site work for the Wilson Park playground to Odessa II in the amount of \$63, 070.00 and the alternate quote in the amount of \$9,065.00.

ROLL CALL:	AYES _____	NAYS _____
JOHNSON	_____	_____
QUIGLEY	_____	_____
SPRINGHORN	_____	_____
WICKSTROM	_____	_____
MARTIN	_____	_____

TO: MAYOR AND COUNCILMEMBERS

**FROM: TERRY SCHWERM
CITY MANAGER**

DATE: AUGUST 31, 2016

SUBJECT: AWARD OF QUOTE—WILSON PARK PLAYGROUND SITE WORK

INTRODUCTION

The City Council is being asked to approve the quote for the site work related to the replacement of the playground equipment at Wilson Park.

BACKGROUND

At its July 5, 2016 meeting, the City Council approved the playground proposal from Miracle Recreation for the replacement of the playground equipment at Wilson Park. The existing playground is about 20 years old, and the City was no longer able to obtain replacement parts to make repairs. In addition, some of the footings for the playground equipment were heaving due to the freeze/thaw cycles. Further, the Wilson Park playground is one of two playgrounds in the park system that is not accessible to persons with disabilities. The new playground plan is attached.

The site work for its new playground involves the removal of the existing playground equipment, subgrade preparation, construction of concrete sidewalk to the playground area from the parking lot, and concrete curbing around the playground. These site improvements will make the playground area consistent with the recently constructed playgrounds at both Bucher and Sitzer Parks.

WSB and Associates prepared the plans and specifications for these site improvements and solicited quotes on behalf of the City. Listed below are the three quotes that they received for the work.

<u>Company</u>	<u>Base Quote</u>	<u>Alternate</u>
Odessa II	\$63,070.00	\$ 9,065.00
Peterson Companies	\$98,013.70	\$19,698.70
Urban Companies	\$95,950.00	\$15,750.00

Odessa II is the lowest quote for the site work at Wilson Park. Odessa II is the contractor that successfully completed the park improvements at both Sitzer Park and Bucher Park. Staff is therefore recommending that the Council approve the base quote from Odessa II for the site work for the Wilson Park playground area. Staff is also recommending that the Council approve the \$9,065 alternate that will replace a section of trail along the east side of the parking lot to ensure an accessible grade to the playground area. This current trail is in poor condition and does not meet accessibility standards due to the slope on the trail.

RECOMMENDATION

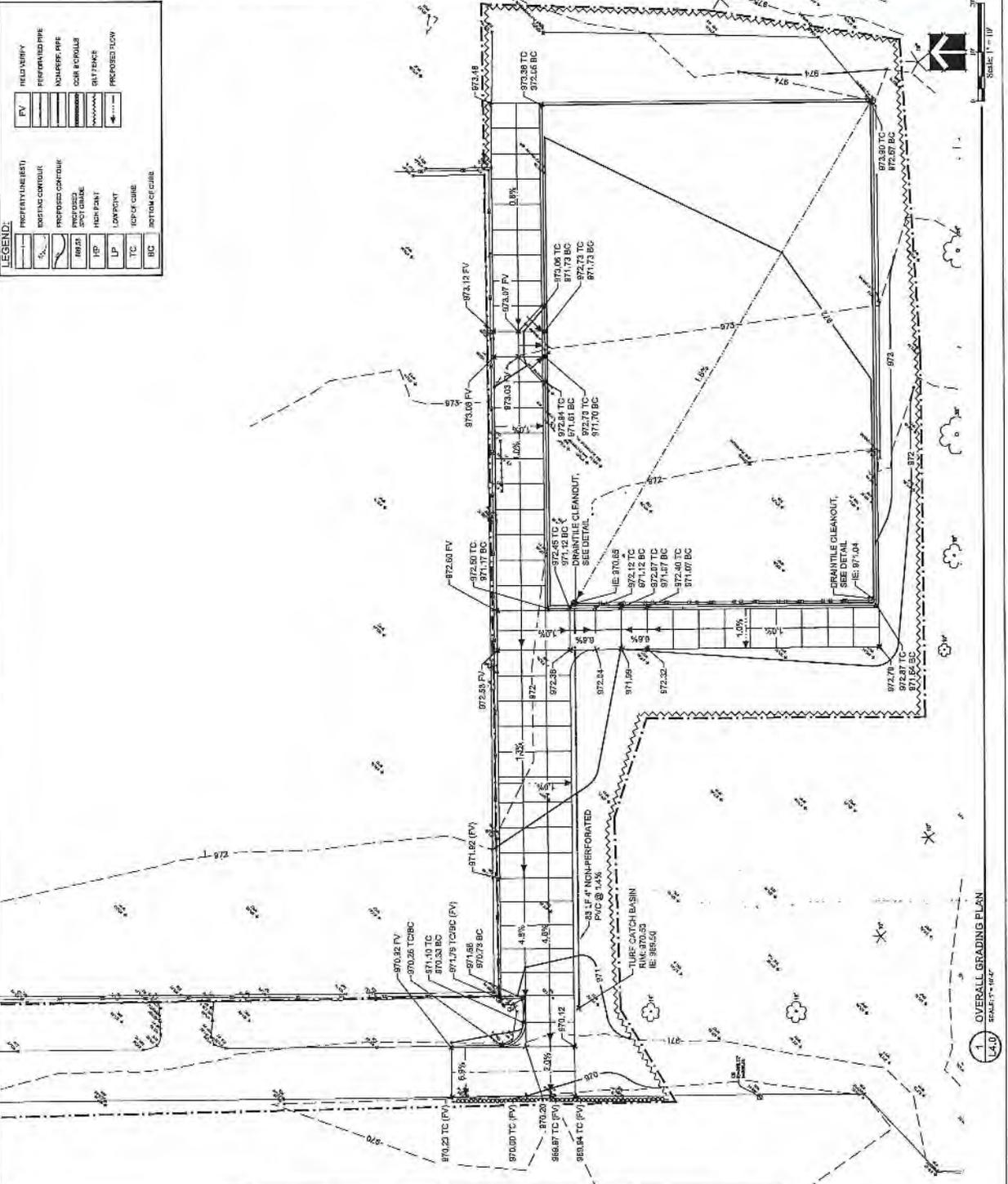
Based on the foregoing information, it is recommended that the Council approve the quote for the site work for the Wilson Park playground to Odessa II in the amount of \$63,070.00 and the alternate quote in the amount of \$9,065.00.



Wilson Park
Shoreview, MN.

CD219351-CD219352





GENERAL NOTES:
SITE SURVEY AND BOUNDARY INFORMATION PROVIDED BY OWNER.
CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION START. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES. ALL LOCATES SHALL BE REVIEWED BY THE OWNER PRIOR TO CONSTRUCTION START.
CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES, UTILITIES, TREES, SITE ANCHORS, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE TO EXISTING ITEMS TO REMAIN (AT CONTRACTOR'S EXPENSE) AND IS CONSIDERED INCIDENTAL TO THE CONTRACT. DIMENSIONS TAKE PRECEDENCE OVER SCALE. FIELD VERIFY (FV) ITEMS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
** ANY DISCREPANCIES FOUND THAT AFFECT THE WORK SHALL BE REPORTED TO THE OWNER L.A.E. FOR CLARIFICATION PRIOR TO ANY ADDITIONAL WORK BEING COMPLETED.

EROSION CONTROL REQUIREMENTS:
EROSION CONTROL SILT FENCING SHALL BE ERECTED ALONG THE INSIDE OF THE CONSTRUCTION LIMITS IN ALL AREAS OF THE SITE WHERE DRAINAGE FLOWS MAY OCCUR. SLOPES SHALL BE SET TO CONSTRUCTION LIMITS - REFER TO PLAN.
THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED INSTALLING AND MAINTAINING EROSION CONTROL BMP'S WITHIN OR AROUND ALL STRUCTURES FOR THE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CLEAN SLOPES AS REQUIRED. DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CLEANING OF ALL MUD, DIRT AND DEBRIS IN PUBLIC STREETS.

TOPSOIL & EARTHWORK REQUIREMENTS:
TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STORED IN A PROTECTED AREA. ALL TOPSOIL SHALL BE FULLY REMOVED FROM AREAS TO BE PAVED AND REPLACED WITH COMPATIBLE SOILS - REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION. NOTE: TOPSOIL SHALL BE STORED IN THE FIELD. STOCKPILE AREA WILL REQUIRE SILT FENCE AROUND IT. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
A MIN. 6" DEPTH OF STOCKPILED TOPSOIL SHALL BE PLACED ON ALL AREAS, EXCLUDING AREAS THAT ARE HARD SURFACED, OR STATED OTHERWISE. THE TOPSOIL SHALL BE FINE GRADED, RANDED AND RECOMPACTED TO THE PROPOSED FINISHED GRADE. FINISHED GRADES SHALL BE WITHIN 0.5 FEET OF INDICATED FINISHED GRADE AND SHALL BE TRUE TO GRADIENTS SHOWN ON PLANS.

SPOT GRADES & DRAINAGE REQUIREMENTS:
THE INTENT OF ALL PROPOSED SPOT GRADES AND GRADINGS IN GENERAL IS TO MATCH EXISTING GRADES ADJACENT TO NEW CONSTRUCTION AND TO ENSURE PROPER DRAINAGE AND BLENDS OF NEW GRADES WITH EXISTING ONES. SPOT GRADES SHALL BE SET TO MATCH EXISTING GRADES AND TO CONFORM WITH THE PLANS. DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM ALL GRADES WITH THE L.A.E. AFTER INITIAL SURVEY / STAKING WORK AND PRIOR TO START OF GRADING OPERATIONS.
REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

Bidder: <i>Odesa II</i>	
Address: <i>9003 Mayhew Lk Rd NE</i>	Telephone No.: <i>320-250-1287</i>
City, State, Zip: <i>Sauk Rapids Mn 56379</i>	Fax No.: <i>NA</i>

QUOTE PROPOSAL FORM
WILSON PARK PLAYGROUND PROJECT
WSB PROJECT NO. 2046-070

Submit Quote by: Wednesday, August 31, 2016 at 1:00 p.m.

Submit Quote to: Candace Amberg
WSB & Associates
701 Xenia Ave. South - Suite 300
Minneapolis, MN 55416

Dear Council Members:

1. The following proposal is made for furnishing and installing all labor and materials necessary for the **Wilson Park Improvement Project** for the City of Shoreview, Minnesota.
2. The undersigned certifies that the Contract Documents, including (but not limited to) the Instructions to Bidders, Proposal Form, General Conditions, Drawings, Written Specifications and Addenda, have been carefully examined, and that the site of the work has been personally inspected. The undersigned declares that the amount and nature of the work to be done is understood, and that at no time will misunderstanding of the Contract Documents be pleaded. On the basis of the Contract Documents, the undersigned proposes to furnish all necessary apparatus and other means of construction, to do all the Work and furnish and install all the materials in the manner specified, and to accept as full compensation therefore the sum of the various products obtained by multiplying each unit price herein bid for the Work or materials, by quantities thereof actually incorporated in the completed project, as determined by the Engineer. The undersigned understands that the quantities mentioned herein are approximate only, and are subject to increase or decrease, and hereby proposes to perform all Work as either increased or decreased, in accordance with the provisions of the specifications, at the unit prices bid in the following proposal schedule, unless such schedule designates lump sum bids. The Project will be awarded based on the lowest sum of base bid PLUS any alternates chosen by the Owner to meet the project budget.
3. PROPOSED SCHEDULE: The Quantities indicated are for the convenience of the Bidder. It shall be the Bidder's responsibility to verify all quantities to their own satisfaction. The Bidder agrees to perform all Work described in the specifications and shown on the plans for the following unit prices:

8. In submitting this proposal, it is understood that the right reserved by the Owner to reject any or all proposals and to waive informalities.

9. A complete list of Subcontractors and Suppliers and Project References must be provided upon request. The Owner reserves the right to request the complete list of Subcontractors and Suppliers and Project References within 48 hours following the bid opening.

10. COMPLETION DATES: The project shall be 100% complete on or before **November 18, 2016**.

11. In submitting this proposal, the Undersigned acknowledges receipt of and has considered the following Addenda issued to the Contract Documents:

Addendum No. ¹ ~~8-29-16~~ (JJ) Dated: 8-29-16

Addendum No. _____ Dated: _____

Addendum No. _____ Dated: _____

If any Addenda are required as determined by the Engineer, it is the responsibility of the Contractor to verify the issuance and receipt of any Addenda, and to properly acknowledge such Addenda in the appropriate location on the Proposal Form.

12. This proposal is made for furnishing and installing all labor and materials necessary for the Wilson Park Improvement Project for the City of Shoreview. The undersigned agrees, if awarded the Contract, to substantially complete the Work subject to the provisions of the Contract Documents, and within the dates of Substantial and Final Completion.

The undersigned operates as a:

Sole Owner: _____ Partnership: _____ Corporation: _____ in the State of: Mn

Other (Specify): LLC

Legal Name and Address of Person(s), Firm or Corporation:

Firm Name: ODESA II

By: [Signature]
(An Authorized Signature)

Title: CEO

Address: 9003 Mayhew LK Rd NE
Sauk Rapids Mn 56379

Telephone: 320-250-1287

Email: jjjanson@live.com

END OF BID/QUOTE PROPOSAL FORM

SUPPLEMENTAL CONTRACTOR VERIFICATION OF COMPLIANCE

By signing this document I certify that I am an owner or officer of the company, and I swear under oath that:

My company meets each of the minimum criteria of Minn. Stat. § 16C.285, subd. 3, the Responsible Contractor statute.

Pursuant to Stat. § 16C.285, subd. 3(7), my company has obtained from all subcontractors and motor carriers with which it will have a direct contractual relationship a signed statement under oath by an owner or officer verifying that they meet all of the minimum criteria in subdivision 3 prior to execution of a construction contract with each subcontractor or motor carrier.

The undersigned agrees that, if it retains additional subcontractors on the project after submitting its verification of compliance, it shall obtain verifications of compliance from each additional subcontractor with which it has a direct contractual relationship and shall submit a supplemental verification confirming compliance with Minn. Stat. § 16C.285, subd. 3(7), within 14 days of retaining the additional subcontractors.

Upon request, the undersigned shall submit to the contracting authority copies of the signed verifications of compliance from all subcontractors of any tier and all motor carriers providing for-hire transportation of materials, equipment, or supplies for a project.

The undersigned understands that a failure to meet or verify compliance with the minimum criteria established for a "responsible contractor" as defined in Minn. Stat. § 16C.285, subd. 3, renders a bidder ineligible to be awarded a construction contract for the Project or to perform work on the Project.

The undersigned understands that a false statement under oath verifying compliance with any of the minimum criteria shall make the undersigned, ineligible to be awarded a construction project and may result in termination of a contract awarded to the undersigned. A contracting authority shall not be liable for declining to award a contract or terminating a contract based on a reasonable determination that the contractor failed to verify compliance with the minimum criteria or falsely stated that it meets the minimum criteria.

Date:

8-30-16

Contractor:

ODESA II

By

Jim Janson

(please print name)

Signature

Jim Janson

(please sign name)

Its

CEO

Base Bid Schedule

No.	Item Description	Quantity	Units	Unit Price	Total Price
1	EARTHWORK/SUBGRADE PREP	1	LUMP SUM	\$ <u>15000</u>	\$ <u>15000</u> (J)
2	REMOVE ALL PLAY EQUIPMENT, PLAY BORDER AND SURFACING PER PLANS - COMPLETE	1	LUMP SUM	\$ <u>8500</u>	\$ <u>8500</u>
3	REMOVE TRAIL PAVEMENT INCLUDING SAWCUT (SAWCUTTING INCIDENTAL)	350	SQ YD	\$ <u>5.50</u>	\$ <u>1925</u>
4	TURF CATCH BASIN	1	EACH	\$ <u>185</u>	\$ <u>185</u>
5	4" NON-PERFORATED PVC PIPE	100	LIN FT	\$ <u>4</u>	\$ <u>400</u>
6	4" PERFORATED DRAINTILE IN ROCK TRENCH	65	LIN FT	\$ <u>11</u>	\$ <u>715</u>
7	DRAINTILE CLEANOUT	2	EACH	\$ <u>150</u>	\$ <u>300</u>
8	10' WIDE BITUMINOUS TRAIL PAVING (see attached draft)	30	SQ YD	\$ <u>58.50</u>	\$ <u>1755</u>
9	6" THICK CONCRETE PAVEMENT	3,000	SQ FT	\$ <u>6.50</u>	\$ <u>19500</u>
10	6" x 16" CONCRETE CURB	340	LIN FT	\$ <u>25</u>	\$ <u>8500</u>
11	6" x 18" CONCRETE CURB	20	LIN FT	\$ <u>25</u>	\$ <u>500</u>
12	CLASS 5 AGGREGATE BASE	65	TON	\$ <u>16</u>	\$ <u>1040</u>
13	TURF RESTORATION	500	SQ YD	\$ <u>3</u>	\$ <u>1500</u>
14	BIOROLL	50	LIN FT	\$ <u>3</u>	\$ <u>150</u>
15	INLET PROTECTION	1	EACH	\$ <u>200</u>	\$ <u>200</u>
16	EROSION CONTROL BLANKET	500	SQ YD	\$ <u>3</u>	\$ <u>1500</u>
17	HEAVY DUTY EROSION CONTROL SILT FENCING	400	LIN FT	\$ <u>3.50</u>	\$ <u>1400</u>

TOTAL BASE BID:

\$ Sixty Three Thousand Seventy DOLLARS \$ 63070 (J)
 (State amount using words) (Use numeric figures)

INITIAL CONTRACTOR VERIFICATION OF COMPLIANCE

By signing this document I certify that I am an owner or officer of the company, and I swear under oath that:

My company meets each of the minimum criteria in subclauses (1) – (6) of Minn. Stat. § 16C.285, subd. 3, the Responsible Contractor statute.

The undersigned understands that a failure to meet or verify compliance with the minimum criteria established for a "responsible contractor" as defined in Minn. Stat. § 16C.285, subd. 3, renders a bidder ineligible to be awarded a construction contract for the Project or to perform work on the Project.

The undersigned understands that a false statement under oath verifying compliance with any of the minimum criteria shall make the undersigned, ineligible to be awarded a construction project and may result in termination of a contract awarded to the undersigned. A contracting authority shall not be liable for declining to award a contract or terminating a contract based on a reasonable determination that the contractor failed to verify compliance with the minimum criteria or falsely stated that it meets the minimum criteria.

The undersigned understands that, if the undersigned is the apparent low bidder, the undersigned will be required to submit a supplemental verification under oath as a condition precedent to the execution of the contract. If the undersigned fails to provide the required supplemental verification, it could forfeit its bid bond.

I have attached a list of all of my company's first-tier subcontractors that it intends to retain for work on the project.

Date:

8-30-16

Contractor:

ODESA II

By

Jim Janson

(please print name)

Signature

Jim Janson

(please sign name)

Its

CEO

AFFIDAVIT OF NON-COLLUSION

City Of Shoreview
4600 Victoria Street North
Shoreview, Minnesota 55126

I hereby swear (or affirm) under the penalty for perjury:

(1) That I am the bidder (if the bidder is an individual), a partner in the bidder (if the bidder is a partnership), or an officer or employee of the bidding corporation having authority to sign on its behalf (if the bidder is a corporation);

(2) That the attached bid or bids have been arrived at by the bidder independently and have been submitted without collusion with, and without any agreement, understanding, or planned common course of action with, any other vendor of materials, supplied, equipment or services described in the Invitation to Bid, designed to limit independent bidding or competition;

(3) That the contents of the bid or bids have not been communicated by the bidder or its employees or agents to any person not an employee or agent of the bidder or its surety on any bond furnished with the bid or bids, and will not be communicated to any such person prior to the official opening of the bid or bids; and

(4) That I have fully informed myself regarding the accuracy of the statements made in this affidavit.

Signed: Jim Jamn

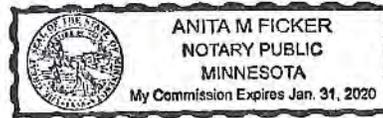
Firm Name: ODESA II

Subscribed and sworn to before me

this 30th day of August, 2016

Notary Public Anita M. Ficker

My commission expires Jan 31, ~~2016~~ 2020



Alternate Bid Schedule

No.	Item Description	Quantity	Units	Unit Price	Total Price
A1	REMOVE TRAIL PAVEMENT INCLUDING SAWCUT (INCIDENTAL)	200	SQ YD	\$ <u>4.50</u>	\$ <u>900</u>
A2	10' WIDE BITUMINOUS TRAIL PAVING WITH AGGREGATE CLASS 5 BASE	200	SQ YD	\$ <u>33</u>	\$ <u>6600</u>
A3	TURF RESTORATION	150	SQ YD	\$ <u>3</u>	\$ <u>450</u>
A4	BIOROLL	155	LIN FT	\$ <u>3</u>	\$ <u>465</u>
A5	INLET PROTECTION	1	EACH	\$ <u>200</u>	\$ <u>200</u>
A6	EROSION CONTROL BLANKET	150	SQ YD	\$ <u>3</u>	\$ <u>450</u>

TOTAL ALTERNATE BID:

\$ Nine Thousand Sixty Five
 (State amount using words)

DOLLARS \$ 9065
 (Use numeric figures)

END OF BID SCHEDULE

4. RESPONSIBLE CONTRACTOR: The provisions of Minn. Stat. 16C.285 are imposed as a requirement of this contract. All bidders and persons or companies providing a response/submission to the Advertisement for Bids/RFP of the Owner shall comply with the provisions of the statute.

- a. Any prime contractor or subcontractor that does not meet the minimum criteria established for a "responsible contractor" as defined in Minn. Stat. § 16C.285, subd. 3, or fails to verify that it meets those criteria is not a responsible contractor and is not eligible to be awarded a construction contract for the Project or to perform work on the Project.
- b. A responding contractor shall submit to the Owner a signed statement under oath by an owner or officer verifying compliance with each of the minimum criteria in clauses (1)-(6) of Minn. Stat. § 16C.285, subd. 3, at the time that it responds to this solicitation document. A responding contractor must also submit a list of first-tier subcontractors it intends to retain on the project, at the time that it responds to this solicitation document.
- c. Prior to being awarded a contract, the apparent successful prime contractor must submit a supplemental verification under oath confirming that all subcontractors and motor carriers meet the minimum criteria of Minn. Stat. § 16C.285, subd. 3. The apparent successful prime contractor has an ongoing duty to submit supplemental verification forms for each additional subcontractor retained for the project.
- d. A false statement under oath verifying compliance with any of the minimum criteria shall make the prime contractor or subcontractor that makes the false statement ineligible to be awarded a construction project and may result in termination of a contract awarded to a prime contractor or subcontractor that submits a false statement.

5. The basis of award of the Contract will be on the Total Base Bid plus accepted or denied Alternate Bids as deemed to be appropriate by the City. The Alternates are not listed in any order of preference. The City reserves the right to reject any or all bids. The award of the Contract will be made within 60 calendar days after opening of proposals to the lowest responsible bidder of the Base Bid plus any accepted Alternate Bids defined appropriate by the City. The Owner reserves the right to delete any item prior to final Contract.

6. The undersigned further proposes to execute the Contract Agreement and to furnish satisfactory bonds within ten (10) days after notice of the award of Contract has been received. The undersigned further proposes to begin work as specified, to complete the work on or before the date specified, and to maintain at all times performance and payment bonds, approved by the Owner, in an amount equal to the total accepted bid.

7. Accompanying this proposal is the Bid Security, in the amount of five percent (5%) required to be furnished by the Contract Documents, the same being subject to forfeiture in the event of default by the undersigned.

PROPOSED MOTION

MOVED BY COUNCILMEMBER _____

SECONDED BY COUNCILMEMBER _____

To adopt Ordinance No. 946 Exhibit D, establishing 2017 Community Center rates.

ROLL CALL:

AYES _____

NAYS _____

JOHNSON _____

QUIGLEY _____

SPRINGHORN _____

WICKSTROM _____

MARTIN _____

Regular Council Meeting
September 6, 2016

TO: MAYOR AND CITY COUNCIL, CITY MANAGER

**FROM: MICHELLE MAJKOZAK
COMMUNITY CENTER GENERAL MANAGER**

DATE: SEPTEMBER 1, 2016

SUBJECT: COMMUNITY CENTER RATE ADJUSTMENTS

INTRODUCTION

The City Council is being asked to review and approve the proposed 2017 Community Center rate adjustments. The daily admission, membership rates and meeting and banquet room rates were last increased January, 2016. After evaluating comparable facilities, it is staff's recommendation to include a small rate increase for membership and daily passes in January, 2017 and a general increase for banquet and meeting room rentals. All fees are now adopted by ordinance and included in a fee schedule.

BACKGROUND

The City Council annually approves the daily admission, membership and banquet and meeting room rental rates for residents and non-resident rates for the Community Center. It has been the City's practice to have annual inflationary increases to both daily admission and membership rates rather than larger percentage increases every few years. Banquet and meeting room rates are reviewed in comparison to other similar facilities in the area, although is often difficult to compare rates because the Shoreview Community Center has an open catering policy and does not receive commissions on food sales like most other rental facilities.

Attached is a comparison of daily admission rates for Community Centers and indoor playgrounds, banquet and meeting room rates, and membership rates with comparable public and private facilities in surrounding communities.

