AGENDA
PLANNING COMMISSION MEETING
CITY OF SHOREVIEW

DATE: AUGUST 30, 2016
TIME: 7:00 PM
PLACE: SHOREVIEW CITY HALL
LOCATION: 4600 NORTH VICTORIA

1. **CALL TO ORDER**
   ROLL CALL
   APPROVAL OF AGENDA

   Brief Description of Meeting Process – *Chair John Doan*

2. **NEW BUSINESS**

   A. SITE AND BUILDING PLAN REVIEW*
   FILE NO: 2628-16-27
   APPLICANT: River of Life Church
   LOCATION: 4294 Hodgson Road

   B. PUBLIC HEARING- PRELIMINARY PLAT*, REZONING*, VARIANCE
   FILE NO: 2630-16-29
   APPLICANT: Golden Valley Land Company
   LOCATION: 0 Gramsie Rd ; PINS- 26-30-23-13-0027- 26-30-23-13-0028

   C. PUBLIC HEARING- COMPREHENSIVE PLAN AMENDMENT, REZONING, PRELIMINARY PLAT, PUD-DEVELOPMENT STAGE*
   FILE NO: 2631-16-30
   APPLICANT: Elevage Development Group LLC
   LOCATION: 3527 Rice Street

   D. COMPREHENSIVE SIGN PLAN*
   FILE NO: 2633-16-32
   APPLICANT: Thomas Schuette- Tyme properties
   LOCATION: 3999 Rice Street

6. **MISCELLANEOUS**

   A. City Council Meeting Assignments for September 6th, 2016 and September19th ,2016
   Planning Commissioners McCool and Doan.

7. **ADJOURNMENT**

These agenda items require City Council action. The Planning Commission will hold a hearing, obtain public comment, discuss the application and forward a recommendation to the City Council. The City Council will consider these items at their regular meetings which are held on the 1st or 3rd Monday of each month. For confirmation when an item is scheduled at City Council, please check the City's website at www.shoreviewmn.gov or contact the Planning Department at 651-490-4682 or 651-490-4680

TO: Planning Commission

FROM: Kathleen Castle, City Planner

DATE: August 25, 2016

SUBJECT: File No.2628-16-27, Site and Building Plan Review, River of Life Church, 4294 Hodgson Road

INTRODUCTION

River of Life Church, 4294 Hodgson Road, submitted a Site and Building Plan Review application for a bathroom addition. The proposed addition is located on the east side of the Church building. The application was complete as of August 4, 2016.

PROJECT DESCRIPTION

The project site is located on Hodgson Road immediately south of Sitzer Park. The property has a lot area of 4.61 acres and is developed with the church building, a residence, parking lot and outdoor play area. Access to the property is gained from a driveway off Hodgson Road.

The intent of the proposed addition is to enlarge the bathrooms on the main floor and lower level so they are compliant with the American Disabilities Act (ADA). The addition is approximately 158 square feet in size and is designed as one-story above the ground grade. The 16'7" height is less than the height of the existing two-story building. Exterior building materials will match the existing building using vinyl siding and asphalt shingles. The addition is adjacent to the playground area which is enclosed with fencing. Please see the attached plans.

COMPREHENSIVE PLAN

The *2008 Comprehensive Plan* designates this property for Institutional use. Uses within this category include public and private schools, fire and police stations, city hall, churches and other public or quasi-public uses. Surrounding planned land uses include low-density residential and park.

DEVELOPMENT ORDINANCE REQUIREMENTS AND REVIEW

The property is zoned R-1, Detached Residential (Section 205.080), a typical zoning for church and school properties. Public and quasi public uses are allowed in this zoning district through the Site and Building Plan Review process provided the use will not conflict with or impede the use of adjoining property. Conditions may be attached to site and building plan approval by the City Council to ensure compatibility with adjacent land uses (Section 205.080 (B4)).