DAILY ADMISSION RATES

Currently, there are resident and non-resident individual daily admission rates for the Community Center. Staff is proposing that the daily admission rates be increased between 2%-3%. This will increase the daily adult rate to \$8.75 for residents and \$10.00 for non-residents; \$7.60 for seniors/youth residents and \$9.25 for senior/youth non-residents. It is suggested that the family rate be increased to \$30.00 for family resident and \$37.00 for family non-resident, with a maximum limit of 6 family members. The price per individual above 6 would remain at \$4.50. These prices include tax. Staff is proposing the playground daily rate increase to \$5.25

BANQUET AND MEETING ROOM RATES

The Shoreview Room, Wedell Room, Haffeman Pavilion and other meeting room rates were last increased in 2016. After some research, it is apparent that many other facilities charge for additional items or have exclusive catering that allows them to receive commissions that result in much higher rates than currently charged for these facilities at the Community Center. Staff is proposing increases to nearly all banquet and meeting room rental rates depending on the day of the week and room category. Staff believes these increases are sustainable and will keep Shoreview's rates comparable with other facilities. These rates would go into effect in 2017, but anything that has already been booked would not be subject to the rate increase.

MEMBERSHIP RATES

The City's membership rates for the Community Center are lower than many comparable facilities. It should also be noted that Shoreview does not offer basic fitness classes as part of our membership package, however, Community Center members do receive a 30% discount on group fitness classes and free guest passes. Staff is recommending small increases in membership rates ranging from 2% to 3% depending on the membership category. Staff felt these increases were warranted due to the Community Center's affordable rate structure in comparison to similar facilities.

PARK AND RECREATION COMMISSION

The Park and Recreation Commission reviewed these proposed rates at their meeting on August 25, 2016 and unanimously recommended that the Council adopt the proposed increases shown in Exhibit D.

RECOMMENDATION

Based on the foregoing information, it is recommended that the City Council adopt Ordinance No. 946 - Exhibit D establishing 2017 Community Center rates.

EXHIBIT D
COMMUNITY CENTER RATE SCHEDULE
CITY OF SHOREVIEW, MINNESOTA

ADMISSIONS

Daily Admission

Adult-Regular	\$ 10.00
Adult-Resident	\$ 8.75
Youth/Senior-Regular	\$ 9.25
Youth/Senior-Resident	\$ 7.60
Family-Regular	\$ 37.00
Family-Resident	\$ 30.00
Playground	\$ 5.25

Coupon Books – 10 Visits

Adult-Regular	\$ 90.00
Adult-Resident	\$ 78.75
Youth/Senior-Reg	\$ 83.25
Youth/Senior-Resident	\$ 68.40
Playground	\$ 47.25

Track (Senior)

Daily-Regular	\$ 4.70
Daily-Resident	\$ 3.65
10 Visit-Regular	\$ 42.30
10 Visit-Resident	\$ 32.85

MEMBERSHIPS

Annual Memberships

Adult-Regular	\$ 475.00
Adult-Resident	\$ 370.00
Youth/Senior-Regular	\$ 380.00
Youth/Senior-Resident	\$ 315.00
Dual-Regular	\$ 700.00
Dual-Resident	\$ 570.00
Family-Regular	\$ 815.00
Family-Resident	\$ 650.00

Seasonal Memberships – 3 months

Adult-Regular	\$ 210.00
Adult-Resident	\$ 160.00
Youth/Senior-Regular	\$ 160.00
Youth/Senior-Resident	\$ 130.00
Dual-Regular	\$ 290.00
Dual-Resident	\$ 230.00
Family-Regular	\$ 310.00
Family-Resident	\$ 250.00

Monthly Membership Rates (requires 1 year contract)

Adult-Regular	\$ 45.00
Adult-Resident	\$ 37.00
Youth/Senior-Regular	\$ 39.00
Youth/Senior-Resident	\$ 31.00
Dual-Regular	\$ 65.00
Dual-Resident	\$ 56.00
Family-Regular	\$ 75.00
Family-Resident	\$ 62.00

All prices listed above include Sales Tax of 7.125%

ROOM RENTALS

Shoreview Room

Sunday-Thursday - Regular	\$ 700.00
Sunday-Thursday - Resident	\$ 625.00
Friday-Regular	\$1100.00
Friday-Resident	\$1000.00
Saturday-Regular	\$1350.00
Saturday-Resident	\$1250.00

Wedell Community Room

Full Room

Sunday-Thursday - Regular	\$ 450.00
Sunday-Thursday - Resident	\$ 375.00
Friday – Regular	\$ 800.00
Friday – Resident	\$ 700.00
Saturday – Regular	\$1000.00
Saturday – Resident	\$ 900.00

Half Room

Sunday-Thursday – Regular	\$ 225.00
Sunday-Thursday – Resident	\$ 260.00

Meeting Rooms*

Monday-Thursday-Regular	\$50.00
Monday-Thursday-Resident	\$35.00
Friday-Sunday-Regular	\$60.00
Friday-Sunday-Resident	\$45.00

*Two hour time block

Island Lake Room*

Sunday-Saturday-Regular	\$75.00
Sunday-Saturday-Resident	\$60.00

*Two hour time block

Haffeman Pavilion

Resident	\$225.00
Regular	\$250.00

One Day Pass \$5.50

Adventure Peak, Edina

One Day Pass \$7.50

Group Rate \$5.00

The Blast, Eagan

	Resident	Non-Resident
One Day Pass	\$5.00	\$ 5.00

Grove Cove, Maple Grove

	Resident	Non-Resident
One Day Pass	\$5.50	\$ 6.50

Tropical Adventure, Shoreview Community Center

Playground Only \$5.00

Proposed Change for 2017

Playground Only \$5.25

Room Rate Comparison

Plymouth Creek Center (Seats 352)

Full Plymouth Room (Seats 352)	Resident	Non-Resident
Sat- Holidays (6hrs)	\$ 1,015.00	\$ 1,330.00
Friday (6hrs)	\$ 800.00	\$ 1,105.00
Sunday (6 hrs)	\$ 585.00	\$ 885.00
Additional Hours	\$ 70.00	\$ 125.00

*If alcohol is provided must pay \$60.00 an hour for security

*Exclusive Catering, food minimums

Meeting Rooms (Per hour)	\$ 30.00	\$ 50.00
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*two hour min. & extra daily fees for projectors, mics, tv's, flip charts, ect...

Eagan Community Center

The Oaks Banquet Hall (Seats 350)

Sun-Thurs	\$ 950.00
Friday	\$ 1,400.00
Saturday	\$ 1,750.00

Board Room (Hourly)

690 sq. feet

Resident

\$ 25.00

Non-Resident

\$ 30.00

Lone Oak Room

1400 sq. feet

\$ 50.00

\$ 55.00

Other Meeting Rooms

360 sq. feet

\$ 18.00

\$ 20.00

*Additional fees apply to some Audio/Visual Equipment

*Exclusive Catering

*Security Officer required for events with liquor

Maplewood Community Center**Banquet Room (Seats 350)**

Sun-Friday

\$ 960.00

Saturday

\$ 1,350.00

*Open catering

New Brighton Community Center**Community Room (Seats 250)**ResidentNon-Resident

Mon-Thurs (Full Day)

\$ 325.00

\$ 375.00

*Additional Kitchen Fee

\$ 50.00

\$ 50.00

Mon-Thurs Evenings

\$ 230.00

\$ 250.00

Friday (Full Day)

\$ 550.00

\$ 600.00

Kitchen fee

\$ 50.00

Saturday

\$ 825.00

\$ 875.00

Kitchen Fee

\$ 50.00

Meeting Room

\$110 Half day

\$125 Half Day

\$185.00 Full Day

\$210 Full Day

Maple Grove Community Center**Banquet Room (Seats 250)**ResidentNon-Resident

Mon-Thurs

\$ 325.00

\$ 375.00

Friday

\$ 375.00

\$ 425.00

Saturday

\$ 675.00

\$ 725.00

Sunday

\$ 375.00

\$ 425.00

*Equipment rental fees apply to AV, easels and white boards

Beverage Bar

\$ 130.00

Kitchen Rental

\$ 75.00

*Security officer required

Exclusive catering

Vadnais Heights Commons**Vadnais Room Capacity 400**ResidentNon-Resident

Mon-Thurs	\$575	\$ 700.00
Friday	\$2,500.00	\$ 2,800.00
Saturday	\$2,900.00	\$ 3,200.00
Sunday	\$2,100.00	\$ 2,400.00

East Vadnais Room Capacity 225

Mon-Thurs	\$85.00 an Hour	\$90.00 an Hour
Friday		
Saturday		
Sunday	\$95.00 an Hour	\$100.00 an Hour

*Wedding Ceremonies outside are an additional \$1000.00.

*Security fees of \$350.00

Shoreview Community Center

Shoreview Room

	<u>Resident</u>	<u>Non-Resident</u>
Sun-Thurs	\$ 600.00	\$ 680.00
Friday	\$ 925.00	\$ 1,025.00
Saturday	\$ 1,175.00	\$ 1,250.00

*\$100-200 Kitchen Fee

Community Room

Sun-Thurs	\$ 350.00	\$ 430.00
Friday	\$ 650.00	\$ 760.00
Saturday	\$ 820.00	\$ 920.00

Community (Half-Room)

Sun-Thurs	\$ 205.00	\$ 240.00
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Meeting Rooms

*Two hour time block	\$ 35.00	\$ 50.00
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Island Lake Room

*Two hour time block	\$ 70.00	\$ 55.00
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Haffeman Pavillion

	\$ 200.00	\$ 225.00
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Proposed Change for 2017

Shoreview Room

	<u>Resident</u>	<u>Non-Resident</u>
Sun-Thurs	\$ 625.00	\$ 700.00
Friday	\$ 1,000.00	\$ 1,100.00
Saturday	\$ 1,250.00	\$ 1,350.00

*\$100-200 Kitchen Fee

Community Room

Sun-Thurs	\$ 375.00	\$ 450.00
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Friday	\$ 700.00	\$ 800.00
Saturday	\$ 900.00	\$ 1,000.00
Community (Half-Room)		
Sun-Thurs	\$ 225.00	\$ 260.00
Meeting Rooms Mon-Thurs		
*Two hour time block	\$ 35.00	\$ 50.00
Meeting Rooms Fri-Sun		
*Two hour time block	\$ 45.00	\$ 60.00
Island Lake Room		
*Two hour time block	\$ 60.00	\$ 75.00
Haffeman Pavillion		
	\$ 225.00	\$ 250.00

Membership Comparison

Maplewood Community Center

Annual Rate	Regular	Monthly	Resident	Monthly
Adult	\$ 625.00	\$ 57.00	\$ 511.00	\$ 46.00
Dual	\$ 727.00	\$ 71.00	\$ 613.00	\$ 59.00
Family	\$ 879.00	\$ 85.00	\$ 766.00	\$ 73.00
Youth/Senior	\$ 420.00	\$ 38.00	\$ 363.00	\$ 33.00
Initiation Fee	\$ 75.00			

group fitness classes, 4 free guest passes, discounted theater tickets, room rentals, massage, personal

Y.M.C.A

Annual Rate	Monthly
Adult	\$ 66.00
Dual	\$ 110.00
Family	\$ 122.00
Joiners Fee	\$ 150.00

Membership includes Fitness Center, pool, child care. Many group fitness classes are free and some have a nominal ch

Life Time Fitness

Annual Rate	Monthly
Adult	\$ 79.00
Dual	\$ 119.00

Family \$ 149.00

Initiation Fee \$131.40 for first person and \$60.00 for each additional person

included except for some pilates and reformer

LA Fitness

Annual Rate Monthly
Adult \$ 34.99

Service Fee \$ 99.50

Eden Prarie

Annual Rate	Regular	Monthly	Resident	Monthly
Adult		\$ 48.00		\$ 40.00
Dual		\$ 84.00		\$ 70.00
Family		\$ 115.00		\$ 97.00
Youth/Senior		\$ 48.00		\$ 32.00

Initiation Fee \$ 75.00

Includes some general fitness classes

Shoreview Community Center

Annual Rate	Regular	Monthly	Resident	Monthly
Adult	\$ 460.00	\$ 44.00	\$ 355.00	\$ 36.00
Dual	\$ 685.00	\$ 63.00	\$ 550.00	\$ 54.00
Family	\$ 780.00	\$ 73.00	\$ 620.00	\$ 60.00
Youth/Senior	\$ 365.00	\$ 38.00	\$ 300.00	\$ 30.00

track, P.T. discount, Tropical Adventure Indoor playground.

Proposed Change for 2017

Annual Rate	Regular	Monthly	Resident	Monthly
Adult	\$ 475.00	\$ 45.00	\$ 370.00	\$ 37.00
Dual	\$ 700.00	\$ 65.00	\$ 570.00	\$ 56.00
Family	\$ 815.00	\$ 75.00	\$ 650.00	\$ 62.00
Youth/Senior	\$ 380.00	\$ 39.00	\$ 315.00	\$ 31.00

Seasonal Memberships

Rate	Regular	Resident
Adult	\$ 200.00	\$ 154.00
Dual	\$ 282.00	\$ 222.00
Family	\$ 305.00	\$ 245.00
Youth/Senior	\$ 155.00	\$ 125.00

Proposed Change for 2017

Rate	Regular	Resident
Adult	\$ 210.00	\$ 160.00
Dual	\$ 290.00	\$ 230.00
Family	\$ 310.00	\$ 250.00
Youth/Senior	\$ 160.00	\$ 130.00

MOTION TO APPROVE

MOVED BY COUNCIL MEMBER: _____

SECONDED BY COUNCIL MEMBER: _____

To approve the following requests submitted by Elevage Development Group, LLC/Elevage Shoreview Holdings, LLC (EDG) to redevelop 3527 Rice Street and incorporate the parcel into the approved mixed use development on the adjacent properties at: 157 County Road E, 185 County Road E, 3521 Rice Street and 3500 Rustic Place. Said approval is subject to the following conditions:

Comprehensive Plan Amendment

1. The amendment changes the land use designation from RL, Low Density Residential to MU, Mixed Use.
2. Review and approval of the amendment by the Metropolitan Council.
3. The amendment will not be effective until the City grants approval of the Final Plat and PUD - Final Stage requests and the development agreements are executed.

Rezoning

1. This approval rezones the property from R1, Detached Residential to PUD, Planned Unit Development.
2. The underlying zoning district for this parcel is R3, Multi-Dwelling Residential as it will be part of Lot 2 for the mixed-use apartment complex.
3. Rezoning is not effective until approvals are received for the Final Plat, PUD - Final Stage and development agreements executed.

Preliminary Plat

1. A public use dedication fee shall be submitted as required by ordinance prior to release of the final plat by the City.
2. The final plat shall include drainage and utility easements along the property lines. Drainage and utility easements along the roadways shall be 10' wide and along the side lot lines these easements shall be 5' wide. Other easements shall be dedicated as required by the Public Works Director.
3. Private agreements shall be secured between the parcels in the subdivision regarding the maintenance of shared facilities. Said agreements shall be submitted to the City Attorney for review and approval prior to the City's release of the Final Plat.

4. Comments received from the State of Minnesota shall be addressed in the Final Plat submittal.
5. The Final Plat shall be submitted to the City for approval with the Final Stage PUD application.

Planned Unit Development – Development Stage

1. This approval amends the previous PUD approved for the redevelopment of 157 County Road E, 185 County Road E, 3521 Rice Street and 3500 Rustic Place with a mixed use development consisting of a 5-story building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. Fourteen townhomes are also planned. The approved conditions and Development Agreements remain in effect. See Planning Case File 2611-16-10.
2. Access to the expanded parking lot shall be provided via the driveway off County Road E. The proposed driveway off of Rice Street shall be designed for Emergency Vehicle access only per the requirements of Ramsey County.
3. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director is required, prior to submittal to the City of applications for Final Plat and PUD – Final Stage. Final plans shall identify site construction limits and the treatment of work (i.e. driveways, parking areas, grading, etc.) at the periphery of these construction limits.
4. The developer shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
5. A Tree Protection and Replacement Plan shall be submitted with the Building Permit applications for the new homes on each parcel. Tree removal requires replacement trees per City Code. City requirements for the tree removal and protection plan shall be detailed in the Development Agreement for Construction. A financial contribution to the City's Forestry fund will be required in the event the tree replacement requirements cannot be accommodated on the development site.
6. Lighting on site shall comply with Section 206.030, Lighting Standards of the Development Code. A luminary plan, including exterior light fixture details and pole heights shall be submitted to the City for review and approval prior to the issuance of a building permit.
7. The applicant is required to enter into an Amendment to the Site Development Agreement and Erosion Control Agreement with the City which addresses the expansion of the parking lot. Said agreements shall be executed prior to the issuance of any permits for this project.

8. This approval shall expire after two months if the Planned Unit Development - Final Stage application has not been submitted for City review and approval, as per Section 203.060 (C)(6).

This approval is based on the following findings:

1. The incorporation of the property into the adjoining property for the mixed-use development supports the policies stated in the Comprehensive Plan related to land use, housing and redevelopment.
2. The proposed redevelopment will not have a significant adverse impact on the planned land use of the surrounding property.
3. The amended parking plan provides better addresses the needs of the mixed use development by retaining the required parking ratio for below grade parking while providing additional surface parking for guests, employees and patrons.

ROLL CALL: **AYES** _____ **NAYS** _____

Johnson	_____	_____
Quigley	_____	_____
Springhorn	_____	_____
Wickstrom	_____	_____
Martin	_____	_____

Regular City Council Meeting – September 6, 2016

TO: Mayor, City Council and City Manager
FROM: Kathleen Castle, City Planner
DATE: September 2, 2016
SUBJECT: File No. 2631-16-30; Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Planned Unit Development – Development Stage Amendment, Elevage Development Group, LLC/Elevage Shoreview Holdings, LLC – 3527 Rice Street

Introduction

Earlier this year, Elevage Development Group, LLC/Elevage Shoreview Holdings, LLC (EDG) received approval to redevelop several properties located at the northwest corner of Rice Street and County Road E with a mixed-use development. This proposed development, the McMillan, consists of a 5-story mixed use building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. Access to the building is provided from County Road E and leads to an off-street parking lot and below grade parking structure.

The approved development also includes fourteen townhomes on the western part of the redevelopment site along Rustic Place.

During the review process, EDG was in negotiations with the property owners immediately to the north at 3527 Rice Street. EDG has since acquired the property and is now seeking approvals to incorporate this property into the development. The intended use for this property is parking. The submitted applications include:

- 1) Comprehensive Plan Amendment: Changing the land use from RL, Low Density Residential to MU, Mixed Use
- 2) Rezoning: Changing the zoning designation from R1, Detached Residential to PUD, Planned Unit Development
- 3) Preliminary Plat: Incorporate this property into the Elevage First Addition Plat
- 4) PUD – Development Stage Amendment: To add this property into the mixed-use high-density multi-family residential and commercial planned unit development and amend the parking plan

The application was complete on August 17, 2016.

Project Summary

The approved redevelopment site includes four properties located at the intersection of Rice Street and County Road E, north of Interstate 694. Existing land uses include a one-story 34,887 square foot shopping center built in 1957, and three other parcels that were previously used for single-family residential. This redevelopment site has approximately 4.2 acres with frontage on Rustic Place, Rice Street and County Road E. The redevelopment plan consists of a 5-story mixed use building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. This structure is designed as an “L” shaped building located in the southeastern corner of the property oriented towards the Rice Street/County Road E intersection. Access to an off-street

parking lot and below grade parking structure which provides a total of 234 parking stalls is provided from County Road E.

Fourteen townhomes are also proposed on the western part of the redevelopment site. Access to the townhomes is proposed off County Road E and Rustic Place.

As previously stated, EDG acquired this property shortly after City approvals were received for the mixed use project. At the time of acquisition, EDG's interim plan for this property was to retain the single-family use to provide a buffer between the redevelopment site and the nearby single-family land uses. EDG also expressed interest in redeveloping the site with another use at some time in the future. The approved Development Agreement states that the use of the property shall remain single-family residential until a redevelopment plan is approved by the City Council.

EDG is proposing to modify the approved parking plan by adding the 3527 Rice Street property to the project and construct a surface parking lot while reducing the number of parking stalls provided in the below grade parking stalls. This property has a lot area of 28,314 square feet and 100 feet of frontage on Rice Street. It is developed with a single-family home that was constructed in 1952.

Please see the attached statement and submitted plans.

Staff Review

The submitted applications have been reviewed by Staff in accordance with the Comprehensive Plan and Development Code. The primary focus of the review for the Comprehensive Plan Amendment and Rezoning pertains solely to the 3527 Rice Street property while the Preliminary Plat and PUD – Development Stage Amendment addresses the incorporation of this parcel into the larger development site. Key issues associated with each application are addressed.

Comprehensive Plan Amendment

In accordance with Section 203.053 (D), the City Council needs to consider the following when reviewing a Plan amendment:

- (1) The site and the characteristics of adjoining planned land uses;
- (2) Probable building mass differences;
- (3) Traffic generation;
- (4) Separation to dissimilar land uses;
- (5) Carrying capacity of the site (sewer, water, access, topography, etc.), and
- (6) Buffering potential of dissimilar but adjoining land uses

The City Council may grant or deny the amendment based on 4/5ths majority vote of the Council

Attachment A summarizes the Comprehensive Plan policies related to this site as well as other planning efforts the City has undertaken to address redevelopment near the Interstate 694/Rice Street interchange.

This property is not located in a Policy Development Area (PDA), however, PDA #18, Rice Street Crossings states that the large residential lots north of this PDA could draw redevelopment interest due to the roadway improvements and other land use changes. The City prefers that this area retain its

residential designation until a redevelopment proposal is submitted for this area. Any change in land use will then require an amendment to the comprehensive plan and zoning designation.

The applicants are requesting an amendment to the Comprehensive Plan changing the existing RL, Low Density Residential land use designation to MU, Mixed Use. Due to the mixed use nature of the adjoining property, the relationship of the property to the approved development and proposed incorporation of the property into the plat and PUD, the staff believes a MU, Mixed Use land use designation is appropriate. The MU designation permits a variety of land uses, including vertical mixed residential and commercial land use.

The planned land uses of the adjoining property in Shoreview include RL, Low Density Residential (0-4 units per acre) to the north and west, and MU, Mixed Use and Commercial to the south. Interstate 694 is also located immediately to the south of the development site. East, in the City of Vadnais Heights, land uses include commercial, office and low density residential.

The incorporation of this property into the adjoining PUD is reasonable due to its proximity to the redevelopment site and adjacency to Rice Street. Existing language in the Comprehensive Plan anticipates potential land use changes in the Rice Street corridor. The integration of the property into the site and proposed use allows a small overall increase in parking while maintaining a separation between the proposed apartment building and single-family residential uses. With the additional land area, site design elements can be utilized to preserve the integrity of the adjoining low density residential land uses.

Rezoning

EDG is requesting the property be rezoned from R1, Detached Residential to PUD, Planned Unit Development.

In accordance with Section 203.052 (C), the City Council needs to consider the following criteria (italics) when reviewing a rezoning request. Staff's review also follows each of the individual criteria.

- 1) *That the proposed rezoning is consistent with the policies of the Comprehensive Plan and with the general purpose and intent of the development regulations.*

EDG is seeking a Comprehensive Plan Amendment to change the designated RL, Low Density to MU, Mixed Use. The preceding section provides information on the plan amendment.

- 2) *That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property.*

The rezoning of this property to PUD for the mixed use development will not significantly and adversely impact the planned use of the surrounding property. Significant and adverse impacts are evaluated by reviewing the effect the proposed rezoning and subsequent development will have on the transportation system, stormwater management, municipal sewer and water service and the environment. The incorporation of the property into the adjoining mixed use redevelopment will not have a significant impact on the nearby single-family residences.

With the PUD District, the City has the ability impose conditions that mitigate development impacts. This will be reviewed further with the amendment to the PUD.

3) *The developer is willing to enter into a rezoning/development agreement with the City.*

As a condition of approval, the developer will be required to enter into a development agreement with the City.

Preliminary Plat

EDG is proposing to amend the plat previously approved for this development, Elevage First Addition, by combining the 3527 Rice Street parcel into Lot 2. This plat consists of two parcels. Lot 1 has been designated for the townhome use and Lot 2 for the mixed use building.

The preliminary plat has been reviewed in accordance with the City's subdivision standards (Section 204). The block and lot layout are defined by the different land uses with the townhomes located on one parcel and the mixed use building located on a second parcel. Drainage and utility easements will be provided over stormwater infrastructure and along parcel lines as required by the City Engineer. Municipal utilities are currently present and will serve the redevelopment.

Planned Unit Development – Development Stage

The Planned Unit Development (PUD) process is used to encourage or provide flexibility, creativity, and innovation in the planning and design of development to achieve a variety of objectives related to the Development Code and the City's land use and housing goals.

Amendments to a PUD are processed in the same manner as a new application. The PUD Development stage, the detailed site development and subdivision plans are presented to the City for public review. A 4/5 majority vote is required for approval by the City Council. The third and Final stage of the PUD is reviewed by the City Council and provides the City with the opportunity to review the plans for consistency with the Development stage approval. Development agreements are also drafted and executed at this stage.

Planned Unit Development Review Criteria

The proposed development needs to satisfy certain objectives in order to be approved through the PUD process. Objectives met by this proposal includes; Comprehensive Plan consistency, high-quality building design, enhancement of public infrastructure, improved stormwater management, housing choice, elimination of a blighted structure, and land use compatibility.

Land Use and Development Issues

The land use and development issues relate to the development of the 3527 Rice Street property with parking and the proposed amendment to the parking plan. As with the original proposal, code flexibility is needed for the proposed parking plan. The project has been reviewed in accordance with the R3, Multiple Dwelling Residential District (Lot 2) and the R2, Attached Residential District (Lot 1) which will be the underlying zoning districts for the PUD.

Parking and Access

Mixed use building – Lot 2

The City’s Development Code requires a minimum 2.5 stalls per unit in the R3 zoning district with one stall fully enclosed (Section 206.020 (B1g) and 5.5 stalls per 1,000 square feet of net floor area in the C1 district (Section 206.020 (B1a). Restaurants require 1 stall per 3 seats based on the maximum design capacity of the building (Section 206.020 (B2f)).

Access to the parking lot will remain solely from County Road E. The access driveway shown on Rice Street is intended for emergency vehicles only. The design of this driveway will need to be modified in accordance with Ramsey County’s requirements.

The following table summarizes the proposed parking and Development Code requirements:

	Code Requirement	Proposed Parking	Previously Approved Parking
Lot 1 – Mixed Use Structure	<p>Total = 373 Residential - 2.5 stalls per unit = 335</p> <p>Commercial – 5.5 stalls per net floor area (2,080 sf) = 11.4</p> <p>Restaurants – 1 stall per 3 seats (80 seats) = 26.6</p>	<p>Total: 276 stalls</p> <p>Surface parking lot – 133 stalls</p> <p>Underground parking structure – 143 stalls</p> <p>Residential: 235 (1.7 stalls per unit)</p> <p>Commercial/Restaurant: 41 stalls</p>	<p>Total: 274 stalls <i>Proof of Parking – 8 stalls</i></p> <p>Surface parking lot – 79 stalls</p> <p>Underground parking structure – 195 stalls</p> <p>Residential: 233 (1.74 stalls per unit)</p> <p>Commercial/Restaurant: 41 stalls</p>

The number of parking stalls proposed is 276 and slightly exceeds the parking plan previously approved which provided 274 stalls. While there has been a reduction in the number of stalls provided below-grade, the fully enclosed ratio of 1:1 required by the City Code is met. Again, the City Code requires 373 stalls and a deviation was previously approved with the original development plan.

The proposed parking ratio increased slightly to 1.78 stalls per unit and is consistent with the previous approval. The parking lot is accessed via one entry driveway off of County Road E. The plan has been revised to provide an emergency vehicle access lane north of the building connecting to Rice Street.

During the previous review of this project, concerns were expressed regarding the parking and whether or not the parking provided was sufficient to meet the demand due to the mixed use nature of the project. Although there is small net increase of parking stalls, there is a significant gain in surface parking stalls with 54 additional parking stalls. This increase alleviates some concern related to the

overall needs of the commercial/restaurant use when combined with the needs for the apartment complex.

The below grade parking structure will be a secured parking facility and is intended for use by the apartment building tenants. One stall will be available per unit as required by the City's Code. Further review of the plans by their development team identified security concerns related to the use of the below grade parking stalls by apartment guests, employees and patrons of the commercial use. Therefore, EDG is proposing to reduce the number of stalls available in the below grade parking structure and shift more stalls to a surface parking lot. They believe this addresses the security concerns and better meets the needs for the mixed use building. The acquisition of the 3527 Rice Street property provides the additional land area needed for this parking lot expansion.

Landscaping is also required to screen the parking areas, provide visual relief and shade (Section 206.060 (A)). The setback of the parking lot from the northern property line has been increased from 24' to 32' to address some concerns stated at the Planning Commission meeting. From the western property line, the parking lot is setback is 34'. Both setbacks exceed the minimum 20-foot setback required.

Townhomes – Lot 1

No changes are proposed to the approved access or parking for the townhome units.

Grading

The topography of the property will be modified to accommodate the proposed parking lot. The existing grade elevation ranges from 924.24' near Rice Street to 927' near the home. The grade elevation for the parking lot expansion ranges from 928' at the northwest corner of the parking to 926' near Rice Street. This is slightly lower than the proposed 929' first floor elevation of the mixed use building.

The adjoining single-family properties are generally at lower grade elevations. Landscape screening is required to mitigate the visual impacts.

Stormwater Management

In accordance with Section 205.084 (C4), the maximum impervious surface coverage permitted is 70% provided best management practices are used. The previously approved impervious surface coverage of 57% will increase to 61.8% with the additional surface parking lot. The impervious surface coverage for Lot 1 is 58.3% and for Lot 2 is 63%.

The property is located in the Ramsey Washington Metro Watershed District. The District has the permitting authority for stormwater management. Any change to the stormwater management plan will need to comply with the District guidelines for rate and quality control.

Stormwater management from the expanded parking area is being directed to catch basins within the parking lot that tie into the stormwater infrastructure previously approved for the development site. This stormwater then discharges into the City's infrastructure located in Rustic Place.

Vegetation, Woodlands and Landscaping

Landmark trees removed as a result of the parking lot expansion are subject to the City's tree replacement requirements. Additional information is needed regarding the number of landmark trees that will need to be removed. In the event replacement trees cannot be provided on the development site, a financial contribution is required to the City's forestry fund.

There is existing vegetation along the south side of the parking lot that will be retained and provide screening of the parking lot. Landscaping provided along the northern and western property line has been enhanced to screen the parking lot from view of the neighboring single-family residential properties. The previous PUD approval did require a 6-foot tall fence along the boundary of the residential property at 3520 Rustic Place. This requirement is still effective. Staff is recommending additional fencing along northern and western boundaries adjacent to the single-family residential land uses.

Public Comment and Agency Review

Property owners in the Rustic Place neighborhood and those on Rice Street in the City of Vadnais Heights were notified of the proposal. Public notice was also published in the City's legal newspaper.

The City received comments from a number of property owners expressing concern regarding the proposed development. These concerns generally relate to the need for the additional parking, impact on the adjoining single-family homes, landscaping and screening, snow storage and on-street parking. These comments are attached.

Karen Scheffing, Minnesota Department of Transportation, provided comments regarding the proposed plat and permitting requirements.

Nate Berg, Lake Johanna Fire Marshall, provided comments regarding the proposed access off of Rice Street.

Erin Laberee, Ramsey County Traffic Engineer, also provided comments related to the proposed driveway design of Rice Street.

Planning Commission Review

The Planning Commission held a public hearing and reviewed the proposal at their August 30th meeting. The Commission discussed the proposed parking plan, revised site plan, impact on the adjoining neighborhood and potential benefits of the added parking. The Commission members were not supportive of the change and recommended 5 – 1 that the City Council deny the requests.

The rationale for the recommendation included:

- 1) The proposed plan does not significantly improve the redevelopment plan and impacts the adjoining single-family residential land uses.
- 2) The plan results in a reduction in parking provided in the below grade structure and a small net increase of parking overall.
- 3) The additional surface parking disrupts the walking path which is not designed to cross the surface parking lot.

- 4) Impact on green space and buffering for the adjoining single-family homes.
- 5) The benefits resulting from the parking lot expansion on not evident.

The Commission did discuss potential changes to the plan to address these concerns specifically as they related to the buffering of the parking area from the adjoining residential land uses. This included an increased parking lot setback from the north property and relocation of the path. During the hearing, EDG's representative asked the Commission to take action based on the plan presented rather than table the request. Tabling of this item would negatively impact the construction schedule for the project.

In response to the concerns raised by the Commission, EDG has revised the development plan by increasing the setback of the parking area from the north property line and relocating the sidewalk. The setback has been increased from 24' to 32'. This increase provides adequate area for the sidewalk and landscape buffer. This change does result in the loss of 4 parking stalls with 276 stalls proposed in place of the 280 stalls previously reviewed by the Planning Commission.

Recommendation

The submitted plans were reviewed in accordance with the City's development standards. The Staff believes the proposed development is consistent with Shoreview's land use and housing policies and meets the criteria for the Comprehensive Plan Amendment, Rezoning and PUD. Incorporating this parcel into the mixed-use residential and commercial development will provide off-street parking for the proposed uses. Impacts of the proposed parking lot are mitigated through the increased setbacks from adjoining properties and landscaping.

The Staff is asking the City Council approve the applications with the following conditions attached.

Comprehensive Plan Amendment

1. The amendment changes the land use designation from RL, Low Density Residential to MU, Mixed Use.
2. Review and approval of the amendment by the Metropolitan Council.
3. The amendment will not be effective until the City grants approval of the Final Plat and PUD - Final Stage requests and the development agreements are executed.

Rezoning

1. This approval rezones the property from R1, Detached Residential to PUD, Planned Unit Development.
2. The underlying zoning district for this parcel is R3, Multi-Dwelling Residential as it will be part of Lot 2 for the mixed-use apartment complex.
3. Rezoning is not effective until approvals are received for the Final Plat, PUD - Final Stage and development agreements executed.

Preliminary Plat

1. A public use dedication fee shall be submitted as required by ordinance prior to release of the final plat by the City.
2. The final plat shall include drainage and utility easements along the property lines. Drainage and utility easements along the roadways shall be 10' wide and along the side lot lines these

easements shall be 5' wide. Other easements shall be dedicated as required by the Public Works Director.

3. Private agreements shall be secured between the parcels in the subdivision regarding the maintenance of shared facilities. Said agreements shall be submitted to the City Attorney for review and approval prior to the City's release of the Final Plat.
4. Comments received from the State of Minnesota shall be addressed in the Final Plat submittal.
5. The Final Plat shall be submitted to the City for approval with the Final Stage PUD application.

Planned Unit Development – Development Stage

1. This approval amends the previous PUD approved for the redevelopment of 157 County Road E, 185 County Road E, 3521 Rice Street and 3500 Rustic Place with a mixed use development consisting of a 5-story building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. Fourteen townhomes are also planned. The approved conditions and Development Agreements remain in effect. See Planning Case File 2611-16-10.
2. Access to the expanded parking lot shall be provided via the driveway off County Road E. The proposed driveway off of Rice Street shall be designed for Emergency Vehicle access only per the requirements of Ramsey County.
3. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director is required, prior to submittal to the City of applications for Final Plat and PUD – Final Stage. Final plans shall identify site construction limits and the treatment of work (i.e. driveways, parking areas, grading, etc.) at the periphery of these construction limits.
4. The developer shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
5. A Tree Protection and Replacement Plan shall be submitted with the Building Permit applications for the new homes on each parcel. Tree removal requires replacement trees per City Code. City requirements for the tree removal and protection plan shall be detailed in the Development Agreement for Construction. A financial contribution to the City's Forestry fund will be required in the event the tree replacement requirements cannot be accommodated on the development site.
6. Lighting on site shall comply with Section 206.030, Lighting Standards of the Development Code. A luminary plan, including exterior light fixture details and pole heights shall be submitted to the City for review and approval prior to the issuance of a building permit.
7. The applicant is required to enter into an Amendment to the Site Development Agreement and Erosion Control Agreement with the City which addresses the expansion of the parking lot. Said agreements shall be executed prior to the issuance of any permits for this project.
8. This approval shall expire after two months if the Planned Unit Development - Final Stage application has not been submitted for City review and approval, as per Section 203.060 (C)(6).

Attachments

1. Attachment A – Planning Efforts
2. Location Map
3. Zoning Map/Planned Land Use Map
4. Approved Development Plan, April 18, 2016
5. Applicant's Statement and Submitted Plans
6. Email – Tom Wesolowski – City Engineer
7. Email - Nate Berg, Fire Marshall, LJFD
8. Correspondence from Erin Laberee, Ramsey County Public Works
9. Correspondence from Karen Scheffing, MNDOT
10. Public Comments received
11. Motion

ATTACHMENT A
COMPREHENSIVE PLAN/PLANNING EFFORTS

The Comprehensive Plan (weblink - <http://www.shoreviewmn.gov/government/comprehensive-plan-test>) designates the property as RL, Low Density Residential.

This property is near Policy Development Area #18, Rice Street Crossings and Vicinity. Policy Development Areas (PDA's) present opportunities or pose significant concerns for development or redevelopment. Through the use of the PDA concept, the City has established more specific land use policies that address the individual circumstances found within the PDA. In accordance with the PDA #18, the commercial parcel has a land use designation of Commercial and O, Office. The C designation recognizes and allows for commercial uses while the O designation, suggests this area may also be suitable for office use due to the proximity to the highway and adjoining residential neighborhood. The Plan does recognize that the large residential lots adjacent to this should retain the RL, Low Density Residential Designation until a redevelopment application is received. The submitted application is requesting an amendment to change the land use of this property to MU, Mixed Use.

Chapter 6, Economic Development, also identifies the commercial property as a Targeted Redevelopment Area, TRA #2. One of the key issues identified relates to the appropriate land use for this property because it adjoins a low density residential neighborhood.

Chapter 7, Housing, include goals that address redevelopment and housing. Since there are limited opportunities for development, the plan recognizes that redevelopment is vital to meet the life-cycle housing needs of the community and diversify the housing supply. The Plan also recognizes that existing conditions and neighborhood character need to be considered when reviewing infill and redevelopment proposals.

Other Planning Efforts

Since the Rice Street/I694 interchange area was identified as both a PDA and TRA, this area was included in the Highway Corridor Transition Study which was completed earlier this year. The recommendations of this study include updating the PDA and expanding potential uses to include high density residential as well as buffer requirements for the adjacent single-family neighborhood. In addition, the creation of a Mixed Use district was recommended to allow a mixture of uses within a development project including commercial, office, high-density residential and live-work units.

The Economic Development Authority also included the Rice Street/I694 interchange area in their 2015/2016 workplan. This plan calls for continued efforts to address the transportation infrastructure issues for the interchange area as well as looking at options for the redevelopment of the commercial center.

Shoreview's Housing Action Plan recognizes that new rental housing opportunities are needed to expand housing choice and attract younger households (weblink - <http://www.shoreviewmn.gov/home/showdocument?id=1294>).

Zoning Map

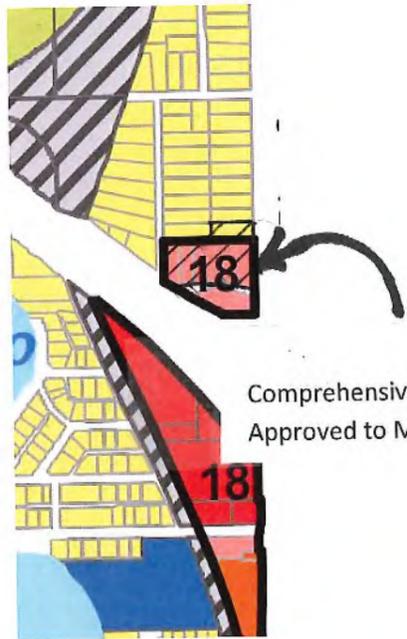


Legend

- RE - Residential Estate
- R1 - Detached Residential
- R2 - Attached Residential
- R3 - Multi-Dwelling Residential
- R4 - Mobile Home Residential
- C1 - Retail Service
- C2 - General Commercial
- OFC - Office
- I - Industrial
- T - Tower
- OS - Open Space
- PUD - Planned Urban Development
- UND - Urban Underdeveloped
- BPK - Business Park
- Open Water

Rezoning approved to PUD

Comprehensive Plan Land Use Map



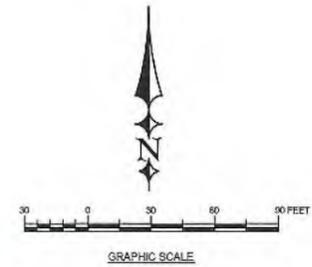
Legend

- PDA Boundaries
- Planned Land Use**
- Residential (up to 4 units/acre)
- Residential (4 - 8 units/acre)
- Residential (8 - 20 units/acre)
- High Density Senior Residential
- Office
- Commercial
- Mixed Use
- Business Park
- Tower
- Light Industrial
- Institutional
- Park
- Recreational Open Space
- Natural
- Railroad
- Open Water

Comprehensive Plan Amendment Approved to MU

APPROVED DEVELOPMENT PLAN

APRIL 18, 2016



LEGEND:

- EXISTING BOUNDARY
- PROPOSED CONCRETE SIDEWALK/APRON
- PROPOSED BITUMINOUS PAVEMENT
- 9 SURFACE PARKING STALL COUNT (TOTAL PROPOSED = 89)
- A SURFACE PROOF OF PARKING STALL COUNT (TOTAL PROPOSED = 8)

KEYED NOTES:

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14

LAYOUT NOTES:

SURFACE AREA ANALYSIS

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 309-3804
 www.ericksoncivilsite.com

DRAWING PHASE:
OWNER REVIEW
<input checked="" type="checkbox"/> AGENCY REVIEW
BID DOCUMENT
PERMIT SET
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 FINAL PUD
 DATE:

OWNER/DEVELOPER
ELEVAGE DEVELOPMENT GROUP, LLC
 10901 Baltimore St. NE
 Blaine, Minnesota 55449

PROJECT TITLE
THE MCMILLAN
 157 COUNTY ROAD E, W.
 SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
LAYOUT PLAN

SHEET NO.
C2
 SHEET 2 OF 8

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July 27, 2016

CITY OF SHOREVIEW
c/o Kathleen Castle
4600 Victoria Street North
Shoreview, Minnesota 55126

Re: 3527 Rice Street, Shoreview, MN 55126 (the "Property")

Kathleen:

On behalf of ELEVAGE DEVELOPMENT GROUP, LLC ("EDG") and its wholly-owned subsidiary ELEVAGE SHOREVIEW HOLDINGS, LLC ("ESH"), I submit this narrative in support of the applications for an amendment to the existing PUD/Site Development Agreement and the existing Final Plat for The McMillan, along with the requests to rezone the Property from R-1 to PUD with a corresponding amendment to the Comp Plan (collectively the "Applications").¹ This letter offers additional information required for each application

1. Intent of the Applications

The Property abuts and sits immediately north of the exiting 4 parcels ("Elevage First Addition") that comprise the mixed-use redevelopment to be known as The McMillan (the "Project"), which is subject to a Site Development Agreement ("Site Agreement") between the City of Shoreview (the "City") and EDG as well as a Development Agreement ("TIF Agreement") between the City and EDG. At the time the parties entered into both the TIF Agreement and the Site Agreement, there were ongoing discussions between the former owners of the Property for ESH to acquire the Property for the purpose of including the land as part of the Project. ESH has closed on its acquisition of the Property and now seeks to add the Property to the Project.

EDG has looked at a number of options to make use of the Property and has determined that the best use of the Property is to add surface parking while reducing below ground parking garage for the mixed-use building (townhomes are unaffected). As shown on the proposed site plan, 50 parking stalls will be constructed on the Property bring the total surface parking for the Project (excluding the townhomes) to 137 stalls. With the expanded surface parking, the costly below grade parking is reduced to 143 stalls for a combined total parking on the "mixed use" parcel of 280 stalls. This is a net increase of 6 stalls from what is currently approved.

The access point to Rice Street on the Property that is shown on the site plan will available for emergency vehicles only with "knockdown" poles to prevent general use by the public. We have provided a 20foot setback from the residential parcel to the north along with

¹ The undersigned is an owner, officer, and governor of EDG.

appropriate screening along both the northern and western edges.

EDG believes surface parking is the correct use of the Property because it will have minimal impact on the neighboring residential properties. The northern and western property lines will be substantially screened with landscaping and there will be no increase in shadows cast on any neighboring property.

With more surface parking, the gross square feet of underground parking is reduced from 69,881 GSF to 52,707 GSF and the overall building gross square footage is reduced from 228,753 GSF to 210,585 GSF. The existing stormwater management plan will accommodate the increased impervious surface area.

2. Listing of Persons Responsible for the Plans –

Architect:

Aaron Roseth
Elness Swenson Graham Architects
500 Washington Avenue South
Minneapolis, MN 55415
p: 612.339.5508

Civil:

Todd A. Erickson, PE
Erickson Civil
333 North Main Street, Suite 201
Stillwater, MN 55082
p: 612.309.3804

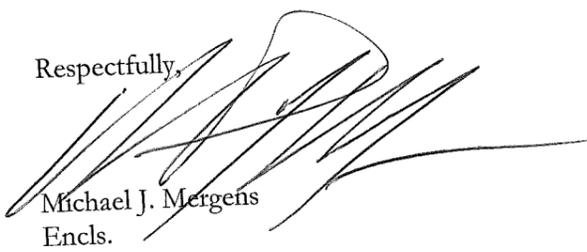
3. The Applications Are Consistent with City Goals

As it sits today, both the Site Agreement and the TIF Agreement contemplate the Property should become part of the Project in order to mitigate impacts. First, in the TIF Agreement the reimbursable expenses specifically include sums for acquisition of the Property. Second, Section IV.J of the Site Agreement assumes that ESH would acquire the Property and provides a waiver of certain landscaping conditions so long as the Property is acquired and not used as a single-family residence.

Rezoning the Property to PUD and including it in the new plat for Elevage First Addition is also consistent with the City's Comprehensive Plan and zoning ordinance. The Comp Plan was previously amended to guide the Elevage First Addition as mixed-use. The inclusion of the Property into the Elevage First Addition responds directly to the desire to minimize impacts to the surrounding neighborhood. With the Property included in the Elevage First Addition, the approved apartment building would be setback more than 170 feet.

Of course, if you have any questions, comments, or concerns about this matter, please do not hesitate to contact me at your earliest opportunity.

Respectfully,

A handwritten signature in black ink, appearing to read "Michael J. Mergens". The signature is stylized with several overlapping loops and a long horizontal stroke extending to the right.

Michael J. Mergens
Encls.



Michael J. Mergens
mise@entrepartnerlaw.com
D: (612) 314-8000

September 2, 2016

City of Shoreview
c/o Kathleen Castle, City Planner
4600 Victoria Street North
Shoreview, MN 55126

Via Email Only

Re: Applications ("Applications") to include 3527 Rice Street, Shoreview, Minnesota (the "Property") into The McMillan Mixed-Use development (the "Project")

Dear Kathleen:

This letter is offered to provide additional information relating to our applications to include the Property into the existing Planned Unit Development.

Why we resisted tabling and returning to the Planning Commission in a month.

Before providing that detail, I want to address why this is before you with a recommendation of denial from the Planning Commission. I fully expected that recommendation when Elevage Shoreview Holdings, LLC rejected the request to table the hearing, but I think it was clear that a majority of the Planning Commission would have preferred to table the Applications rather than vote for a recommendation of denial. Unfortunately, as described below, the request to table was far more problematic than it appears. In the simplest terms, tabling was a de factor denial for us.

a. We Need a Final Design to Move Forward with Construction this Fall.

Since approval of the final PUD and the final plat, we have been working diligently to begin construction of the Project. The biggest focus has been working with our architects and design professionals to finalize construction drawings. That process has taken longer than we had hoped, but our professionals needed the time to make sure the design was right. There was also lost time analyzing how best to incorporate the Property into the Project. But we believe having the best design for the Project for its lifetime is of utmost importance. The construction drawing cannot be fully completed and released to the contractor until City Council provides its decision on the Applications, nor can we finalize the watershed permit application until that happens. The contractor cannot complete the sworn construction statements until the design is finalized and the architect completes the construction drawings. And while getting the financing is not at issue, banks do not finalize construction loans until sworn construction statements are done. Right now, our investors are in place, our contractor is in place, and we are ready to commence demolition. We have our excavation and foundation package ready to submit so that the key work that must be completed before winter can be completed before winter hits.

The Applications are the last remaining dam holding back the torrent of work that must begin before frost sets in. If we had to wait more than another month to have a decision on the

Applications, that schedule is yesterday's trash and the bulk of the construction may well be delayed until the spring. Therefore, we viewed tabling the Applications for 30 days as an effective denial without a City Council vote.

Given that tabling meant choosing between a de facto denial or potentially delaying construction until spring, we felt as though we had little alternative but to move forward to the City Council and to more fully explain the Applications and offer additional conditions that address the concerns of the Planning Commission without delaying commencement of the Project. We hope that you understand the decision is in no way a reflection on the Planning Commission or the great work that they do. As you will see below, we are proposing additional conditions that City Council could require to address the Planning Commission comments. We hope between those conditions and the additional information contained in this letter, you will see that the Applications make for a better Project and provide a public benefit.

b. The City Council Has Great Knowledge of the Background of the Property's Inclusion.

We have great respect for the Planning Commission and have accepted their comments to propose additional conditions to the Applications. But they could not have been aware of the background of when and why we acquired the Property as it developed after the public hearings before the Planning Commission on our original applications. They did not know the how and why that the existing Site Development Plan contains an entire section on the Property or the how and why that the Property is specifically referenced in the Development Agreement. Without that information, one is unlikely to see the Applications as they are: a request to use a parcel that was intended to be added to the Project in a way that improves the Project with the smallest impact to the neighbors.

Why we have proposed to use the property for surface parking.

Because we had believed that our request was wholly in line with the public and City comments in the public hearings on the approval of the existing PUD and the TIF application, we kept our conversation very brief, and perhaps too brief. Shortly after we acquired the Property, we looked at all options to improve the Project and to provide benefits to the City that was consistent with the discussions that occurred at the public meetings with the City Council and the EDA. One item that was quickly identified by the company that we have retained to manage the Project, Steven-Scott Management,¹ was the underground parking. As you may recall, the underground parking was designed to provide shared parking for residents, guests, and employees of the commercial tenants. It is a situation that would not be unique to the Project and is workable for the Project that allowed us to keep a high level of green space for the Project.

¹ Steven Scott is the leading management company in the Twin Cities for market rate apartment buildings. More information is available on their website at <http://www.steven-scott.com>

a. *The Revised Design Will Allow Underground Parking for Exclusive Resident Use.*

Steven Scott found the design to be workable, but not ideal. In an ideal world, the underground parking would be secured. Under this ideal situation, access to the entire underground parking would be limited to the residents. As we stated in the PUD process, our apartment units are directed to renters by choice, who are actively courted by a wide variety of living options. Many of the renters by choice choose to redirect some portion of the expense of home ownership to their vehicle(s) and want to make sure those vehicles are as protected as possible. They look for the "ideal living situation." While the Project has many of the ideal components, we have consistently been looking for ways to improve it. Steven Scott stressed that if there was an opportunity to make the underground parking solely for residents it would make the Project more desirable to our target market.