Staff has reviewed the plans in accordance with planning and zoning requirements. The proposed addition is consistent with the policies of the *Comprehensive Plan* and the Development Regulations. The intent of the addition is to provide ADA compliant bathroom facilities for church visitors. The addition will be setback about 300' from the east property line

and 110' from the south property line. While the R-1 District does not specifically address structure setbacks for non-residential uses, the City has generally applied the setback standards found in the O, Office District. A minimum 50-foot setback is required when an office building abuts residential properties (Section 205.044(D3). The proposed setbacks exceed this standard.

Staff believes that the proposed addition will not conflict with or impede the use of the surrounding residential and park properties.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of the applicant's request. No comments were received.

STAFF RECOMMENDATION

The proposed bathroom addition meets the requirements of the City's development regulations and the intent of the *Comprehensive Plan*. Therefore, Staff recommends the Planning Commission recommend the City Council approve the submitted site and building plans, subject to the following conditions:

1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.

2. The approval will expire after one year if the required permits have not been issued and work has not begun on the project.

3. The applicant shall obtain a building permit for the addition prior to commencing any work on the project.

Attachments
1) Location Map
2) Applicant's Statement
3) Submitted Plans
4) Motion

MapRamsey

River of Life Church

600.0 0 300.00 600.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

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Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

4294 Hodgson Road

River of Life

4294 Hodgson Road, Shoreview, MN 55126
Telephone: 651-484-8737

July 21, 2016

Planning Commission
Shoreview, MN 55126

Proposed Development:

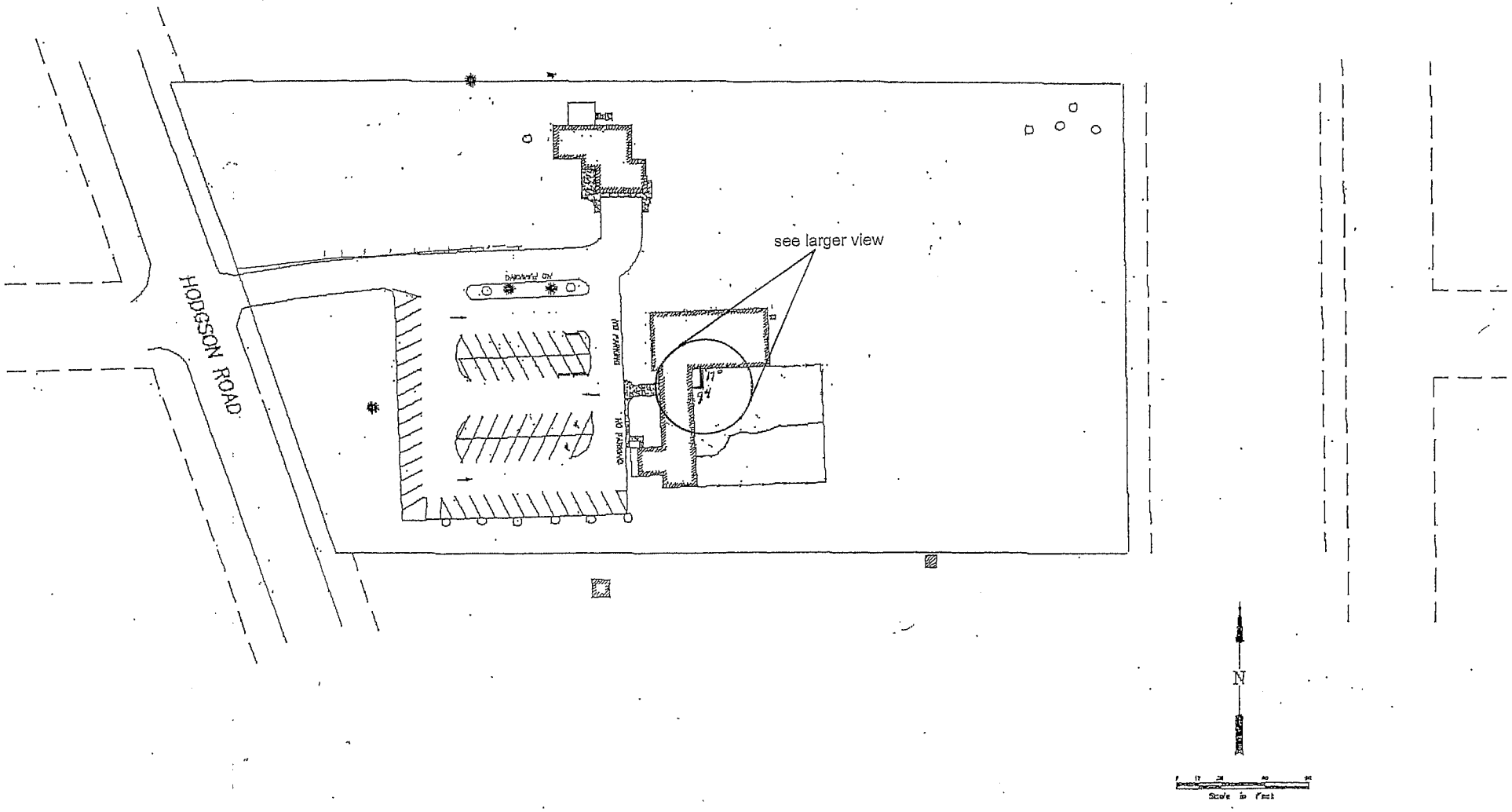
- to enlarge the restrooms on both the upper and lower levels
- to update them according to ADA guidelines

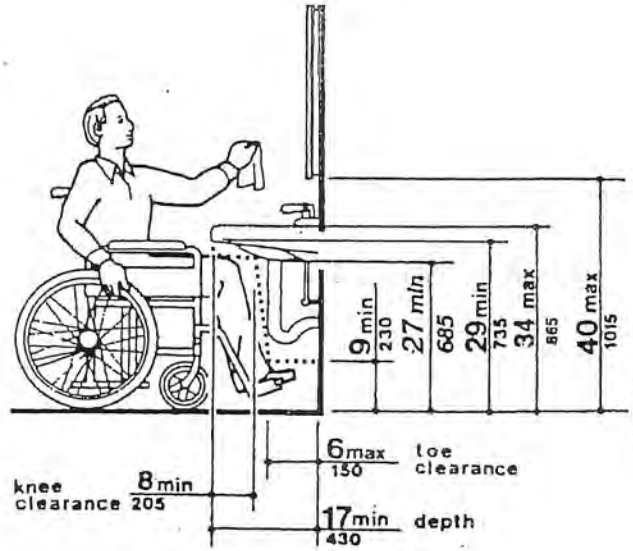
This request is to extend the east wall of the current restrooms by approximately 9'4". This addition will have no effect on traffic patterns or water displacement and is in the fenced area of the playground.

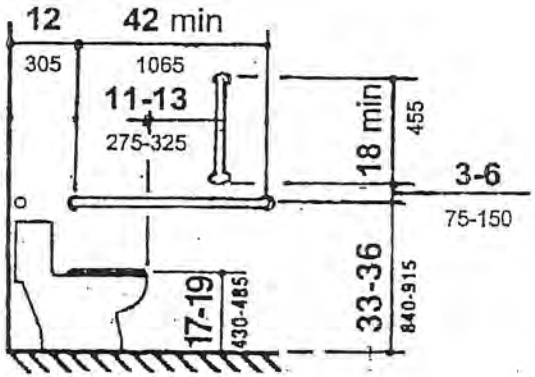
Sincerely,

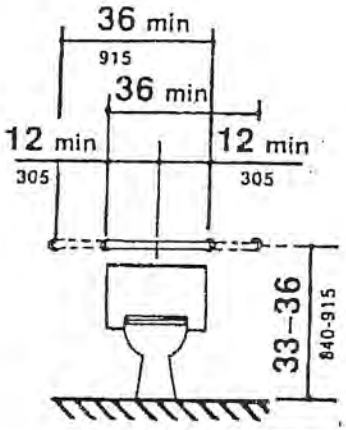
Dr. James G Medin, Pastor
River of Life Church
Phone: (651) 484-8737
medinj@RiverOfLifeMN.org