We also understand that the more secure any project is, the more that the community as a whole is served. This is not to say that the Project is not safe or there are security concerns. Quite the opposite is true and if the underground parking remains shared we will require background checks for anyone who consistently uses the underground parking. Nonetheless, it is undeniable that a car stored overnight is safer in a locked garage than an unlocked garage. The issue with the current underground parking system is how to make maximize the security when it is opened to non-residents. Steven Scott strongly believes that the access to the below ground parking should require a key card or "fab." Meeting that ideal condition while also allowing the below ground parking to be shared with non-residents creates oversight and procedure difficulties.

With the acquisition of the Property, we have an opportunity even further reduce safety risks by making our underground garage a fully locked garage. Even if that change eliminates the one and only safety concern over that might arise over the life of the Project, it is a change that benefits the Project and the general public.

b. *The Revised Design Better Matches Natural Parking Habits.*

Working with Steven Scott, we have also sought to address the neighborhood concerns of potential street parking for guests or visitors to the commercial tenants. Before going any further on this point, let me stress that nothing has changed about the expected commercial tenants. A vibrant and welcoming restaurant will be one of the tenants. With the acquisition of the Property, we looked at ways to address the neighbor's street-parking concerns, to improve the efficiency of the restaurant, and to most naturally respond to parking habits. Again, this was not a question of whether the existing PUD is workable, but how we use the Property to make the Project better for its tenants (retail and residential) and the public generally. It goes without saying that all guests of the Project will look first to the closest and most convenient parking options. Many non-residents may even need coaxing to overcome the assumption that underground parking is open to anyone other than residents. We expected those habits and we were ready to deal with it in the existing design. But with the Property we have a chance to make it better and to meet the more natural parking habits: guests and commercial patrons on the surface, and residents below ground in a fully secured garage.

The more the Project mirrors those natural parking habits the more we can eliminate any potential for conflict with the neighborhood. No matter how minimal that potential conflict might be, we want to eliminate it. We have retained some of the top professions in their respective fields, such as ESG and Steven Scott, to make sure the Project does not just succeed but flourishes. They have all stressed, and we agree, that the difference between a good Project and a great Project is attention to the details and constantly looking for options to improve the Project. The addition of the Property provided us with that opportunity. By shifting the non-resident parking to the surface, we more closely follow the natural parking pattern of the non-residents while simultaneously increasing the desirability of the Project to a competitive target market.

Shifting of underground parking to an otherwise developable parcel is not a financial benefit.

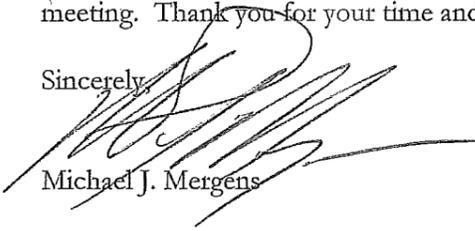
It seems that many have the impression that the proposed design is solely about cost savings. It is not and the reality is that the design is a long-term net loss to us. While there is present short-term saving in shifting underground parking to surface parking, it is not as great as suggested. There are also significant costs that devour much of the short-term savings. More importantly, with the shift in parking we understand that we are foregoing the ability to develop the Property. As a developer, that is no small concession. The lost revenue for development potential from even a modest development on the Property or requesting additional apartment units based on the bigger footprint exceeds the short-term cost savings. We have made that decision because it makes the Project better and responds to City comments received during prior hearings.

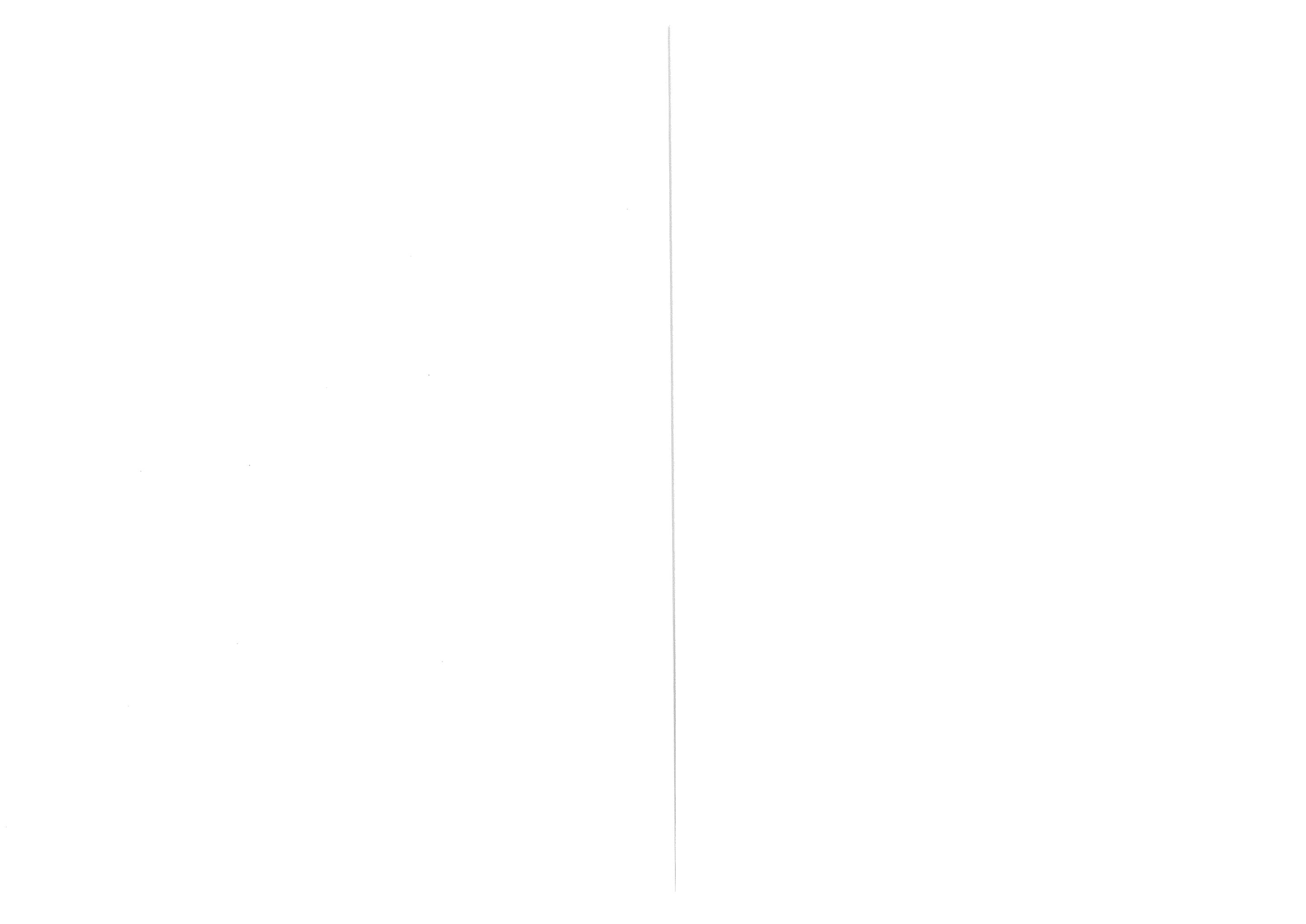
Proposed additional conditions.

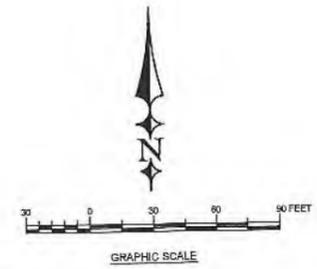
We would also like to respond to questions raised by the Planning Commission. Reviewing the design, we would agree to a condition to increase the northern set back from the 24 feet to 32 feet. To do so we would remove 4 parking stalls (reducing the net gain from 6 to 4). Since the Project was adequately parked the additional stalls are not needed and the revision will create greater green space. In addition, we would agree to a condition that the walking trail must be extended up and around the parking lot. We believe these conditions directly respond to the primary concerns raised by the Planning Commission. We have asked our civil engineer to prepare updated plans showing these conditions. We will provide the updated drawing to staff on Tuesday.

We look forward to answering any questions or concerns you may have at the City Council meeting. Thank you for your time and consideration.

Sincerely,


Michael J. Mergens





LEGEND:

- EXISTING BOUNDARY
- PROPOSED CONCRETE SIDEWALK/APRON
- PROPOSED BITUMINOUS PAVEMENT
- 0 PROPOSED PARKING COUNT
147 SURFACE STALLS
143 STRUCTURED STALLS
28 PRIVATE GARAGE STALLS
318 STALLS

KEYED NOTES:

- 1 INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL VCS.
- 2 INSTALL 6012 CONCRETE CURB. REFER TO DETAIL 2/C5.
- 3 CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 5/C5.
- 4 INSTALL 4" CONCRETE SIDEWALK. REFER TO DETAIL 4/C5.
- 5 INSTALL "STOP" TRAFFIC CONTROL SIGN.
- 6 MODULAR BLOCK WALL WITH RAILING (MINDOT SPEC. VERSA LOK BRONCO). ANY WALL OVER 4-FT IN HEIGHT SHALL BE DESIGNED BY AN ENGINEER AND A SIGNED PLAN SET OF DRAWINGS SHALL BE PROVIDED TO THE CITY PRIOR TO START OF CONSTRUCTION.
- 7 CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10/C5.
- 8 6" MIN. TOPSOIL AND HYDRO SEEDING WITH LOW GROW FESCUE @ 220 LBS. PER ACRE, W/20 LBS. PER ACRE ANNUAL RYE.
- 9 INSTALL FENCING AT RETAINING WALL PER ARCHITECT DETAIL.
- 10 AREA OF INFILTRATION PRACTICES SHALL BE DELINEATED WITH ORANGE CONSTRUCTION FENCING AND BE AVOIDED BY CONSTRUCTION TRAFFIC.
- 11 SURMOUNTABLE CURB AND GUTTER.
- 12 SNOW STORAGE AREA.
- 13 INSTALL ADA SIGNAGE PER DETAIL.

LAYOUT NOTES:

- 1) ALL RADII TO BACK OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- 3) PAVEMENT STRIPING TO BE 4" WIDE WHITE EPOXY PAINTED STRIPE.

SURFACE AREA ANALYSIS

TOTAL LOT AREA	= 184,158 S.F.
LOT 1	= 46,883 S.F.
LOT 2	= 137,275 S.F.
EXISTING IMPERVIOUS SURFACE	= 101,500 S.F. (55.1%)
CONCRETE	= 4,470 S.F.
BIT.	= 59,300 S.F.
SHED/GARAGE	= 710 S.F.
HOUSE	= 3,860 S.F.
BUILDING	= 30,110 S.F.
GRAVEL	= 3,050 S.F.
TOTAL PROPOSED IMPERVIOUS SURFACE	= 113,767 S.F. (61.8%)
SIDEWALK	= 28,815 S.F.
BIT.	= 36,630 S.F.
APARTMENT	= 34,675 S.F.
GARAGE	= 2,595 S.F.
TOWN HOMES	= 11,052 S.F.
LOT 1 PROPOSED IMPERVIOUS SURFACE	= 27,347 S.F. (58.3%)
SIDEWALK	= 4,095 S.F.
BIT.	= 12,200 S.F.
TOWN HOMES	= 11,052 S.F.
LOT 2 PROPOSED IMPERVIOUS SURFACE	= 86,420 S.F. (63.0%)
SIDEWALK	= 24,720 S.F.
BIT.	= 24,430 S.F.
GARAGE	= 2,595 S.F.
APARTMENT	= 34,675 S.F.

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TODD A. ERICKSON, PE
 40418
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 10901 Baltimore St. NE
 Blaine, Minnesota 55449

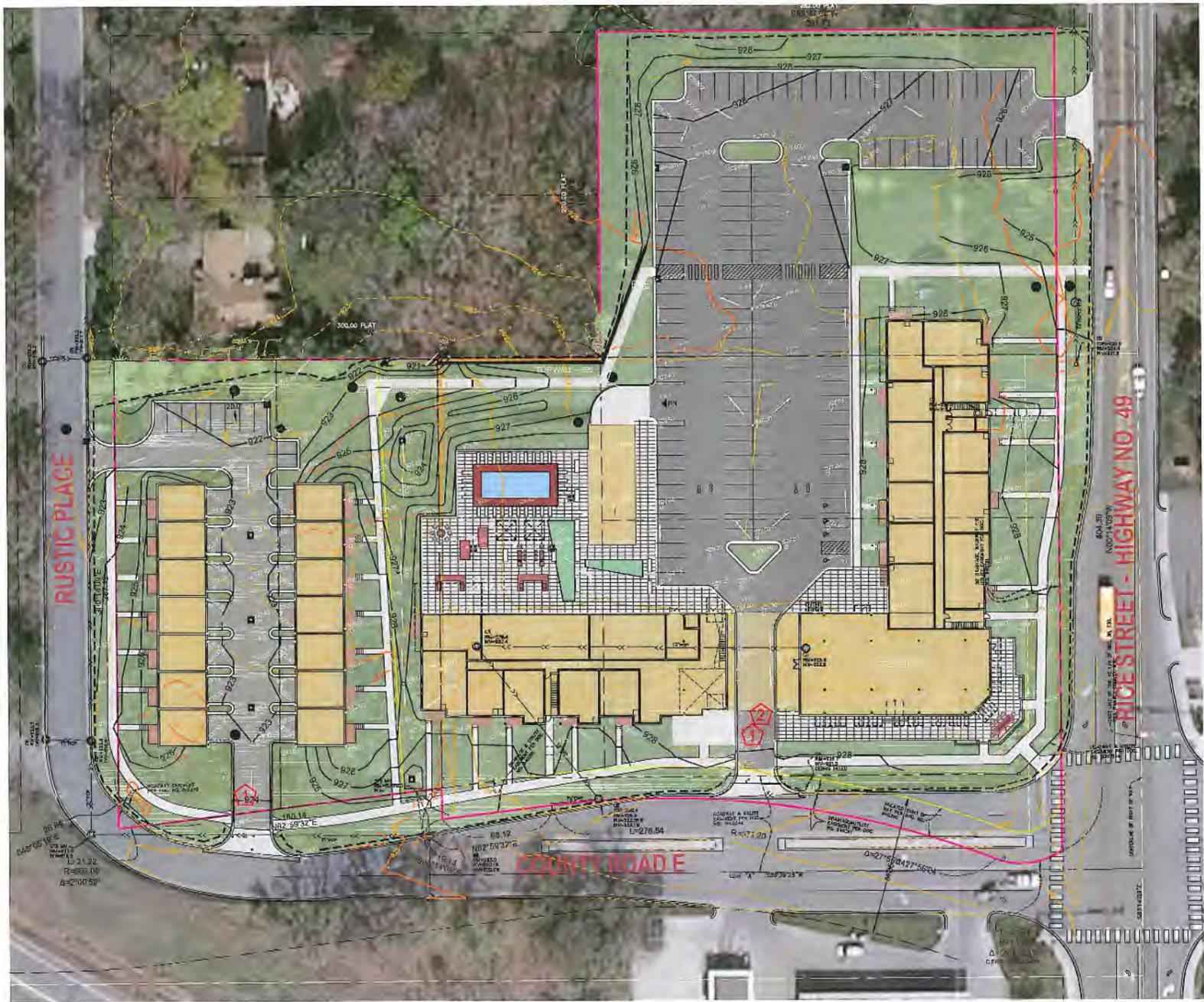
PROJECT TITLE
THE MCMILLAN
 157 COUNTY ROAD E, W.
 SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
LAYOUT PLAN

SHEET NO.
C2
 SHEET 2 OF 8



LEGEND:

- EXISTING PROPERTY BOUNDARY
- - - -930 - - - EXISTING 1-FT CONTOUR
- 930 — PROPOSED 1-FT CONTOUR
- PROPOSED SPOT ELEVATION
- G = PROPOSED GROUND SURFACE
- gl = GUTTER LINE
- c = CONCRETE SURFACE
- b = BITUMINOUS SURFACE
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- NOTE: * REPRESENTS EXISTING GRADE.
- - - - - PROPOSED HEAVY DUTY SILT FENCE

KEYED NOTES:

- ① MATCH EXISTING BITUMINOUS PAVEMENT ELEVATIONS.
- ② PROPOSED ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 61CS.

Contractor SHALL notify District staff at least 48 hours prior to the construction of the infiltration basin in order to provide for District construction observation. Failure to notify the District prior to the installation may result in the removal of work completed. Contact Nicole Soderholm at 651-792-7976.

Contact Nicole Soderholm, District Inspector, at 651-792-7976 prior to beginning construction.

NOTES:

- 1) ALL CONSTRUCTION AS CALLED FOR ON THESE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH ALL OSHA REQUIREMENTS.
- 2) THE GRADING CONTRACTOR SHALL SECURE THE SOILS ENGINEER'S CERTIFICATION OF ALL CONTROLLED FILLS WILL BE FURNISHED TO THE OWNER DURING AND UPON COMPLETION OF THE PROJECT.
- 3) SPOT ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 4) PRIOR TO ON SITE EXCAVATION OR DEMOLITION WORK, INSTALL EROSION CONTROL MEASURES IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 5) EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL SEDIMENT TRAPS OR BASINS AND BIO LOG AS DEEMED NECESSARY TO CONTROL EROSION.
- 6) GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL PRACTICES MUST BE ESTABLISHED PRIOR TO THE START OF ANY UP-GRADE LAND DISTURBING ACTIVITIES.
- 7) PROVIDE 6" OF NATIVE TOPSOIL IN GREEN AREAS.
- 8) AT ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- 9) IF SEDIMENT ENTAILS THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- 10) TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROL, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS SWALES AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.

- 11) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH EROSION CONTROL, RANKER.
- 12) MAINTAIN AND REPAIR EROSION CONTROL MEASURES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED. CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL DAILY AND AFTER ANY RAIN EVENT. ALL SEDIMENT CONTROL FEATURES MUST BE REPAIRED WHEN THE SEDIMENT HEIGHT IS TO THE HEIGHT OF THE STRUCTURE, OR REPAIR WITHIN 24 HOURS OF DISCOVERY. EROSION CONTROL STRUCTURES FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF EROSION CONTROL STRUCTURES REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).
- 13) ALL EXISTING CITY STREETS SHALL BE SWEEP AS NEEDED AND AS REQUESTED BY ENGINEER OR CITY STAFF.
- 14) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 15) AFTER GRADING OPERATIONS ARE COMPLETED, LANDWALK CONTRACTOR SHALL UNCOMPACT ALL GREEN AREAS PRIOR TO SODDING AND LANDSCAPING.
- 16) PERMANENT RESTORATION IN LAWN AREAS SHALL CONSIST OF PLACING SOG PER MNDOT 3878.2A SPECIFICATIONS. SOG STRIPS SHALL NOT HAVE DEAD OR DRY EDGES AND SHALL NOT BE CUT MORE THAN 24 HOURS IN ADVANCE OF DELIVERY.
- 17) TEMPORARY STABILIZATION OF SLOPES AND GRADING AREAS DURING CONSTRUCTION SHALL BE A MIXTURE OF 50% MIXTURE. TEMPORARY SEED MIXTURE SHALL BE PLACED WITH A DRILL AT A RATE OF 30 LBS/ACRE.
- 18) SOG AND INSTALLATION OF EROSION CONTROL BLANKET SHALL BE COMPLETED WITHIN 48 HOURS OF FINAL GRADING.
- 19) POSITIVE DRAINAGE OF MINIMUM 2% SLOPE SHALL BE ACHIEVED AWAY FROM PROPOSED BUILDING.

SWPPP SEQUENCING:

- 1) OBTAIN MPCA PERMIT MINIMUM 7 DAYS PRIOR TO STARTING TREE CLEARING ACTIVITIES.
- 2) INSTALL SWPPP MAILBOX WITH A COPY OF THE PLANS, SWPPP AND EROSION CONTROL LOGS.
- 3) INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN IN DETAILS.
- 4) INSTALL PERIMETER CATCH BASIN SEDIMENT CONTROL MEASURES (INLET PROTECTION).
- 5) INSTALL SILT FENCING/BIO LOGS AS SHOWN ON PLAN PRIOR TO ANY SITE DISTURBANCE OR TREE REMOVAL. SITE PERIMETER FENCING SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
- 6) INTERIOR SILT FENCE AND BIO LOG SEDIMENT CONTAINMENT SHALL BE PLACED TO CONTROL STOCKPILES OR CONCENTRATED AREAS OF FLOW DURING CONSTRUCTION AND AFTER SITE ROUGH GRADING IS COMPLETE.
- 7) INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION CHAMBER AREA. KEEP CONSTRUCTION TRAFFIC OFF OF THIS AREA UNTIL EXCAVATION OF SYSTEM IS TO START.
- 8) INSTALL ORANGE CONSTRUCTION FENCING AROUND DRIP LINE OF TREES TO REMAIN.
- 9) NOTIFY RAMSEY WASHINGTON METRO WATERFED DISTRICT FOR APPROVAL OF PERIMETER EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION (3 BUSINESS DAY NOTIFICATION REQUIRED).
- 10) SEED ANY TOPSOIL STOCKPILE AND OR HYDROMULCH WITH MINIMUM 20LBS PER ACRE OATS.
- 11) INSTALL MPCA APPROVED CONCRETE CLEANOUT STATION PRIOR TO CONCRETE USE ON SITE.
- 12) CONDUCT GRADING OPERATIONS.
- 13) MAINTAIN LOGS OF RAIN EVENTS AND CORRECTIVE ACTIONS FOR EACH EVENT IN SWPPP MAILBOX PER MPCA NPDES PERMIT REQUIREMENTS.
- 14) UTILIZE TEMPORARY HYDROMULCH AND SEEDING TO MAINTAIN SEDIMENT ON SITE.
- 15) MAINTAIN AND CLEANOUT SILT FENCING AND CATCH BASIN SEDIMENT CONTROL AS INDICATED ON PLANS OR IN THE NPDES PERMITTING.
- 16) AFTER INSTALLATION OF PROPOSED STORM SEWER, IMMEDIATELY INSTALL SEDIMENT CONTROL MEASURES.
- 17) HYDROSEED ENTIRE SITE FOR FINAL STABILIZATION WITH PROPOSED SEED MIXTURE AND HYDROMULCH WITH TACKIFIER.

VERSA LOK BRONCO UNIT



Width (face) 67.5"
 Height 30"
 Depth 45"
 Face Area 14 ft²
 Weight 4650 lbs
 Max Unreinforced Height 10 ft
 Max Geogrid Reinforced Height 150+ ft

*The maximum stable, unreinforced VERSA-LOK wall height in best conditions, may be lower depending on soil, site and loading conditions (including terraces). Taller walls need geogrid soil reinforcement, designed by a qualified engineer. Check your local building code requirements. Please contact your supplier or VERSA-LOK representative for assistance.

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 Blaine, Minnesota 55449

PROJECT TITLE
THE MCMILLAN
 157 COUNTY ROAD E, W.
 SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
GRADING PLAN

SHEET NO.
C3
 SHEET 3 OF 8



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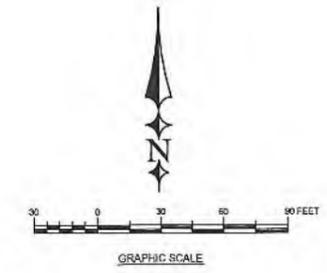
PROJECT TITLE
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 SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
UTILITY PLAN

SHEET NO.
C4
 SHEET 4 OF 6



LEGEND:

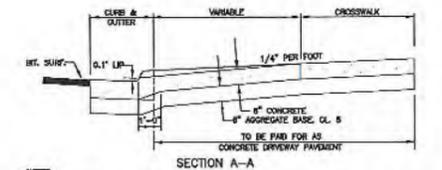
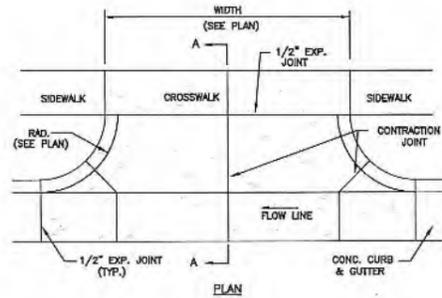
- | | |
|----------------------|--------------------------|
| CABLE TV PEDESTAL | STORM MANHOLE |
| AIR CONDITIONER | FIRE DEPT. CONNECTION |
| ELECTRIC MANHOLE | HYDRANT |
| ELECTRIC METER | CURB STOP |
| ELECTRIC PEDESTAL | WATER VALVE |
| ELECTRIC TRANSFORMER | BOLLARD |
| LIGHT POLE | FLAG POLE |
| GUY WIRE | TRAFFIC SIGN |
| POWER POLE | UNKNOWN MANHOLE |
| GAS METER | SPOT ELEVATION |
| TELEPHONE PEDESTAL | CONFIROUS TREE DEMO |
| SANITARY MANHOLE | DECIDUOUS TREE DEMO |
| CATCH BASIN | CONFIROUS TREE TO REMAIN |
| FLARED END SECTION | DECIDUOUS TREE TO REMAIN |
| ROOF DRAIN | |
| WATER MANHOLE | |
-
- | | |
|-------------------------|----------------|
| PROPERTY BOUNDARY | SANITARY SEWER |
| UNDERGROUND ELECTRIC | STORM SEWER |
| UNDERGROUND CABLE TV | WATERMAIN |
| UNDERGROUND FIBER OPTIC | TRENCH |
| UNDERGROUND TELEPHONE | CURB (TYPICAL) |
| OVERHEAD UTILITY | |
| UNDERGROUND GAS | |
-
- | | |
|-------------------------|--|
| PROPOSED SANITARY SEWER | |
| PROPOSED STORM SEWER | |
| PROPOSED WATER MAIN | |

KEYED NOTES:

- 1 CONNECT TO EXISTING CATCH BASIN
- 2 WATER AND FIRE SUPPRESSION TO BE SPLIT INSIDE OF BUILDING.
- 3 CONSTRUCT MANHOLE OVER EXISTING STORM SEWER.
- 4 CONNECT TO EXISTING WM WITH 4" WET TAP VALVE
- 5 CONNECT TO EXISTING MANHOLE
- 6 CONNECT TO WATERMAIN STUB
- 7 ALL EXISTING SITE UTILITIES SHALL BE REMOVE/ABANDONED
- 8 CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER
- 9 CONNECT TO EXISTING WATERMAIN WITH 6" WET TAP G.V.

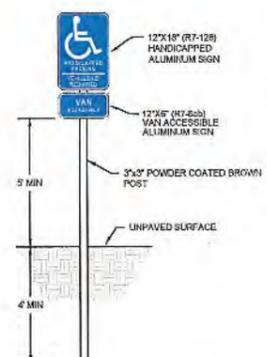
NOTES:

- 1) WATERMAIN: 4" & 8" DIP CL 52 ALL MECHANICAL JOINTS. 8" MINIMUM BURY.
- 2) FIRE CONNECTION PER THE SHOREVIEW REQUIREMENTS.
- 3) SANITARY SEWER: 8" PVC SCHEDULE 40
- 4) STORM SEWER: RCP (CLASS AS SHOWN ON PLAN)
- 5) PRESSURE TEST SANITARY SEWER PER CITY OF SHOREVIEW REQUIREMENTS
- 6) HYDROTEST WATERMAIN PER CITY OF SHOREVIEW REQUIREMENTS.
- 7) BACTERIA TEST WATER SERVICE PER CITY OF SHOREVIEW REQUIREMENTS.

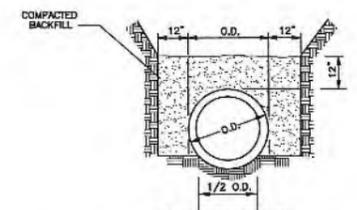


NOTES:
1. PANEL WIDTH SHALL NOT EXCEED 16' WITHOUT 6' CONTR. JOINT.
2. WHERE SIDEWALK DEISTS OR IS PROPOSED, CROSSWALK SHALL BE SAME THICKNESS AS DRIVEWAY.

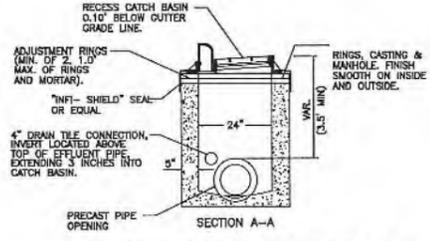
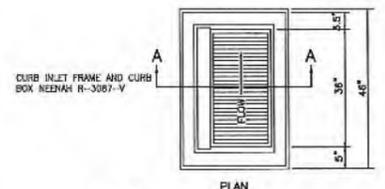
10 CONCRETE DRIVEWAY
C5 NO SCALE



11 ADA SIGN INSTALLATION
C2 NO SCALE

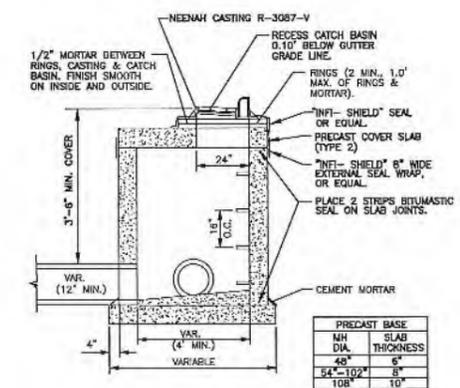


7 PIPE FOUNDATION DETAILS
C5 NO SCALE



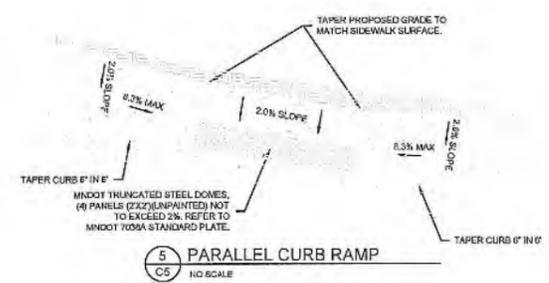
8 PRECAST REINFORCED CONCRETE CATCH BASIN & BASE SLAB PER ASTM C478
C5 NO SCALE

9 CATCH BASIN/MANHOLE
C5 NO SCALE

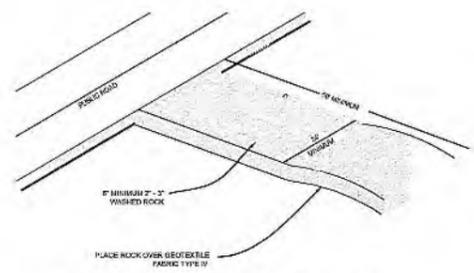


NO WOOD SHALL BE USED FOR ADJUSTING CASTING; CEMENT MORTAR ONLY. CAST IRON FRAME & GRATE CASTINGS PER SPECIFICATIONS.
MANHOLE SETTING SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C476. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.
PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, OR 8" CONCRETE MANHOLE SLABS WITH 1/2" MORTAR EXTERIOR.
FINISH PRECAST CONCRETE MANHOLE SECTIONS WITH 6-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.
FILL OPENING BETWEEN PIPE AND MANHOLE WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

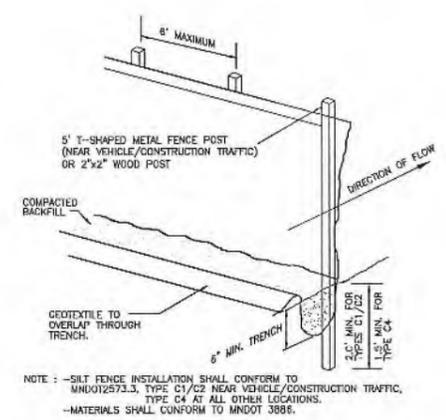
9 CATCH BASIN/MANHOLE
C5 NO SCALE



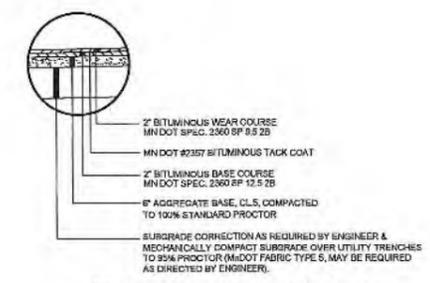
5 PARALLEL CURB RAMP
C5 NO SCALE



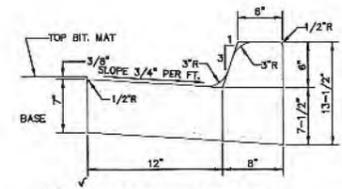
6 ROCK CONSTRUCTION ENTRANCE
C5 NO SCALE



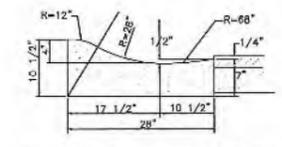
6 SILT FENCE
C5 NO SCALE



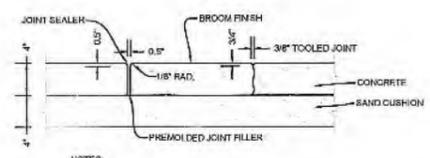
1 BITUMINOUS PAVING SECTION
C5 NO SCALE



2 B612 CURB & GUTTER
C5 NO SCALE



3 SURMOUNTABLE CURB & GUTTER
C5 NO SCALE



NOTES:
TOOLED JOINTS:
1) JOINT SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE ON PLANS.
EXPANSION JOINTS:
1) WHERE WALK BUTTS ANY FIXED OBJECT SUCH AS WALLS, CURBS, MANHOLES, ETC.
2) 45° ON CENTER MAXIMUM OR AS SHOWN ON PLANS.
3) JOINT SEALER SHALL MEET ASTM D-412, GRAY, SELF LEVING, EPDM, AS WITH "QUICK JOINT 300" OR EQUAL.

4 CONCRETE SIDEWALK DETAIL
C5 NO SCALE

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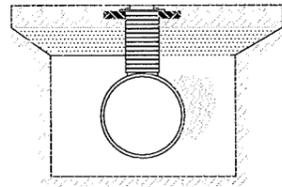
SHEET TITLE
DETAILS

SHEET NO.
C5
SHEET 5 OF 8

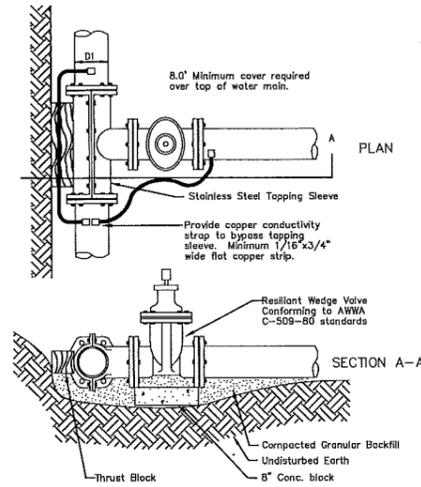
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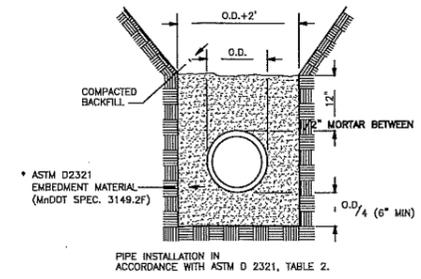
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 40418
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 DATE:



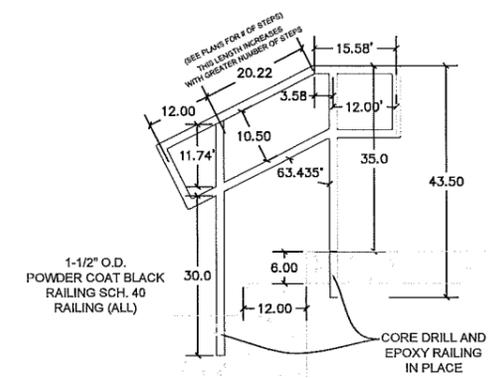
6 UNDERGROUND STORAGE PIPE
 C6 NO SCALE



4 WATER MAIN WET TAP
 C6 NO SCALE

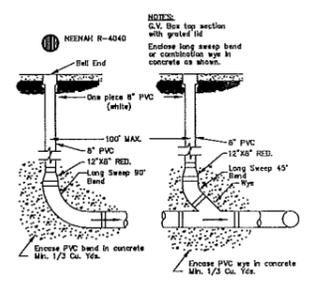


PIPE INSTALLATION IN ACCORDANCE WITH ASTM D 2321, TABLE 2.
 * EMBEDMENT MATERIAL SHALL CONFORM TO ASTM D2321, TABLE 1.
 GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)
 1 C6 NO SCALE

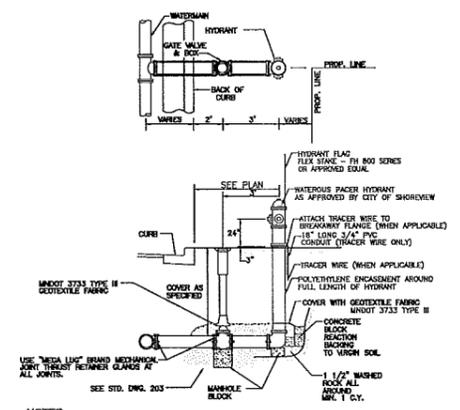


2 TYPICAL EXTERIOR RAILING DETAIL
 C6 NO SCALE

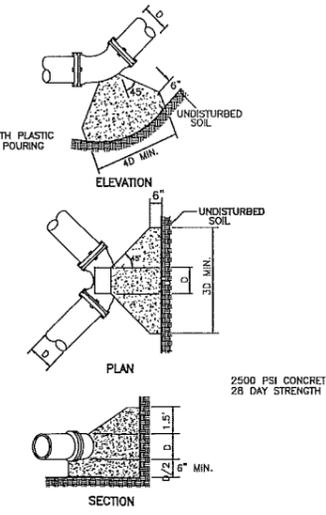
Per Safety Rail Company:
 4244 Shoreline Drive, Spring Park, MN 55384
 Phone: 888-434-2720 | Fax: 888-471-4931
 www.safetyrailcompany.com



7 COURTYARD DRAINAGE SYSTEM
 C6 NO SCALE



5 TYPICAL HYDRANT LAYOUT (VALVE IN BOULEVARD)
 C6 NO SCALE



3 CONCRETE REACTION BACKING (FOR BENDS)
 C6 NO SCALE

COMBINED DEVELOPER
ELEVAGE DEVELOPMENT GROUP, LLC
 10901 Baltimore St. NE
 Blaine, Minnesota 55449

PROJECT TITLE
THE MCMILLAN
 157 COUNTY ROAD E. W.
 SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

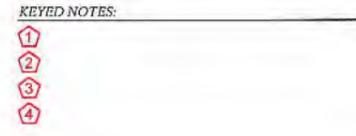
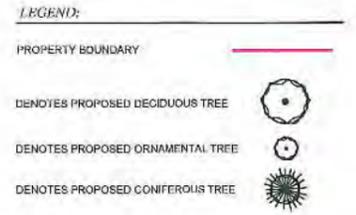
SHEET TITLE
DETAILS

SHEET NO.
C6
 SHEET 6 OF 6

DRAWING PHASE:	
OWNER REVIEW	
AGENCY REVIEW	
BID DOCUMENT	✓
PERMIT SET	
AS-BUILT DOCUMENT	

ELEVAGE DEVELOPMENT GROUP, LLC
 10901 Baltimore St. NE
 Blaine, Minnesota 55449

THE MCMILLAN
 157 COUNTY ROAD E. W.
 SHOREVIEW, MN 55126

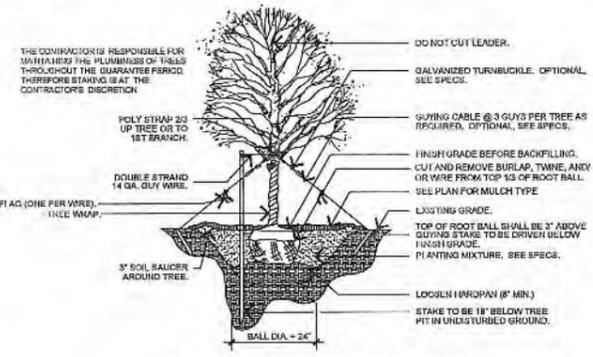


- NOTES:**
- ALL PLANTING BEDS SHALL RECEIVE MIN. 6" TOPSOIL, HEAVY LANDSCAPE FABRIC AND BROWN METAL EDGING WHERE MULCH MEETS LAWN.
 - ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL.
 - ENTIRE SITE SHALL BE IRRIGATED. DESIGN/BUILD BY CONTRACTOR.
 - HYDROMULCH WITH TACKIFIER ALL OPEN AREAS WITH LOW GROW FESCUE MIX FROM TWIN CITY SEED COMPANY AND BE SEEDING AT A RATE OF 220 LBS. PER ACRE. W 20LS/ACRE ANNUAL RYE.
 - BUILDING CONTRACTOR SHALL INCLUDE COST OF ELEC TRICAL AND PLUMBING FOR INSTALLATION OF IRRIGATION SYSTEM. IRRIGATION CONTROL BOX SHALL BE BY LANDSCAPE CONTRACTOR.
 - MAINTENANCE STRIP AND OTHER AREAS IDENTIFIED FOR MULCH SHALL BE 4" ANNUSE WASHED LIMESTONE PLACED AT A MIN. DEPTH OF 4" OVER 2 MIL POLY. PERMANENT ANNUAL PLANTING AREAS SHALL RECEIVE 6" OF COARSE SHREDDED HARDWOOD MULCH WITH NO FARRIC.

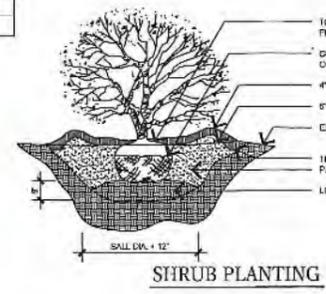
TREE REPLACEMENT CREDIT:

- 12 Conifers = 1.5 tree replacement credit
- 3' Caliper Deciduous = .5 tree replacement credit
- 3.5' Caliper Deciduous = 1 tree replacement credit
- 4' Caliper Deciduous = 1.5 tree replacement credit

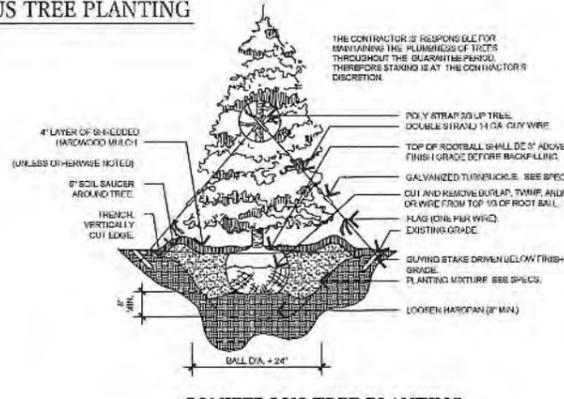
	Plant Name	Latin Name	Quantity	Size	Type
DECIDUOUS TREES					
A	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	4	3-1/2" DIA.	B&B
B	Skyline Honey Locust	Gleditsia triacanthos 'Skycole'	2	2-1/2" DIA.	B&B
C	Regal Prince Oak	Quercus 'Regal Prince'	17	2-1/2" DIA.	B&B
D	Sunburst Honey Locust	Gleditsia triacanthos 'Suncole'	17	2-1/2" DIA.	B&B
E	River Birch Clump	Betula nigra	1	2-1/2" DIA.	B&B
F	Ginkgo	Ginkgo biloba 'Princeton Sentry'	3	3-1/2" DIA.	B&B
G	Black Walnut	Juglans nigra	2	3-1/2" DIA.	B&B
H	Hackberry	Celtis occidentalis	2	3-1/2" DIA.	B&B
J	Royal Red Norway Maple	Acer platanoides 'Royal Red'	2	3-1/2" DIA.	B&B
K	Autumn Spire Red Maple	Acer rubrum 'Autumn Spire'	16	3-1/2" DIA.	B&B
CONIFEROUS					
L	Fat Albert Blue Spruce	Picea pungens 'Fat Albert'	12	8-FT	B&B
M	Black Hills Spruce	Picea glauca 'Densata'	16	12-FT	B&B
N	White Fir	Abies concolor	17	12-FT	B&B
O	Norway Spruce	Picea abies	18	12-FT	B&B
P	Weeping White Spruce	Picea glauca 'Pendula'	5	8-FT	B&B
ORNAMENTAL					
Q	Korean Maple	Acer pseudosieboldianum	2	2-1/2" DIA.	B&B
R	Snowdance Japanese Lilac	Syringa reticulata 'Snowdance'	10	2-1/2" DIA.	B&B
T	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance (tree form)'	21	2-1/2" DIA.	B&B
V	Spring Snow Flowering Crab	Malus 'Spring Snow'	12	2-1/2" DIA.	B&B



DECIDUOUS TREE PLANTING



SHRUB PLANTING



CONIFEROUS TREE PLANTING

TYPICAL FOUNDATION PLANTINGS



Strawberry Candy Daylily Karl Foerster Reed Grass Spirea Tor Birchleaf Purple Emperor Stonecrop

OWNER/OWNER

PROJECT TITLE

DATE

REVISION DESCRIPTION

NO.

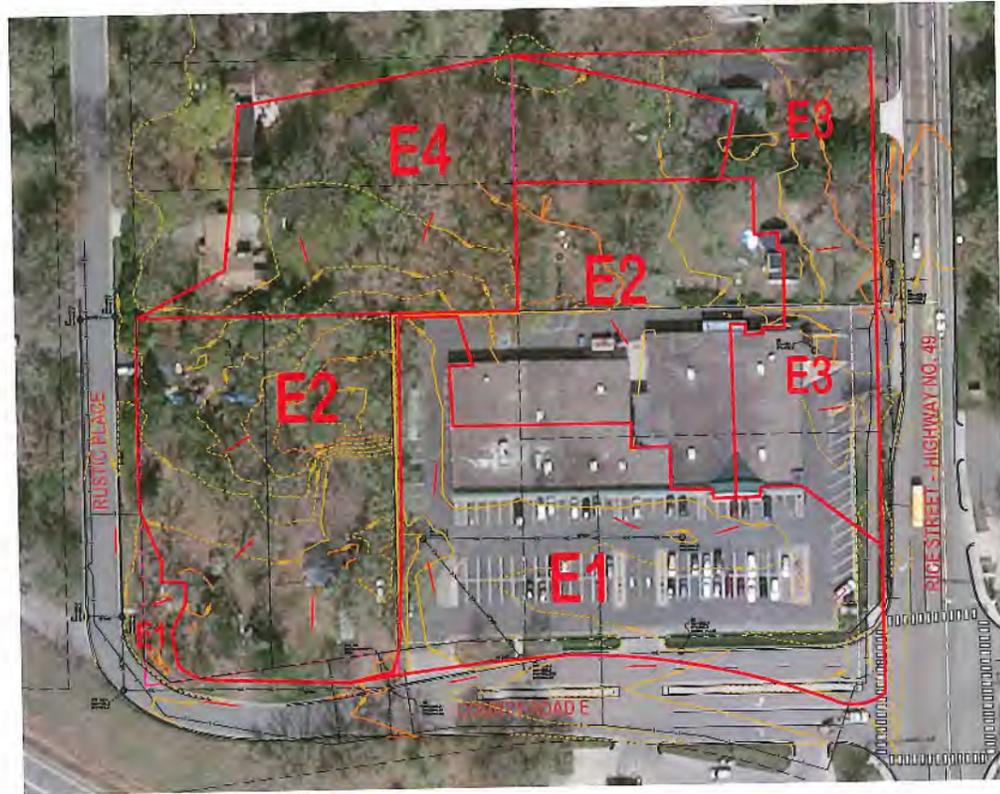
JOB NO. 15-172

SHEET TITLE
TREE PLANTING PLAN

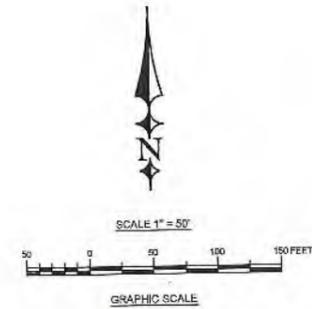
SHEET NO.

L1
 SHEET 1 OF 1

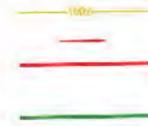
EXISTING DRAINAGE MAP



PROPOSED DRAINAGE MAP



LEGEND:



EXISTING DRAINAGE AREAS

DRAINAGE AREA ID	DRAINAGE AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	DESCRIPTION
E1	88,756	81,626	EXISTING UNCONTROLLED RUNOFF TO CITY STORM SEWER
E2	101,299	96,125	FLWS TO EXISTING DEPRESSION AND THEN OUTLETS TO STORM
E3	40,397	22,095	EXISTING UNCONTROLLED RUNOFF TO CITY STORM SEWER
E4	55,620	4,487	EXISTING FLOW TO BACKYARDS

PROPOSED DRAINAGE AREAS

DRAINAGE AREA ID	DRAINAGE AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	DESCRIPTION
P1	53,959	19,708	OVERLAND FLOW FROM YARD AND STREET AREAS TO STORM SEWER
P2	54,143	2,439	OVERLAND FLOW TO NEW PONDING AREA
P3	10,705	4,026	FLOW TO PROPOSED LOW POINT CATCH BASIN
P4	16,850	14,860	TOWNHOME DRIVEWAY FLOW TO STORM SEWER
P5	13,967	3,447	FLOW TO SMALL PONDING AREA B5
P6	9,555	9,555	PATIO/POOL AREA FLOW TO STORM SEWER
P7	48,433	34,785	PARKING LOT FLOW TO STORM SEWER
P8A	13042	13,042	UNDERGROUND STORAGE SYSTEM FOR RATE AND VOLUME CONTROL
P8B	20,141	20,141	UNDERGROUND STORAGE SYSTEM FOR RATE AND VOLUME CONTROL
P9	38,831	24,370	UNCONTROLLED FLOW TO CITY STORM SEWER
P10	3,643	1,187	FLOW TO SMALL PONDING AREA B10

RUNOFF SUMMARY COMPARISON

STORM EVENT	RATE DISCHARGE COMPARISON (CFS)	
	EXISTING TOTAL	PROPOSED TOTAL
2-YEAR	6.24	6.92
10-YEAR	14.54	13.13
100-YEAR	27.08	18.46

MPCA - 1.1 Inch Event - Volume Control

NEW IMPERVIOUSNESS = 3,327 Sq. Ft.
 DISTURBED EXISTING IMPERVIOUSNESS = 105,899 Sq. Ft.
 VOLUME TO INFILTRATE = 9,707 Cu. Ft., INFILTRATION VOLUME = 9,890 CU. FT. > 9,707 CU. FT.
 INFILTRATION RATE = 0.45 INCH/ HOUR

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 309-3804
 www.ericksoncivilsite.com

DRAWING PHASE:

OWNER REVIEW	
AGENCY REVIEW	✓
BID DOCUMENT	
PERMIT SET	
AS-BUILT DOCUMENT	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 PUD AMENDMENT
 DATE:

OWNER/DEVELOPER
 ELEVAGE DEVELOPMENT GROUP, LLC
 10901 Baltimore St. NE
 Blaine, Minnesota 55449

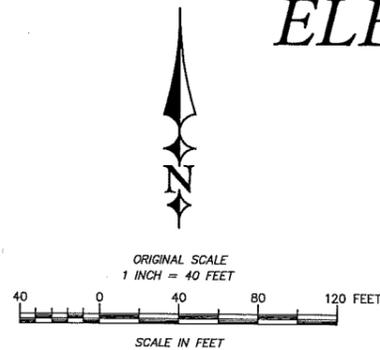
PROJECT TITLE
 THE MCMILLAN
 157 COUNTY ROAD E, W.
 SHOREVIEW, MN 55126

NO.	REV'S OR DESCRIPTION	DATE

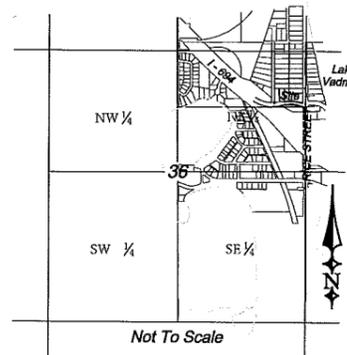
JOB NO. 15-172
SHEET TITLE
 DRAINAGE MAP
SHEET NO.
D1
 SHEET 1 OF 1

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ELEVAGE FIRST ADDITION



Site Location Map
Section 36, Township 30 North, Range 23 West
Ramsey County, Minnesota



Not To Scale

LEGEND

- DENOTES SET 1/2 INCH BY 16 INCH IRON PIPE MONUMENT MARKED WITH A PLASTIC CAP INSCRIBED "RLS 10938"
- DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED
- ⊙ DENOTES RAMSEY COUNTY CAST IRON MONUMENT

NOTES

1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON RAMSEY COUNTY COORDINATES NAD83 (1986 ADJUSTMENT).