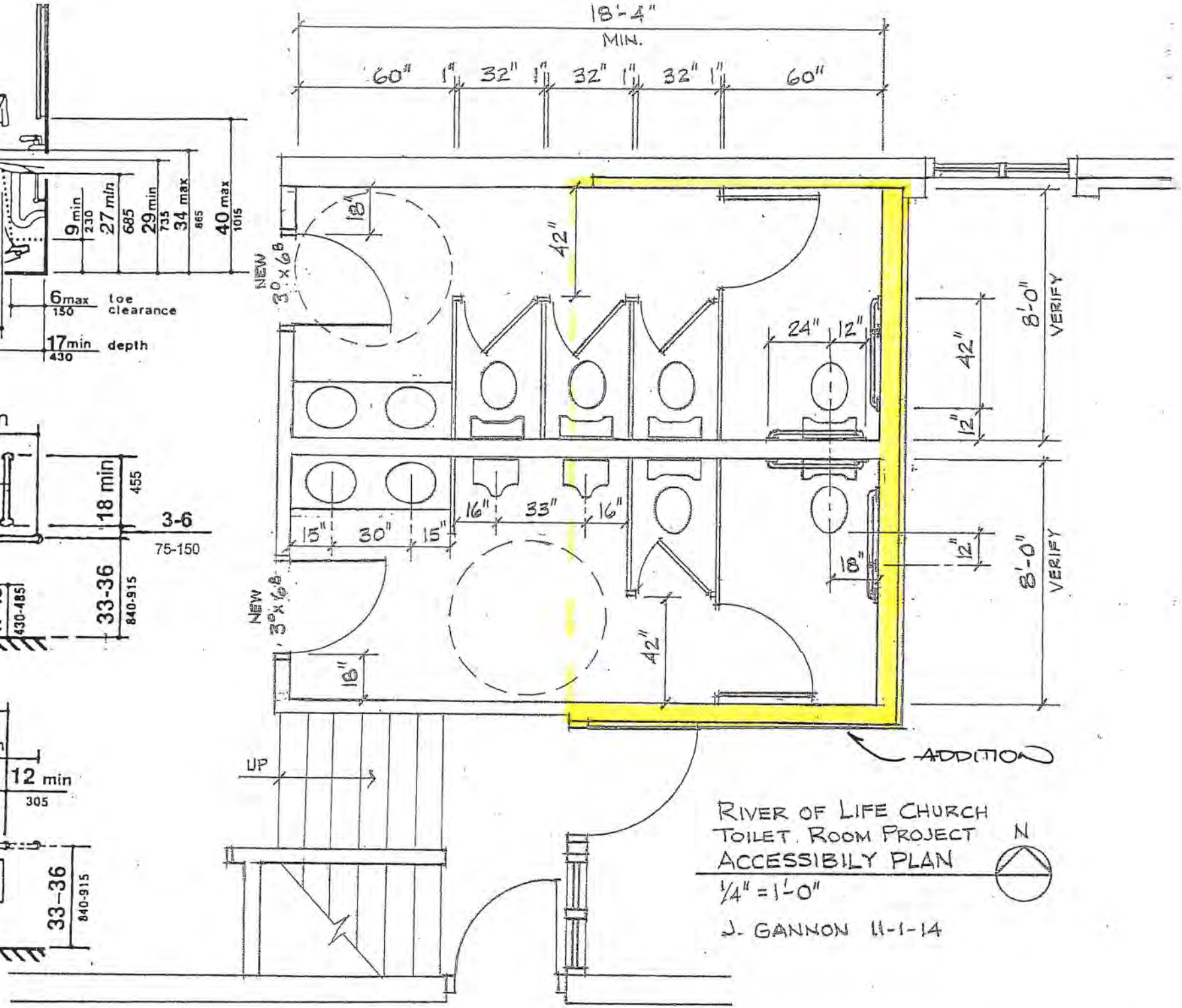
RIVER OF LIFE CHURCH
of 4294 Hodgson Road, Shoreview, MN.