Owners Certificate

KNOW ALL MEN BY THESE PRESENTS: That Elevage Shoreview Holdings, LLC, a limited liability company under the laws of the State of Minnesota, owner of the following described property, situated in the City of Little Canada, County of Ramsey, State of Minnesota:

Lots 10, 11, and 12, Block 3, Rowe & Knudson's Wooded Homesites, and that part of the North 19 feet of County Road E, vacated, lying between the extensions Southwesterly across said street of the West line of said Lot 12 and the East line of said Lot 11, Ramsey County, Minnesota and Lot 9, 13 and 14 Block 3, Rowe & Knudson's Wooded Homesites, Ramsey County, Minnesota. Tomms Property.

Has caused the same to be surveyed and platted as ELEVAGE FIRST ADDITION and does hereby dedicate or donate to the public for public use forever the public way and the drainage and utility easements as shown on this plat.

In witness whereof said Elevage Shoreview Holdings, LLC, a limited liability company under the laws of the State of Minnesota, has caused these presents to be signed by its proper officer this _____ day of _____, 2016.

Signed: Elevage Shoreview Holdings, LLC

Name and Title _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by _____,

_____ of Elevage Shoreview Holdings, LLC, a limited liability company under the laws of Minnesota, on behalf of the company.

Signature

Print Name

Notary Public, _____
My Commission Expires _____

Surveyors Certificate

I, Paul A. Johnson, Licensed Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2016.

Paul A. Johnson, Land Surveyor
Minnesota License No. 10938

STATE OF MINNESOTA
COUNTY OF WASHINGTON

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 2016, by Paul A. Johnson, Land Surveyor.

Todd A. Erickson
Notary Public, Minnesota
My Commission expires January 31, 2019

City of Little Canada

We do hereby certify that on the _____ day of _____, 2016, the City Council of the City of Little Canada, Minnesota, approved this plat. Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

Mayor Clerk

Department of Property Records and Revenue

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2016 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 2016.

Property Records and Revenue

By _____ Deputy

County Surveyor

Pursuant to Minnesota Statutes, Section Section 383A.42, this plat is approved this _____ day of _____, 20____.

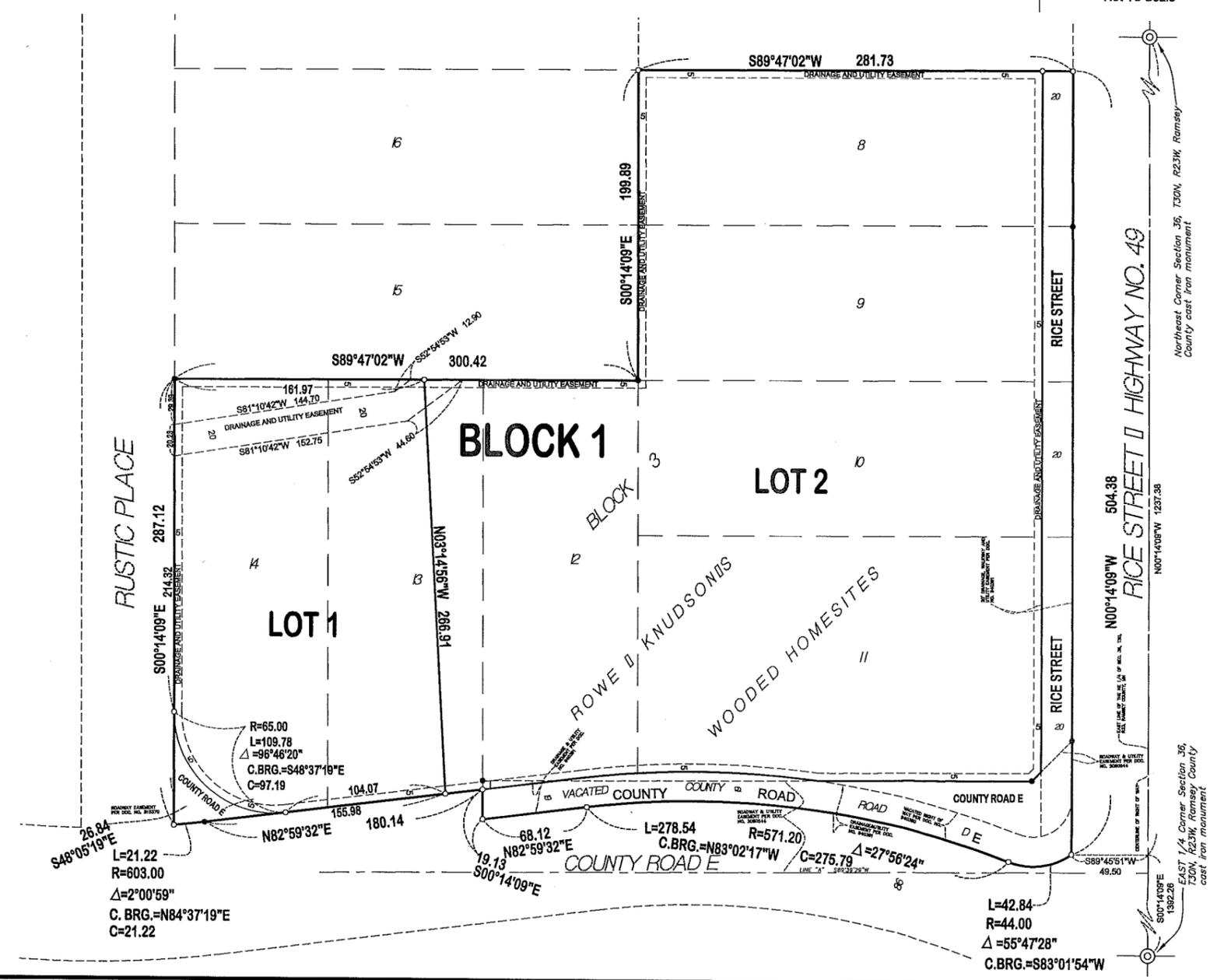
Craig W. Hinzman, L.S.
Ramsey County Surveyor

County Recorder

I hereby certify that this plat of ELEVAGE FIRST ADDITION was filed in the office of the County Recorder for the public record on this _____ day of _____, 2016, at _____ o'clock _____ M., and was duly filed in Book _____ of Plats, Page _____, as Document

Number _____

Deputy County Recorder



ERICKSON CIVIL
333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804
www.ericksoncivilsite.com



Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage Parking Lot - 3527 Rice Street

Tom Wesolowski <twesolowski@shoreviewmn.gov>
To: Kathleen Castle <kcastle@shoreviewmn.gov>
Cc: "MALONEY, MARK" <mmaloney@shoreviewmn.gov>

Mon, Aug 29, 2016 at 11:11 AM

Kathleen,

The Ramsey-Washington Metro Watershed District rules require that the post-development flow rate and volume of run-off from the site be equal to or less than the flow rate and volume of run-off from the site pre-development.

The proposed stormwater management plan submitted by Elevage to the Ramsey-Washington Metro Watershed District, as part of the permitting process, includes modeling of runoff from the site to the existing City pond and includes a comparison of pre-development run-off rate and volume to post-development. The model shows the post-development run-off rate and volume will be less than the pre-development.

Based on the modeling the volume of run-off to the City pond should not be increased and an expansion will not be required.

Thank you, Tom

Tom Wesolowski, P.E. | City Engineer

City of Shoreview

4600 Victoria St. N.

Shoreview, MN 55126

twesolowski@shoreviewmn.gov

Direct Tel: 651-490-4652

Fax: 651-490-4696

[Quoted text hidden]



Kathleen Castle <kcastle@shoreviewmn.gov>

File # 2631-16-30

1 message

Nate Berg <nberg@ljfd.org>

Thu, Aug 18, 2016 at 1:08 PM

To: "NORDINE, KATHLEEN" <kcastle@shoreviewmn.gov>

We have no issues with the proposed rendition to the parking lot, as long as the fire department access is to remain.

Nate Berg

Fire Marshal/Deputy Chief

Lake Johanna Fire Department

5545 Lexington Ave N

Shoreview, MN 55126

(651) 481-7024

nberg@ljfd.org

August 19, 2016

Kathleen Castle
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

Re: 3527 Rice Street – Elevage Development Group

I have reviewed the layout sent on August 17th, 2016 for the development of 3527 Rice Street. A full access is shown off of Rice Street. It is the County's understanding this access was intended for emergency vehicles. The only access allowed to Rice Street will be for the rare circumstance when an emergency vehicles need to use it. The design needs to be revised to prevent the access from being used as a driveway. The following changes should be made:

- In the parking lot, continue the curb through the access. Surmountable curb could be installed at the access to allow emergency vehicles to drive over it.
- The driveway should be redesign to discourage drivers from mistaking it for an access. One option is to design it as a trail with bollards to prevent vehicles from using it. The second option is to use a structural grid system that allows grass to grow, but would support emergency vehicles if necessary. Either of these options would be acceptable and the County is willing to consider other options as well.

Please notify the developer that a right of way permit will be required for any construction activity occurring within the County's right of way. Doug Heidemann is the Permit Coordinator and should be contacted to discuss permit requirements at 651-266-7186 or doug.heidemann@co.ramsey.mn.us.

Sincerely,



Erin Laberee, PE
Traffic Engineer



Minnesota Department of Transportation

Metropolitan District

Waters Edge Building
1500 County Road B2 West
Roseville, MN 55113

August 17, 2016

Kathleen Castle
City Planner
4600 North Victoria St
Shoreview, MN 55126

SUBJECT: P16-046 Gramsie Woods
West of Victoria St., between I-694 and Gramsie Rd.
Shoreview, Ramsey County
Control Section: 6285

Dear Ms. Castle:

The Minnesota Department of Transportation (MnDOT) has reviewed the above referenced plat in compliance with Minnesota Statute 505.03, subdivision 2, Plats. Before any further development, please address the following issues:

Right of Way (r/w)

There is a label on the Certificate of Survey showing the MnDOT access rights inside the existing MnDOT r/w. MnDOT records indicate MnDOT acquired the access rights along the depicted MnDOT r/w line from G. Reiling in May of 1960. This could have been acquired through condemnation with a Final Certificate, which can be located at the County Recorder's Office.

For questions regarding these comments please contact Matt Aguirre at 651-234-7599 or matthew.aguirre@state.mn.us.

Permits

Any use of or work within or affecting MnDOT right of way requires a permit. Permit forms are available from MnDOT's utility website at <http://www.dot.state.mn.us/metro/maintenance/permits.html>

Please include one to one set of plans formatted to 11X17 with each permit application. Please submit/send all permit applications and 11X17plan sets to: metropermitapps.dot@state.mn.us. Please direct any questions regarding permit requirements to Buck Craig (651-234-7911) of MnDOT's Metro Permits Section.

Review Submittal Options:

MnDOT's goal is to complete the review of plans within 30 days. Submittals sent in electronically can usually be turned around faster. There are four submittal options. Please submit either:

1. One (1) electronic pdf. version of the plans. MnDOT can accept the plans via e-mail at metrodevreviews.dot@state.mn.us provided that each separate e-mail is under 20 megabytes.
2. Three (3) sets of full size plans. Although submitting seven sets of full size plans will expedite the review process. Plans can be sent to:

MnDOT – Metro District Planning Section
Development Reviews Coordinator
1500 West County Road B-2
Roseville, MN 55113

3. One (1) compact disc.
4. Plans can also be submitted to MnDOT's External FTP Site. Please send files to: <ftp://ftp2.dot.state.mn.us/pub/incoming/MetroWatersEdge/Planning> Internet Explorer doesn't work using ftp so please use an FTP Client or your Windows Explorer (My Computer). Also, please send a note to metrodevreviews.dot@state.mn.us indicating that the plans have been submitted on the FTP site.

If you have any questions concerning this review, please contact me at (651) 234-7784.

Sincerely,



Karen Scheffing
Principal Planner

Copy sent via E-Mail:

Buck Craig, Permits
Bruce Irish, Water Resources
Nancy Jacobson, Design
Matt Aguirre, Right of Way
Gayle Gedstad, Traffic
Clare Lackey, Traffic
Mark Lindeberg, Area Engineer
Craig Hinzman, Ramsey County Surveys
Russ Owen, Metropolitan Council

Comments about the Amendment to the Elevage Development (August 30, 2016 Planning Commission Meeting)

I spent many hours attending meetings, reading material, and writing letters about the PUD that was passed by the City Council in the spring of 2016. The Council and the Planning Commission didn't read our letters from the neighborhood or listened to what was said.

Again: There are the topics of parking and access onto Rice Street. I remember Ramsey County wouldn't allow access. Now the plan shows access. Why? The Council and Planning Commission were satisfied with the parking in the spring of 2016 when they approved the PUD. Why does the PUD now need additional parking??? What has happened?

As 50 year resident of this neighborhood, I foresee the following problems:

1. Additional lighting causing "light pollution" for the neighbors
2. Parking lot for anyone to park and leave their junk backed up to residential homes
3. Strangers trespassing easily into residents' property
4. Children's safety and not just on the street
5. Crime
6. Vadnais Heights has no say in what is happening in the corner. This is so wrong.
7. Trees being taken down for a parking lot. If trees are cut down, caution needs to be taken so oak wilt will not spread to adjoining properties.
8. Who will "police" the property of the PUD? Anyone could just park there overnight.
9. How can there be an outlet onto Rice St? The backup is more than difficult in the am and pm traffic. Even MnDOT has been on record to say after the traffic study was done that there is a problem. And now you want to worsen the traffic by making an exit/ entrance onto Rice St?
10. Who will control the noise and litter for this property as it is expanding? You are more than endangering the current residents. You are purposely making it unbearable to the residents.
11. Snow removal is addressed by pushing the snow from the townhomes to the north. Make sure the drainage isn't into the residential home to north. Also, where is the snow from the rest of the parking lot going? And, where is the drainage going? How big will the retaining pond have to be made to hold all this run off? Minnesota is known for its snow fall. The snow can be very very deep!

There has been recent police activity around the PUD site in the middle of the night. How long will it take to make our beloved neighborhood livable without the current eye sore along County E? I am not at all sure what will be built will be an asset to the community. In the long run, it may not be maintained since it appears it is all about the money.

Please read this and consider all I've said. Thank you,

Joan Benson
3505 Rustic Place
Shoreview, MN 55126



Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage Parking lot

2 messages

Richard O'Neil <rwo3530@yahoo.com>
Reply-To: Richard O'Neil <rwo3530@yahoo.com>
To: Kathleen Castle <kcastle@shoreviewmn.gov>

Thu, Aug 25, 2016 at 3:56 PM

Ms. Castle,

I reside at 3530 Rustic place directly to the west of the Johnson property on Rice street and most recently acquired by Elevage.

I oppose the use of the property as a parking lot for obvious reasons: a) my property value will be affected negatively, and b) who wants to live next to a parking lot?

I can't quantify the dollar amount of the impaired value but it surely exists.

If the city approves this parking lot use, I request appropriate landscaping and/or fencing to at least screen the lot from my view.

Thank you for considering my request.

Richard O'Neil

Kathleen Castle <kcastle@shoreviewmn.gov>
To: Richard O'Neil <rwo3530@yahoo.com>

Thu, Aug 25, 2016 at 4:04 PM

Good Afternoon. I did receive your comments and will forward them to the Planning Commission.

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]

August 16, 2016
File No. 2631-16-30
Elevage Development Group, LLC
3527 Rice Street

Comments:

In our emails in April I indicated my preference that a 6 foot privacy fence be provided where my property borders the development. This would include the south and east borders of my property. The plans show fencing at the retaining wall, but it doesn't note it at the remaining border. In your April 15, 2016 email you indicated the Developer indicated a willingness to install a privacy fence, and it would be recommended the Final Plat and PUD require a privacy fence. Will this be in the final documents?

With snow storage shown at the north area of the development I want to be sure that the grade and slope of the development provide for adequate drainage away from my property to avoid pooling of water in my yard.

Thank you for your consideration

Name: Howard Statz

Address: 3520 Rustic Place

Writing in response to the proposed amendment by Elevage Development.

The developer asks to rezone another residential property to mixed use. According to the regulations of the City of Shoreview this type of exception to the zoning laws must be accompanied by some kind of benefit to the neighborhood. The first homes that were taken were deemed as "blighted" and thus their removal was beneficial. To call those homes blighted was certainly an exaggeration but non-the-less the approval was granted. The current project, which seems to have little support, includes a row of "tiny house" townhomes situated along Rustic Place, with little tiny house balconies overlooking the unpleasantly noisy freeway. They are much more like a row of trailer homes than the upscale design that was used to describe them.

It is not inaccurate to define the Townhomes as a blighted design. Overcrowding is another blight included in the design.

Please request the developer remove the blighted design of the "tiny house / trailer houses" and overcrowding as a condition of improvement to the neighborhood to grant the taking of another home. It's possible you will actually help this project get off the ground if it were of a reasonable proportion.

Thank you

Nathan Anderson & Jane Calvin

3565 Rustic Place



Kathleen Castle <kcastle@shoreviewmn.gov>

Latest Elevage Revision

2 messages

DodyLeGault <dodylegault@aol.com>

Fri, Aug 19, 2016 at 2:18 PM

To: Kathleen Castle <kcastle@shoreviewmn.gov>

I trust drivers will not be allowed a left hand turn from Rice into that parking lot entrance.

It still scares me that an entrance is allowed to the 14 townhomes off Co. Rd. E. . . . possibly 14 vehicles from an area that previously had just one driveway for a private home.

I understand the developers for the proposed "luxury" hotel by Weston Woods says people from Land O' Lakes will be staying there. I thought that's what Elevage said as well. Hmmmm, why would Land O' Lakes personnel want to stay on Rice and Co.Rd. E with a nearby railroad, heavy interstate traffic, etc? Have they looked at how close the entrance ramp looks like it will be to the gas station?

Do they even have their funding lined up yet?

Dody LeGault
3546 Rustic Place
[651-482-0232](tel:651-482-0232)

Sent from my iPad

Robert Warwick <rwarwick@shoreviewmn.gov>

Fri, Aug 19, 2016 at 2:24 PM

To: "CASTLE, KATHLEEN" <kcastle@shoreviewmn.gov>

Received Friday 8/19 about 2.25pm

----- Forwarded message -----

From: **DodyLeGault** <dodylegault@aol.com>

Date: Fri, Aug 19, 2016 at 2:21 PM

Subject: Latest Elevage Revision

To: rwarwick@shoreviewmn.gov

Kathleen:

[Quoted text hidden]

--

Rob Warwick
Senior Planner
City of Shoreview
4600 Victoria Street North
Shoreview, Minnesota 55126
rwarwick@shoreviewmn.gov
651 490-4681



Kathleen Castle <kcastle@shoreviewmn.gov>

Comments On Elevage development Group Project (File No. 2631-16-30)

1 message

Thomas Sparrow <tsparrow@fastmail.net>
To: kcastle@shoreviewmn.gov

Fri, Aug 19, 2016 at 9:39 AM

Since Elevage Development Group is adding a significant amount of parking internally, I would like to see the council approve signs on both sides to the street at the corner of Rustic Place and County Road E stating "No Parking From Here To The Corner". On Rustic Place, it should include the Elevage property that is adjacent to that street. On County Road E, the signs should encompass the whole street. That particular stretch of road was not designed for commercial traffic. No road traffic study from Elevage will change that fact.



Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage PUD - Tuesday August 30, 2016 Planning Commission meeting

1 message

SHARON BRAUN RICHARD H BRAUN <braunrs3535@q.com>

Tue, Aug 23, 2016 at 12:04 PM

To: Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage Development Group PUD proposed changes for the property at 3527 Rice Street;

1) The original proposal did not include the property at 3527 Rice Street for re-zoning to mixed use. Since this property was purchased afterwards, why is this PUD considered for re-zoning? If, in fact, this zoning change request from low-density to mixed use, is approved for this property, this adds additional parking to the Elevage project. We request the city to approve signs stating "No Parking " on Co. Rd. E and also "No Parking Here to Corner" on Rustic Pl. 300 ft. south to Co.Rd. E. This would help eliminate possible accidents since parked cars obstruct vision, and Rustic Pl. is a very narrow street.

2) The PUD plan shows three snow storage areas on the north end of the townhome lot. Is that enough space to take care of the entire Elevage project? What about drainage to storm sewers? We don't believe that our residential storm sewers will be able to handle the snow and possible heavy rains. Is there a separate drainage system to handle this development? Without that, the majority of the run-off will drain into 3520 Rustic Pl. What about drainage to the other adjoining homes and those on Rice St.?

3) The new plan shows direct access onto Rice St. This really concerns us because the traffic on Rice St. is a very big issue. We live here and the problem is real. Without some restrictions, we will not be able to navigate out of our area, especially during peak traffic hours.

4) Concerning fencing, this development should be totally enclosed from the residential homes. This would give us some sense of privacy and peace that we had before this project was approved. We are asking the city to please consider this request.

5) Since the square footage of the restaurant and coffee shop have been determined, what kind of restaurant will it be - a family type restaurant or a restaurant-sports bar or what?

6) Shoreview and other communities have had oak wilt problems. Is there a protection plan to prevent oak wilt from spreading? In our Rustic Pl. --St. Marie neighborhood we have had numerous problems with oak wilt. We would ask the city to involve an arborist for recommendations since this development will require more trees to be cut down.

7) Since the development was approved as is, we have a question about the sewer and water for our residential area. Will the additional usage from the 134 unit apartment building, the town homes, the restaurant, and other businesses cause our sewers to back up and decrease our water pressure? Shouldn't there be a separate water and sewer system for this high density project? We need to know that these concerns have been considered and not just assume that everything will be okay.

Respectfully,

Richard and Sharon Braun
3535 Rustic Pl.

Regarding the Public Hearing on August 30, 2016 for the Amendment for Elevage Development at Cty E and Rice Street/ Rustic Place

I am opposed to the rezoning of 3527 Rice St from Residential to Multi use. The Development was previously approved by both the Planning Commission and the City Council. Both stated there was ample parking. If approval is granted for this expansion, does this mean that all our homes will be in jeopardy in the future? We will be forced out of our homes by untenable living situations created by the developer.

Rice Street: The new plan allows for direct access onto Rice Street. This will cause considerable traffic issues. The City and Ramsey County dismisses the traffic problem as fiction. For those living in the area, it is real. This access onto Rice St, if allowed, needs to be restricted.

Fencing: The new plan states to "install fencing at retaining wall." It shows a very short area of may be 100 ft. Privacy fencing has been requested by the neighbor at 3520 Rustic Place. The drawing provided does not show this. Also, I live at 3538 Rustic Place and I am now diagonal to the proposed parking lot. I request a privacy fence of 6+ ft be along the east side of 3530 Rustic Place and along the south side of 3529 Rice St. I am requesting the new addition to the development be totally enclosed and separated from the residential homes. Since the project is over 30+million dollars, the developer can do the courtesy of allowing the nearby residents some semblance of the tranquility we used to experience.

Drainage: The drawing provided shows "snow storage area" to the north of the townhomes. Is the drainage prevented from going north onto the property of 3520 Rustic Place when the snow melts or when there is a heavy rainfall?

Drainage due to the increase in impervious surface area of 3527 Rice St should be directed away from the residential homes.

Rustic Place street parking: Since there has been added parking, I request "No Parking" be in place along Cty E as well as on Rustic Place 300 ft north from Cty E. The street is narrow. Parking makes it difficult to impossible to safely negotiate the turn onto and off of Rustic Place.

Tree Protection Plan: With this additional development, there will be trees cut down. To prevent oak wilt from spreading to adjoining oak trees, I request there be a Tree Protection Plan set in place. An arborist needs to be consulted in the proper removal of oak trees.

As a 46 year Shoreview resident and tax payer, please address these issues.

Sincerely,

Marcia Figus
3538 Rustic Place
Shoreview, MN 55126

August 16, 2016
File No. 2631-16-30
Elevage Development Group, LLC
3527 Rice Street

Comments:

“Don't it always seem to go,
That you don't know what you've got
Til its gone
They paved paradise
And put up a parking lot.”

3527 Rice Street is a beautiful home with a lake view and a beautiful back yard. This is a **home** that someone needs and would love to have. Paradise to parking lot.

Our wish as a family is that you please don't allow the destruction of ANOTHER home in our area and don't change the designation to MU to allow them to make it a parking lot. In all the meetings, we saw that the Planning Commission deliberated long, hard and with integrity about the parking situation, the end result being that the former proposal was passed as being sufficient. If that was the informed decision of yourselves and later of the City Council, can we please hold to that and keep this **home** intact?

It is a grandiose request, to be sure. I work with immigrant, migrant and refugee families as a profession. The “have nots” of our society. And in order to make it through my days, I have to carry hope for them - hope that they can find housing and food. Hope that they can learn the language and provide for their children. Hope that money and power don't always win, because if they do, what chance can my students – with no power and no money – ever have?

I know that my neighbors are asking for specific mitigating things in their comments, as they have given up hope that this home will not be leveled. But as for me and my house, we cling to hope that a better decision can be made. That maybe this time, money and power in the form of Elevage won't win. That the paradise at 3527 Rice Street will stand as a **home** for another family to love.

Thank you for listening.

Eric, Anna, Rhea (14), Eli (11), Katherine (9) Schaberg

3577 Rustic Place



Kathleen Castle <kcastle@shoreviewmn.gov>

Comments for Planning Comm mtg on Aug 30

1 message

donjanbunde@q.com <donjanbunde@q.com>
To: Kcastle <kcastle@shoreviewmn.gov>

Wed, Aug 24, 2016 at 10:29 PM

Proposal regarding the public hearing on August 30, 2016 for the amendment from Elevage Development Group to incorporate the property at 3527 Rice St into their redevelopment plan for the property at County Rd E and Rice St.

What is the need for added parking? If there was adequate parking previously why is more parking being proposed unless there is something that is changed from previously approved plans.

Direct Access to Rice St.: This was proposed before and turned down. The traffic on Rice Street is real and is a problem. Morning and evening rush hour is the busiest for Rice St and that is when residents and businesses of this development will be adding to the congestion and interrupting the flow of traffic. If approved, restrictions should be added to this proposal for access into and out of the Rice St. access. Parking restrictions should also be added to County Rd E and to the north end of Rustic Place.

Incorporate Property into Elevage First Addition Plat: We can understand incorporating the property into the plan but why does there have to be a change in the proposed property now. By removing the home and trees and replacing it with blacktop for road and parking, are we overlooking the issue of the privacy in a residential neighborhood. The previous proposal was agreed to as sufficient and to make the change, at this time, can be delayed until it is needed. What is the tax advantage to the City to replace a \$200,000+ home with a parking lot and driveway. Since this development project is over 30+million dollars, the developer can do the courtesy of allowing residence some semblance of tranquility we use to experience by leaving this property as a buffer.

Blacktop runoff and snow removal: Putting in blacktop leaves a lot of water not being absorbed in the ground but left to run down the streets and add to our holding ponds. Holding ponds are there to alleviate the water issues from the neighborhood but with too much runoff there will be a new set of issues. The snow removal needs to be addressed on both the town homes and apartment complex to make sure they are not making more problems for the residents that abut the development. Adding more blacktop is adding to a new set of issues to be addressed.

Tree Removal: We saw what happened to the properties on County Rd E and how little protection there was in the removal of the trees. Oak wilt is here and it is prevalent in this neighborhood. Ask us and we will show you. It can be prevented only if you are willing to take precautions. Consulting with an Arborist and having them set up a Tree Protection plan for removal will help.

According to the City, we had a blighted shopping mall. This area has gone from being respectable

to being a dump. We have not seen any effort to keep up this area and make it presentable. If this is known as the Gateway to Shoreview we have a problem. A neighbor was given a time line to clean up a small dirt pile in his yard that was there for a short time. How long do we have to wait for a resolution to this development? Look around at all the building going on. What do you see at the site on County Rd E and Rice Street?

We hope you will consider waiting to change the property at 3527 Rice St. until it is determined that more parking is needed for the residents and businesses of this development.

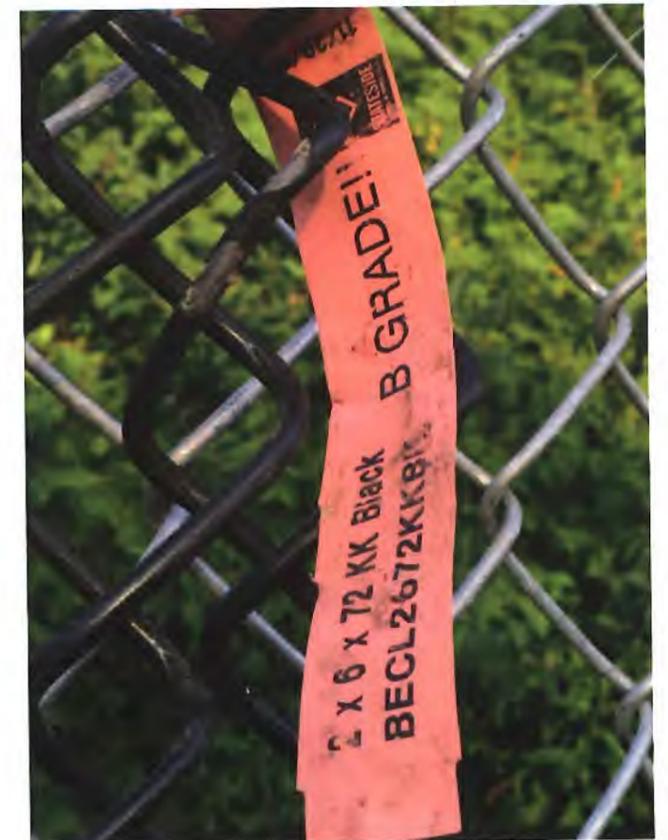
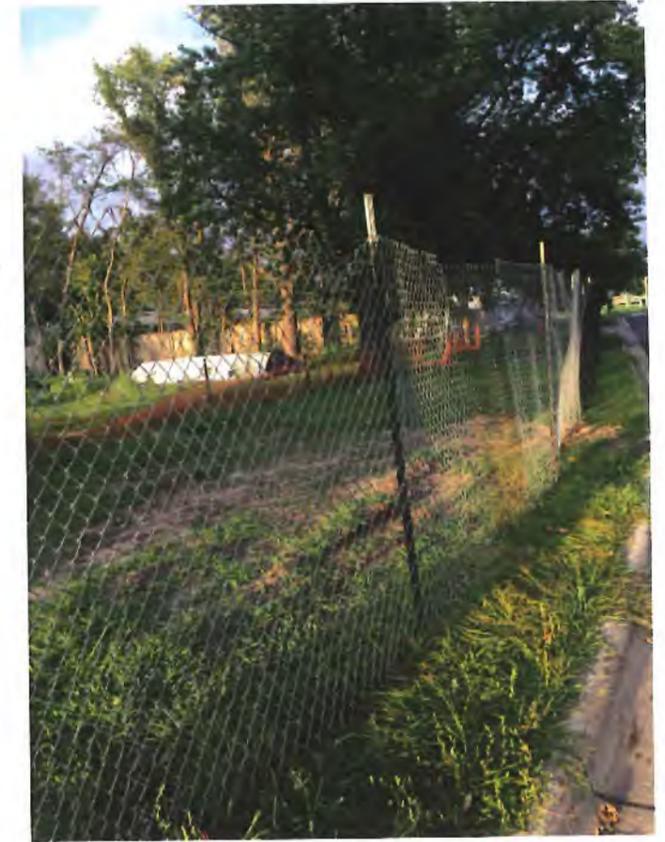
Don & Jan Bunde

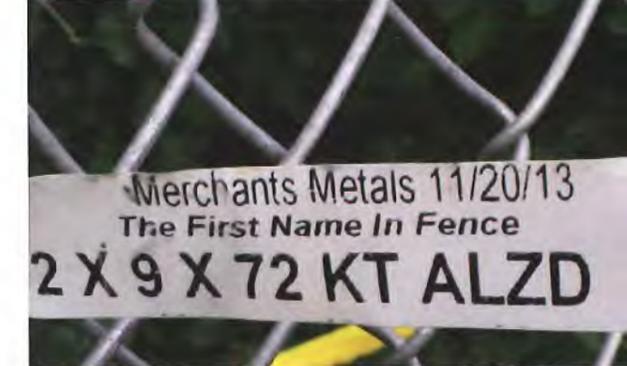
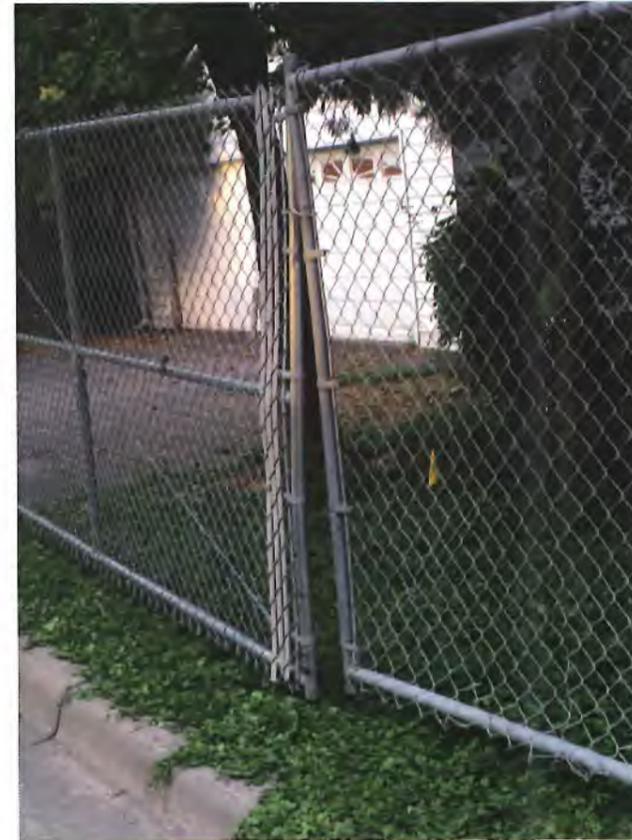
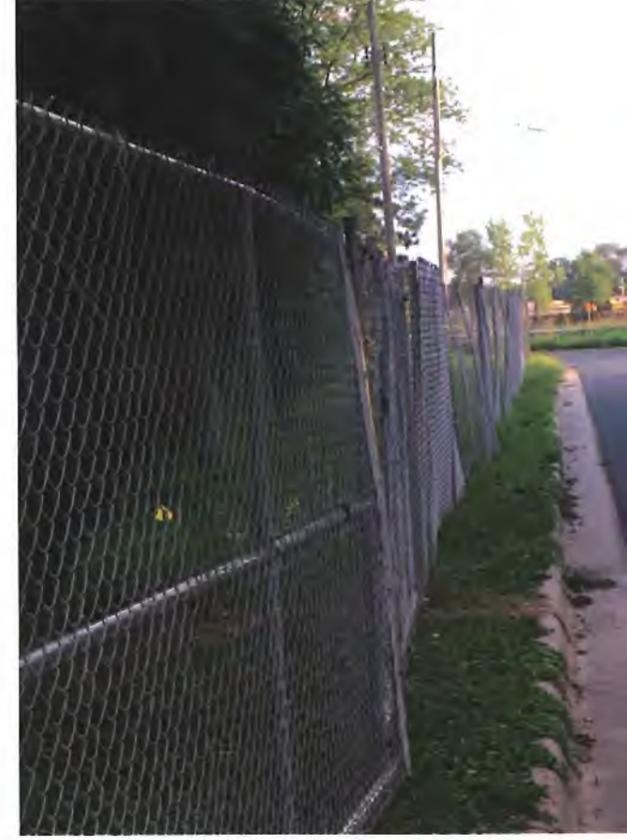
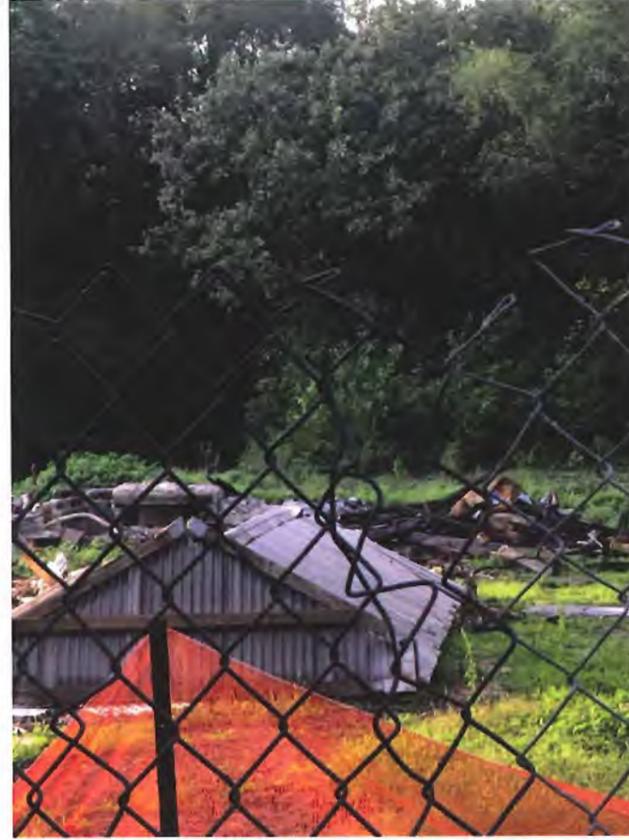
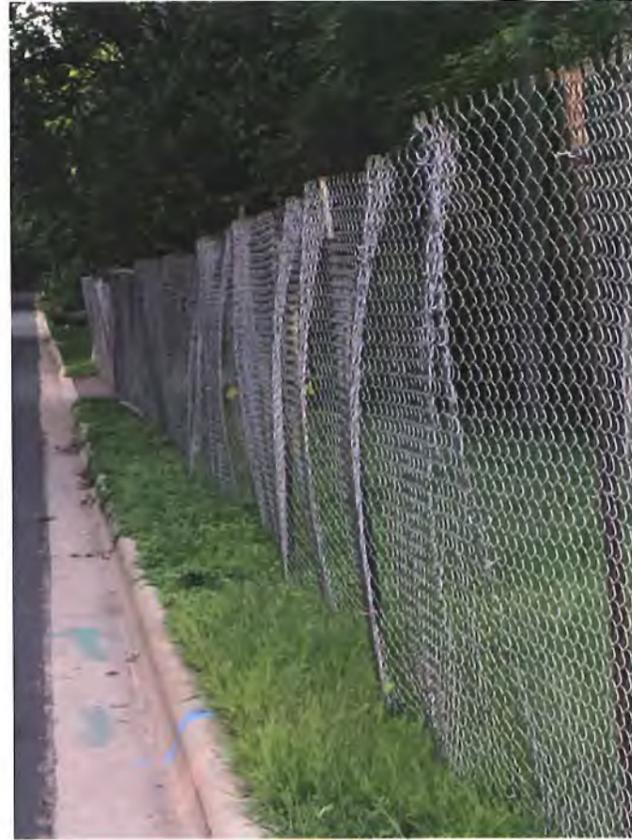
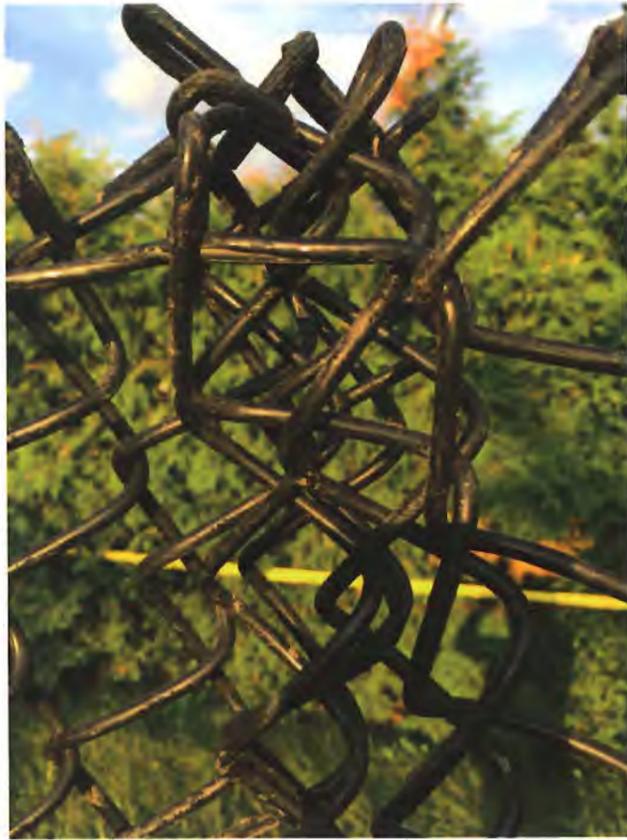
3685 Rustic Place

Shoreview MN 55126

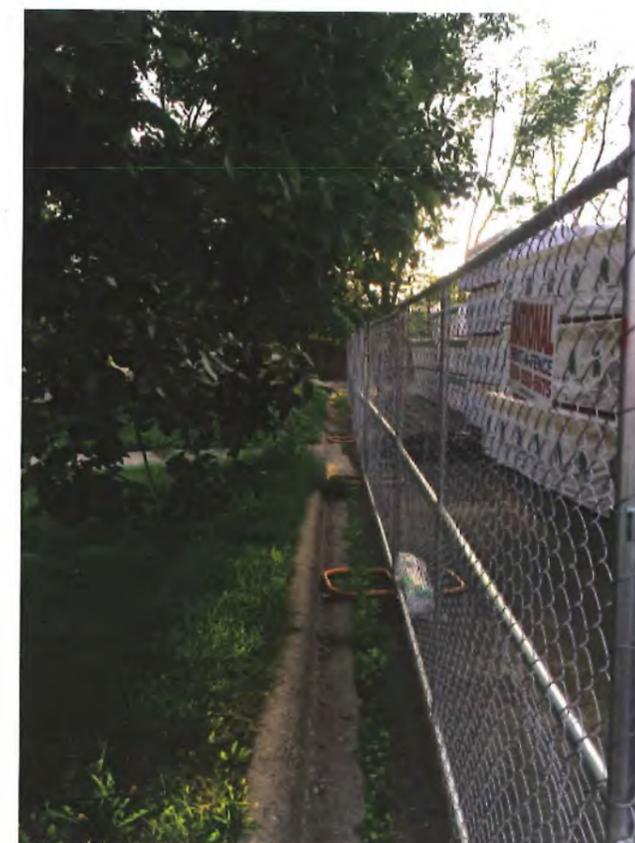
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If this is any indication to the level of "quality" and "luxury" that Elevage promised the City of Shoreview and it's residents, I strongly urge this board to deny additional amendments to this developer. It is obvious that Elevage is unequipped to provide the level of professionalism that the City of Shoreview deserves. Additional parking crammed into another residential lot is unacceptable





In contrast, the fencing located on the strip mall premises (paid for by a party not associated to Elevage) is professional and appropriate.



PROPOSED MOTIONS

Moved by Council member _____

Seconded by Council member _____

To adopt resolution number 16-80 establishing a preliminary City tax levy of \$11,085,632, and a preliminary HRA tax levy of \$105,000 for collection in 2017.

ROLL CALL:	AYES	NAYS
Johnson	_____	_____
Quigley	_____	_____
Springhorn	_____	_____
Wickstrom	_____	_____
Martin	_____	_____

Moved by Council member _____

Seconded by Council member _____

To set a public budget hearing for Monday, December 5, 2016 at 7:00 p.m. to discuss the 2017 City budget, tax levy and capital improvement program.

ROLL CALL:	AYES	NAYS
Johnson	_____	_____
Quigley	_____	_____
Springhorn	_____	_____
Wickstrom	_____	_____
Martin	_____	_____

Fred Espe
Finance Director
September 6, 2016
Council Meeting

TO: Mayor and City Council

FROM: Terry C. Schwerm, City Manager
Fred Espe, Finance Director

DATE: August 31, 2016

RE: 2017 Budget and Preliminary Tax Levy

This report provides information about the truth in taxation process, the recommended preliminary 2017 tax levy, residential property values and the estimated change in residential property taxes.

TRUTH IN TAXATION REQUIREMENTS

For taxes payable in 2017, the State "truth in taxation" (TNT) process is essentially unchanged. The City is required to:

- Certify a preliminary tax levy for the HRA to the County Auditor by September 15.
- Certify a preliminary tax levy and public hearing date for the City to the County Auditor by September 30.
- Announce the date and time for the budget hearing during the Council meeting when the preliminary levy is adopted (a motion is provided for this requirement)
- Hold a public budget hearing at a regularly scheduled Council meeting between November 25 and December 28
- Certify a final tax levy to the County by December 28

Although the City is not required to publish a notice for the budget hearing, Shoreview has continued the practice of publishing a notice for the budget hearing (using a format generally patterned after the old required TNT notices). Staff recommends publishing a similar notice for the 2017 budget.

EDA LEVY

For 2017, staff is recommending that the City Council adopt a \$105,000 tax levy for the HRA and a \$115,000 tax levy for the EDA consistent with the 2016/2017 biennial budget. These levies are included in the attached preliminary levy resolution. Because the HRA levy is considered a special taxing district, the HRA levy is separated from all other levies in the resolution. It is not necessary for the EDA to hold a public budget hearing for their proposed levies, because it is exempt from the public hearing requirement under the Truth in Taxation law.

PRELIMINARY TAX LEVY

At the August 8 workshop meeting the City Council reviewed preliminary levy projections for both operating and capital funds. The TNT process requires the City to adopt a maximum preliminary tax levy which may be decreased prior to final adoption in December.

The table below provides information about the 2016 adopted levy, the 2017 levy as originally planned in the biennial budget, and as revised by the City Manager's recommendation. When reviewing the areas impacting the total levy (as shown in the column at the far right-hand side of the table), that portion of the levy supporting City services (including the tax supported share of staff costs) results in a 3.07% increase in the tax levy. The remaining .84% increase in the levy is the result of debt, capital replacement funds, capital improvement funds, and the EDA. The increase in the General Fund share of the levy is due primarily to the increase in police and fire contract costs (\$174,300 expense increase for the two contracts combined). The police contract is increasing 5.8% due to cost of living and health insurance adjustments and an additional investigator position due to increased caseloads. The fire contract is increasing 3.7% due primarily to the addition of a full-time Deputy Chief position. General Fund wage and benefit adjustments for city employees make up \$85,876 of the proposed tax levy increase.

Description	2016	2017	2017	Change from 2016 Adopted		Impact on Total Levy *
	Adopted Levy	Original Levy	Recommended Levy	to 2017 Recommended Levy		
				Dollars	Percent	
General fund	\$ 7,321,858	\$ 7,638,713	\$ 7,649,632	\$ 327,774	4.48%	3.07%
EDA	110,000	115,000	115,000	5,000	4.55%	0.05%
Debt (including Cent Garage)	731,000	733,000	731,000	-	0.00%	0.00%
Street Renewal fund	1,000,000	1,060,000	1,060,000	60,000	6.00%	0.56%
General Fixed Asset Repl fund	1,475,000	1,495,000	1,495,000	20,000	1.36%	0.19%
Capital Acquisition Fund (IT)	30,000	35,000	35,000	5,000	16.67%	0.05%
Total City Levy	\$ 10,667,858	\$ 11,076,713	\$ 11,085,632	\$ 417,774	3.92%	3.92%
HRA tax levy	\$ 100,000	105,000	\$ 105,000	5,000	5.00%	
Taxable value (estim for 2017)	\$ 27,549,119		\$ 29,564,480	\$ 2,015,361	7.32%	
City tax rate (estim for 2017)	35.357%		33.990%		-3.87%	
HRA tax rate (estim for 2017)	0.332%		0.322%		-3.01%	
Fiscal disparity (estim for 2017)	\$ 927,390		\$ 1,036,745	\$ 109,355	11.79%	
Net Tax paid by property owners	\$ 9,740,468		\$ 10,048,887	\$ 308,419	3.17%	
Change in Tax Paid by Prop Owners	4.71%		3.17%			
* Percent change in this column is computed as the impact on the "Total City Levy"						

The proposed 2017 preliminary tax levy as shown in the table above is \$8,919 higher than the original levy that was adopted as part of the biennial budget for 2017. The increase is based on changes recommended by staff over the last two months. No additional changes have been made to the proposed preliminary tax levy since the Council discussion on August 8.

Preliminary information released by Ramsey County indicates that total taxable value is expected to increase 7.32% for taxes payable in 2017. The change in the tax levy combined with the increase in taxable value results in an estimated 3.87% decrease in the City's tax rate.