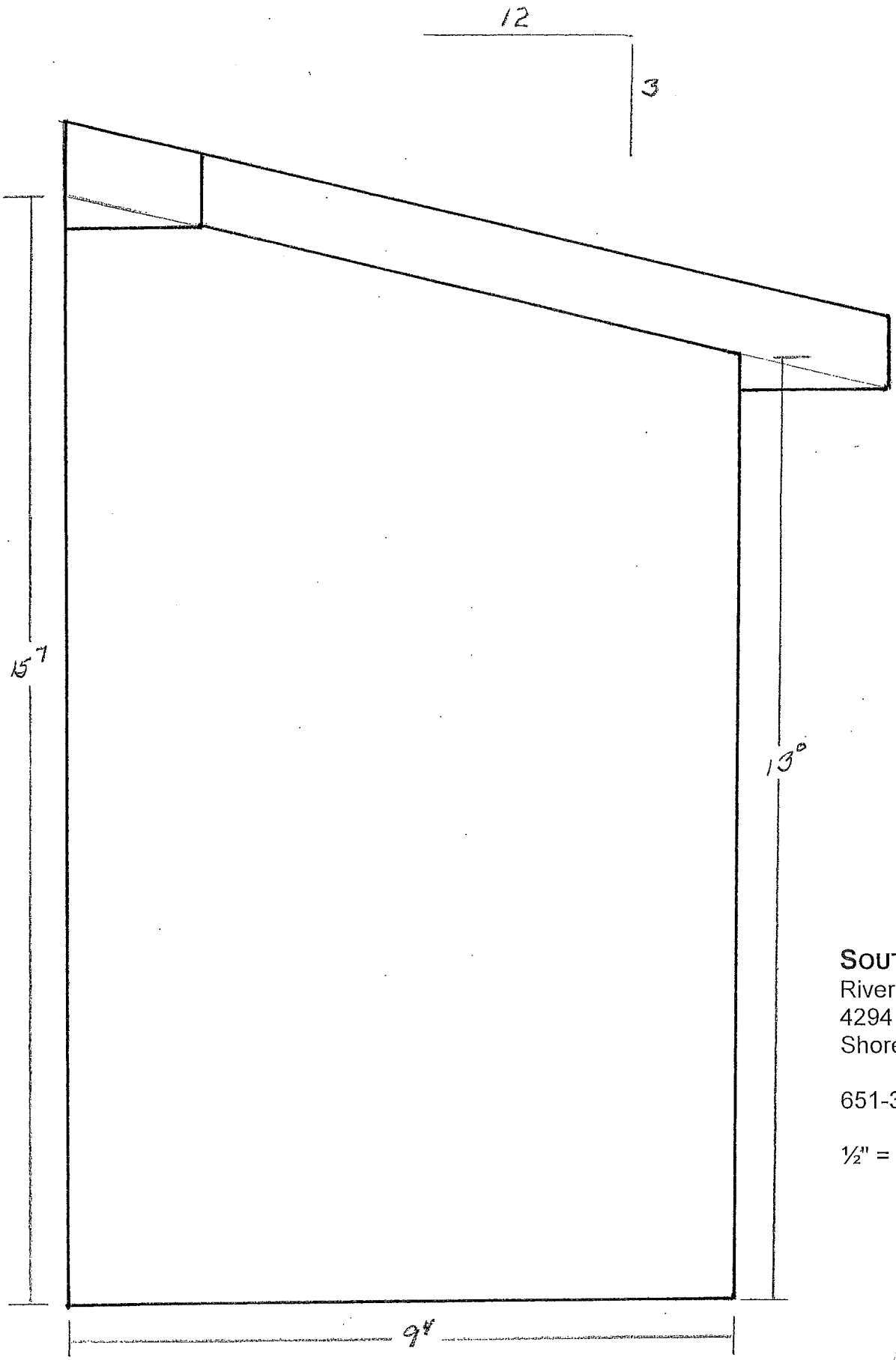


RIVER OF LIFE CHURCH
TOILET ROOM PROJECT
ACCESSIBILY PLAN

N

1/4" = 1'-0"