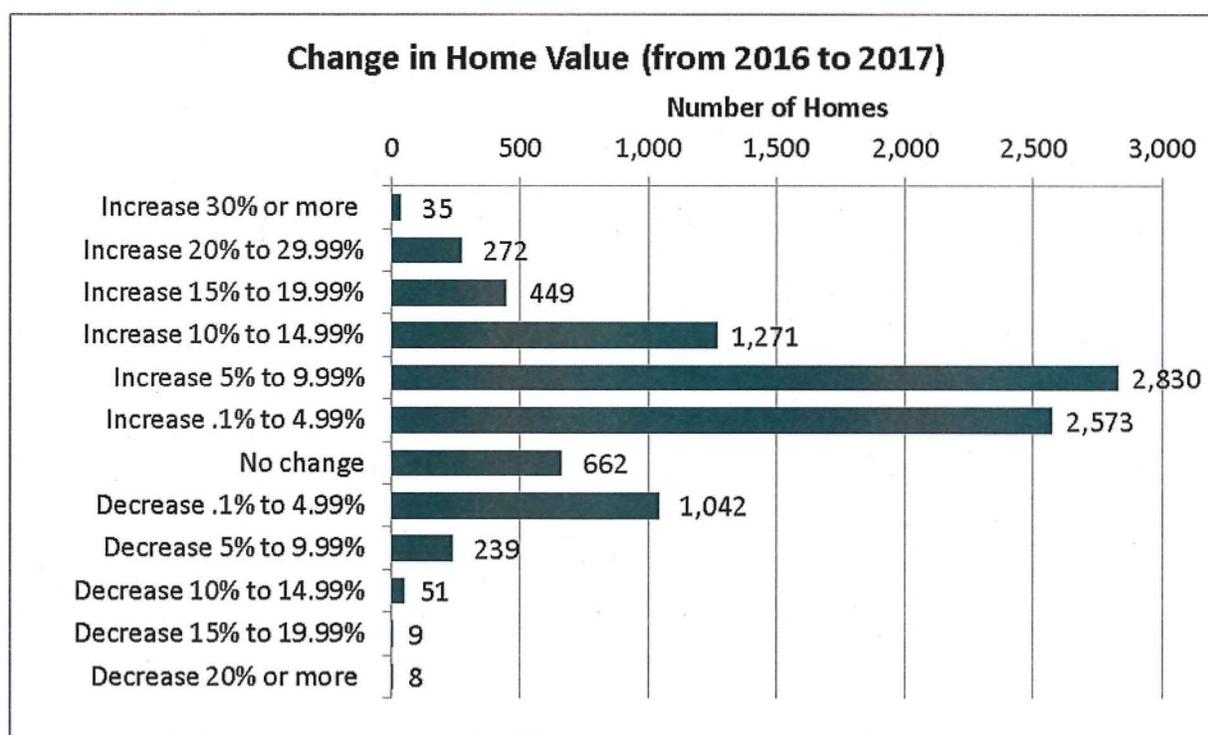
RESIDENTIAL PROPERTY VALUES

According to information provided by the Ramsey County Assessor, the median single-family home value in Shoreview will increase from \$253,800 for 2016 taxes, to \$267,300 for 2017 taxes (a 5.3% increase in value). The table at right shows the change in Shoreview's median single-family home value since 2008.

Year	Median Home Value	Annual Percent Change
2008	\$286,600	2.4%
2009	275,600	-3.8%
2010	262,200	-4.9%
2011	249,350	-4.9%
2012	235,700	-5.5%
2013	222,200	-5.7%
2014	224,500	1.0%
2015	247,500	10.2%
2016	253,800	2.5%
2017	267,300	5.3%

Change in home values (all residential)	Number of Parcels	Percent of Parcels	Sub-totals	
			Number of Parcels	Percent of Parcels
Increase 30% or more	35	0.37%		
Increase 20% to 29.99%	272	2.88%		
Increase 15% to 19.99%	449	4.76%		
Increase 10% to 14.99%	1,271	13.46%		
Increase 5% to 9.99%	2,830	29.98%		
Increase .1% to 4.99%	2,573	27.25%	7,430	78.70%
No change	662	7.01%	662	7.01%
Decrease .1% to 4.99%	1,042	11.04%		
Decrease 5% to 9.99%	239	2.53%		
Decrease 10% to 14.99%	51	0.54%		
Decrease 15% to 19.99%	9	0.10%		
Decrease 20% or more	8	0.08%	1,349	14.29%
Total Residential Parcels	9,441	100.00%	9,441	100.00%

As shown in the table at left and the graph below, 7,430 homes experience an increase in value, 662 home values remain the same, and 1,349 home values decrease.



IMPACT ON PROPERTY TAXES

The table below provides estimated changes in the City and HRA share of the property tax bill (using the assumptions on page 2 of this report) for a median value home. No information is available yet about the tax levies of other jurisdictions. To put this table into perspective, Shoreview is typically between 20% and 25% of the total tax bill. A description of the change in tax for a median home under each assumption follows the table.

Market Value				City Portion of Property Tax		Change in City Property Tax		HRA Portion of Property Tax		Change in HRA Property Tax	
Before MVE		Value Change									
2016	2017	Before MVE	After MVE	2016	2017	Dollars	Percent	2016	2017	Dollars	Percent
\$ 232,400	\$ 267,300	15.0%	17.6%	\$ 764.06	\$ 863.69	\$ 99.63	13.0%	\$ 7.17	\$ 8.18	\$ 1.01	14.1%
\$ 243,000	\$ 267,300	10.0%	11.6%	\$ 804.73	\$ 863.69	\$ 58.96	7.3%	\$ 7.56	\$ 8.18	\$ 0.62	8.2%
\$ 253,800	\$ 267,300	5.3%	6.1%	\$ 846.45	\$ 863.69	\$ 17.24	2.0%	\$ 7.95	\$ 8.18	\$ 0.23	2.9%
\$ 281,400	\$ 267,300	-5.0%	-5.7%	\$ 952.87	\$ 863.69	\$ (89.18)	-9.4%	\$ 8.95	\$ 8.18	\$ (0.77)	-8.6%
\$ 297,000	\$ 267,300	-10.0%	-11.3%	\$ 1,012.98	\$ 863.69	\$ (149.29)	-14.7%	\$ 9.51	\$ 8.18	\$ (1.33)	-14.0%

- 15% increase in value – City taxes increase \$99.63 and HRA taxes increase \$1.01 for the year
- 10% increase in value – City taxes increase \$58.96 and HRA taxes increase .62-cents for the year
- 5.3% increase in value – City taxes increase \$17.24 and HRA taxes increase .23-cents for the year
- 5% decrease in value – City taxes decrease \$89.18 and HRA taxes decrease .77-cents for the year
- 10% decrease in value – City taxes decrease \$149.29 and HRA taxes decrease \$1.33 for the year

SUMMARY

As stated on the first page of this report, staff recommends the City continue its practice of holding a budget hearing at the first regular meeting in December, and consider adoption of the levy and budget at the second meeting in December.

Staff recommends adoption of the attached proposed resolution setting the preliminary tax levy in the amount of \$11,085,632 and \$105,000 for the City and HRA respectively. Staff also recommends setting the budget hearing for the first regular Council meeting in December by approving the attached motion.

As in the past, once the preliminary levy is adopted the Council may decrease the levy, but may not increase the levy at the time of final adoption.

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF SHOREVIEW, MINNESOTA
HELD SEPTEMBER 6, 2016**

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota, was duly called and held at the Shoreview City Hall in said City on September 6, 2016 at 7:00 p.m. The following members were present: _____; and the following members were absent: _____.

Council member _____ introduced the following resolution and moved for its adoption.

**RESOLUTION NO. 16-80
RESOLUTION CERTIFYING THE PROPOSED TAX LEVY FOR
FISCAL YEAR 2017 COMMENCING JANUARY 1, 2017
BASED UPON THE REQUIREMENTS OF THE 2016 TAX LAW;**

WHEREAS, Current tax law requires special taxing districts (HRA) and cities over 500 population to certify a proposed tax levy to the County Auditor by September 15 and September 30 respectively, and;

WHEREAS, the Finance Director has prepared proposed revisions to the 2017 budget, which is the second year of the biennial budget, based upon the requests of departments, the requirements of the 2016 tax law, and;

WHEREAS, the City Manager has recommended a proposed tax levy to support the recommended 2017 budget, and;

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Shoreview, Ramsey County, Minnesota that the proposed preliminary 2017 property tax levies for the City and for the HRA is as follows:

General levy	\$7,649,632
EDA	115,000
Capital funds	<u>2,590,000</u>
Sub-total General levy	\$10,354,632
Debt levy	<u>731,000</u>
Sub-total City tax levy	\$11,085,632
 HRA levy	 <u>\$ 105,000</u>
 Total Certified Levy	 <u>\$11,190,632</u>

Page 2
September 6, 2016
Resolution 16-80
2017 Proposed Tax Levy

BE IT FURTHER RESOLVED, that 1) this proposed tax levy resolution is being submitted by the City in accordance with Minnesota Statutes; 2) the City Council of the City of Shoreview may reduce this levy prior to final adoption, but may not increase the final levy over the amount specified in this resolution; and 3) the resolution represents a good faith effort by the City to substantially comply with applicable law and the guidance supplied by the Department of Revenue and Ramsey County.

The motion for the adoption of the foregoing resolution was duly supported by Council member _____ and upon vote being taken thereon, the following voted in favor thereof: _____; and the following voted against same: _____.

WHEREUPON, said resolution was declared duly passed and adopted this 6th day of September 2016.

PROPOSED MOTION

MOVED BY COUNCILMEMBER _____

SECONDED BY COUNCILMEMBER _____

to adopt Resolution No.16-82 approving Change Order No. 1 in the amount of \$183,231.00 for the Gramsie Road Rehabilitation, City Project 16-05.

ROLL CALL:	AYES	NAYS
JOHNSON	_____	_____
QUIGLEY	_____	_____
SPRINGHORN	_____	_____
WICKSTROM	_____	_____
MARTIN	_____	_____

REGULAR COUNCIL MEETING
SEPTEMBER 6, 2016

TEW

TO: MAYOR, CITY COUNCIL, CITY MANAGER

FROM: MARK MALONEY, PUBLIC WORKS DIRECTOR
TOM WESOLOWSK, CITY ENGINEER

DATE: SEPTEMBER 2, 2016

SUBJECT: GRAMSIE ROAD REHABILITATION, CITY PROJECT 16-05

INTRODUCTION

The attached Change Order No. 1 includes additional costs that would be added to the contract that was awarded to Northwest Asphalt by the City Council on May 2, 2016, in the amount of \$531,883.42, for the Gramsie Road Rehabilitation, City Project 16-05. The change order must be approved by the City Council in order to modify the contract.

BACKGROUND

Due to high water levels throughout the City of Shoreview an area adjacent to Gramsie Road has flooded, covering sections of City and Ramsey County Park trails and flooding a pedestrian tunnel that goes underneath Gramsie Road. A section of Gramsie Road has also been flooded for the past few weeks requiring the road to be closed to traffic.

The City assumed ownership of Gramsie Road from Ramsey County in the early 1990's and reconstructed the road at that time. The road was constructed to basically the same elevation, concrete curb and gutter and a stormwater collection system were installed, a trail was constructed along the south side of the road, and the pedestrian tunnel was installed to connect trails located in Ramsey County Snail Lake open space and Grass Lake open space. There was no history of Gramsie Road flooding when it was under the jurisdiction of the County and flooding did not occur after the City assumed ownership until 2014. Due to high amounts of rain in the spring of 2014 flooding occurred on Gramsie Road and it was closed to traffic for approximately 1 month.

Since 2005, the pedestrian tunnel and adjacent sections of City and Ramsey County open space trails have flooded at least five times and could not be used. Since the construction of the pedestrian tunnel and trails in the early 1990's, the tunnel and adjacent trails were never closed due to flooding prior to 2005. The pedestrian tunnel and adjacent trails in both parks were closed for a significant amount of time in 2014, and again have been closed for much of 2016.

The current project included the reclamation of the existing bituminous surface of the roadway, installation of aggregate material to raise settled areas, replacement of select areas of concrete curb and gutter and resurfacing of the road. The grade of the road in the low area was not raised as part of the project due to the settlement history of this road section and the fact the road had only flooded one time prior to this year.

DISCUSSION

The flooding of Gramsie Road that is occurring this year appears to be more severe than the flooding that occurred in 2014. The level of the water on the road is higher and it is likely the road will need to be closed for a longer period of time. Although the road did not have a history of flooding, it has now flooded twice in the past three years, and given the high water levels in the area and the time of year it is likely flooding could occur next year. Due to the recent rain patterns and future potential for flooding City staff is recommending the low point of Gramsie Road be raised by 2-feet. The current water depth on the road is 1.2-feet. The portion of Gramsie Road that would be raised is shown on the attached drawing. Raising the low point will create a minimum slope for both the road and curb and gutter, which may create some additional issues if settlement occurs. Although the settlement may require additional maintenance in the future, staff believes the risk is acceptable when compared to the potential damage that may occur to the road, change in traffic patterns that occur in the area when the road is closed, and the inconvenience to residents and businesses when Gramsie Road is closed due to flooding. The additional cost to raise the low point of the road by 2-feet is \$102,473.50 as detailed on the attached change order. This change order also includes raising the section of the trail adjacent to the road.

When the pedestrian tunnel and adjacent trails in the Ramsey County Parks are flooded, individuals using the Park trails are not able to access Gramsie Road or transition from Snail Lake Park to Grass Lake Park. Individuals on the Gramsie trail also have to move off the trail onto Gramsie Road for a distance of 850-feet before they can access the trail again. Staff is recommending the construction of a 10-foot wide trail along the south side of Gramsie in the area where there is currently no trail as shown on the attached drawing. Installing the section of trail would allow individuals to stay on the trail and they would not have to move onto the street when the trails in the Snail Lake Park are flooded. The additional cost to construct the trail is \$80,757.50 as detailed on the attached change order.

City staff is also working with Ramsey County Parks to coordinate the installation of a future trail segment that would be installed in the Snail Lake Park at a higher elevation out of the flooded area. The trail section would connect the trail in the Snail Lake Park to Gramsie Road and include the installation of an at-grade crossing. Individuals using the Gramsie trail or the trails in the Ramsey County Parks could then transition from one trail system to another when the area near the pedestrian tunnel is flooded. The possible future trail section is shown on the attached drawing. Information on the potential trail segment will be presented to the City Council after the details are worked out with Ramsey County Parks.

The Bikeways and Trailways Committee discussed this at their September 1, 2016 meeting and is supportive of the City addressing the trail issues that has occurred due to the trail flooding that has occurred in the Gramsie Road area.

Pay items have been added to the contract as shown on the attached Change Order No.1 and are summarized below:

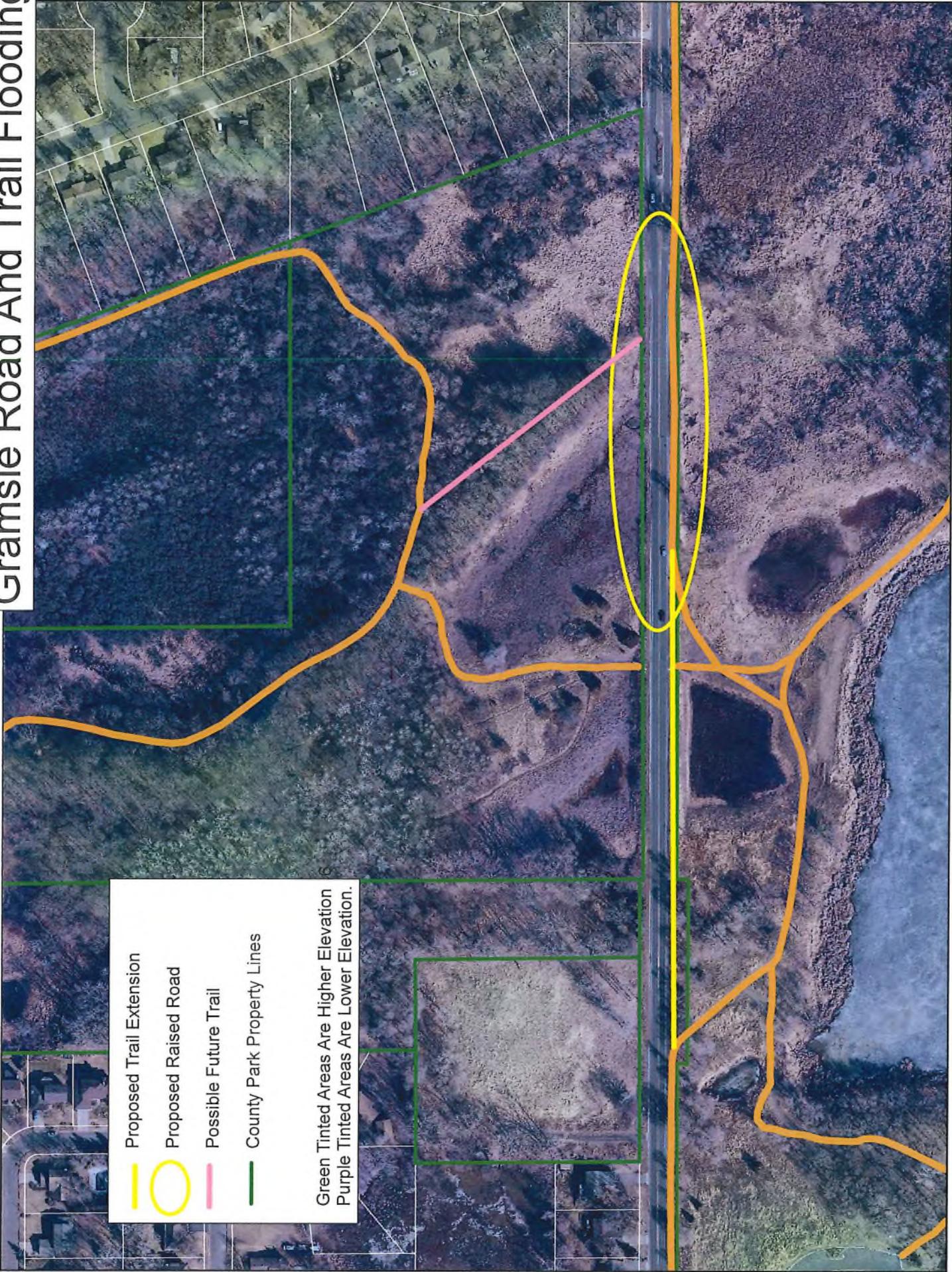
Raise Gramsie Road and Adjacent Trail	\$102,473.50
Construct Trail Section	<u>\$ 80,757.50</u>
Total Change Order #1	\$183,231.00

Change Order No.1 will increase the contract amount to \$715,144.20. Funding for Change Order No.1 will be from Municipal State Aid Funds and the Community Investment Fund.

RECOMMENDATION

It is recommended that Council adopt the attached proposed resolution 16-82, approving Change Order No. 1 for the Gramsie Road Rehabilitation, City Project 16-05.

Gramsie Road And Trail Flooding



CITY OF SHOREVIEW CONTRACT CHANGE ORDER

Project:	Gramsie Road Rehabilitation
City Project	16-05
Change Order Number:	1 (One)
Date:	September 6, 2016
Contractor:	Northwest Asphalt, Inc.

The deductions, additions, revisions and corrections contained herein shall be made to the Contract Documents for the project and shall become part of the Scope of Work.

ADDITION:

Total Trail Construction	\$ 80,757.50*
Total Raise Gramsie Road Construction	\$ 102,473.50*
Total Additions	\$ 183,231.00
*Detailed item list with quantities and prices is attached	
Total Change Order No. 1	\$ 183,231.00

SUMMARY:

Original Contract Amount:	\$ 531,883.42
Change Order No.1	\$ 183,231.00
Amended Contract Amount:	\$ 715,144.20

APPROVALS:

APPROVED BY: City of Shoreview

By: _____ Title: City Engineer Date: _____

ACCEPTED BY: Northwest Asphalt, Inc.

By: _____ Title: _____ Date: _____

NORTHWEST ASPHALT, INC.
1451 STAGECOACH ROAD
SHAKOPEE, MN 55379

BID FORM

GRAMSIE ROAD TRAIL CONSTRUCTION

ITEM NO.	ITEM	UNIT	ESTIMATED QUANTITY	UNIT PRICE	TOTAL COST
2021.501	MOBILIZATION	LS	1.00	\$ 2650. ⁰⁰	\$ 2650. ⁰⁰
2101.502	CLEARING	TREE	1.00	\$ 750. ⁰⁰	\$ 750. ⁰⁰
2101.507	GRUBBING	TREE	1.00	\$ 250. ⁰⁰	\$ 250. ⁰⁰
2104.523	SALVAGE & REINSTALL EX SIGNS POSTS & MB	EACH	3.00	\$ 150. ⁰⁰	\$ 450. ⁰⁰
2105.501	COMMON EXCAVATION	CY	200.00	\$ 29. ⁰⁰	\$ 5800. ⁰⁰
2112.501	SUBGRADE PREPARATION	RDST	8.00	\$ 125. ⁰⁰	\$ 1000. ⁰⁰
2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	5.00	\$ 125. ⁰⁰	\$ 625. ⁰⁰
2211.503	AGGREGATE BASE (CV) CLASS 5	CY	250.00	\$ 32. ⁰⁰	\$ 8000. ⁰⁰
2360.501	BITUMINOUS WEAR COURSE (SPWEA230C)	TON	115.00	\$ 95. ⁰⁰	\$ 10925. ⁰⁰
2563.601	TRAFFIC CONTROL	LS	1.00	\$ 1000. ⁰⁰	\$ 1000. ⁰⁰
2573.502	SILT FENCE, TYPE PA	LF	300.00	\$ 2.50	\$ 750. ⁰⁰
2573.530	STORM DRAIN INLET PROTECTION	EACH	4.00	\$ 100. ⁰⁰	\$ 400. ⁰⁰
2574.525	ORGANIC TOPSOIL BORROW	CY	75.00	\$ 30. ⁰⁰	\$ 2250. ⁰⁰
	MODULAR BLOCK WALL	SF	1,100.00	\$ 31.95	\$ 35145. ⁰⁰
	4' VINYL COATED CHAIN LINK FENCE - BLACK	LF	275.00	\$ 28. ⁰⁰	\$ 7700. ⁰⁰
2575.505	SEED	SY	875.00	\$ 3.50	\$ 3062.50
TOTAL - PATH CONSTRUCTION					\$ 80,757. ⁵⁰

RAISE GRAMSIE ROAD CONSTRUCTION

ITEM NO.	ITEM	UNIT	ESTIMATED QUANTITY	UNIT PRICE	TOTAL COST
2021.501	MOBILIZATION	LS	1.00	\$ 8160. ⁰⁰	\$ 8160. ⁰⁰
2104.501	REMOVE CURB & GUTTER	LF	1,500.00	\$ 3.10	\$ 4650. ⁰⁰
2211.503	AGGREGATE BASE (CV) CLASS 6 - PATH	CY	115.00	\$ 32. ⁰⁰	\$ 3680. ⁰⁰
2211.503	AGGREGATE BASE (CV) CLASS 6	CY	835.00	\$ 32. ⁰⁰	\$ 26720. ⁰⁰
2215.604	FULL DEPTH RECLAMATION	SY	2,500.00	\$ 1.75	\$ 4375. ⁰⁰
2215.604	FULL DEPTH RECLAMATION - PATH	SY	225.00	\$ 1.75	\$ 393.75
2360.501	TYPE SP 12.5 WEARING COURSE MIX (3,C) - PATH	TON	25.00	\$ 95. ⁰⁰	\$ 2375. ⁰⁰
2360.501	TYPE SP 12.5 WEARING COURSE MIX (3,C)	TON	305.00	\$ 66.95	\$ 20419.75
2506.602	RECONSTRUCT/RAISE DRAINAGE STRUCTURE	EACH	4	\$ 1175. ⁰⁰	\$ 4700. ⁰⁰
2531.501	CONCRETE CURB & GUTTER DESIGN B618	LF	1,500.00	\$ 18. ⁰⁰	\$ 27000. ⁰⁰
TOTAL - CONSTRUCTION					\$ 102,473. ⁵⁰

NOTE: THESE QUANTITIES EXCLUDES COSTS OF ITEMS ALREADY IN CONTRACT THAT WOULD BE PAID FOR UNDER THE EXISTING CONTRACT. FOR EXAMPLE TACK COAT, JOINT ADHESIVE, WEAR COURSE, STRIPING, ECT.

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF SHOREVIEW, MINNESOTA**

HELD SEPTEMBER 6, 2016

* * * * *

Pursuant to due call and notice thereof, a meeting of the City Council of the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City on September 6, 2016 at 7:00 pm. The following members were present:

;

and the following members were absent:

Member introduced the following resolution and moved its adoption.

RESOLUTION NO. 16-82
APPROVING CHANGE ORDER NO. 1
FOR THE
GRAMSIE ROAD REHABILITATION
CITY PROJECT 16-05

WHEREAS, On May 2, 2016 the City Council awarded a contract to Northwest Asphalt, Inc. the Gramsie Road Rehabilitation, City Project 16-05, and authorized the Mayor and City Manager to sign said contract, and

WHEREAS, the original contract amount is \$531,883.42, and

WHEREAS, Change Order No.1, in the amount of \$183,231.00, has been prepared in order to address certain changes or modifications to the original contract, and

WHEREAS, said changes and modifications to the project will increase the contract amount to \$715,144.20, and

WHEREAS, the Director of Public Works has recommended approval of proposed Change Order No.1.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Shoreview, Minnesota:

1. That Change Order No.1, in the amount of \$183,231.00, resulting in a revised contract amount of \$715,144.20 is hereby approved, and

2. That Change Order No.1 will be funded by Municipal State Aid Funds.

The motion for the adoption of the foregoing resolution was duly seconded by Member and upon vote being taken thereon, the following voted in favor thereof:

the following voted against the same:

WHEREUPON, said resolution was declared duly passed and adopted this 6th day of September, 2016.

STATE OF MINNESOTA)
)
COUNTY OF RAMSEY)
)
CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City Council held on the 6th day of September, 2016, with the original thereof on file in my office and the same is a full, true and complete transcript therefrom insofar as the same relates to the approval of Change Order No.1, for the Gramsie Road Rehabilitation, City Project 16-05.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 7th day of September, 2016.

SEAL

Terry C. Schwerm
City Manager