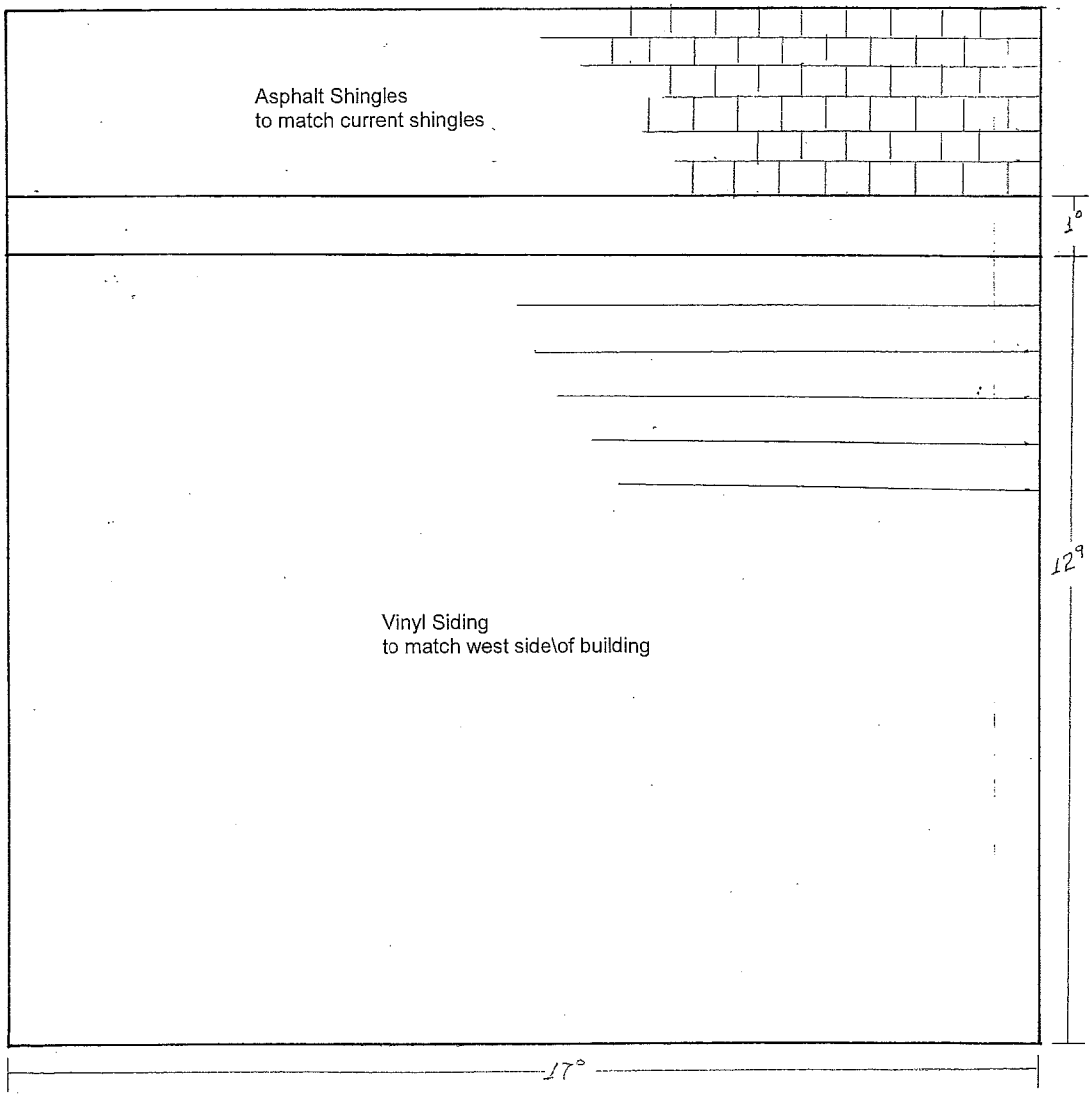
J. GANNON 11-1-14



SOUTH ELEVATION
River of Life Church
4294 Hodgson Road
Shoreview, MN 55126

651-319-2152

½" = 1'



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River of Life Chur
4294 Hodgson R
Shoreview,, MN

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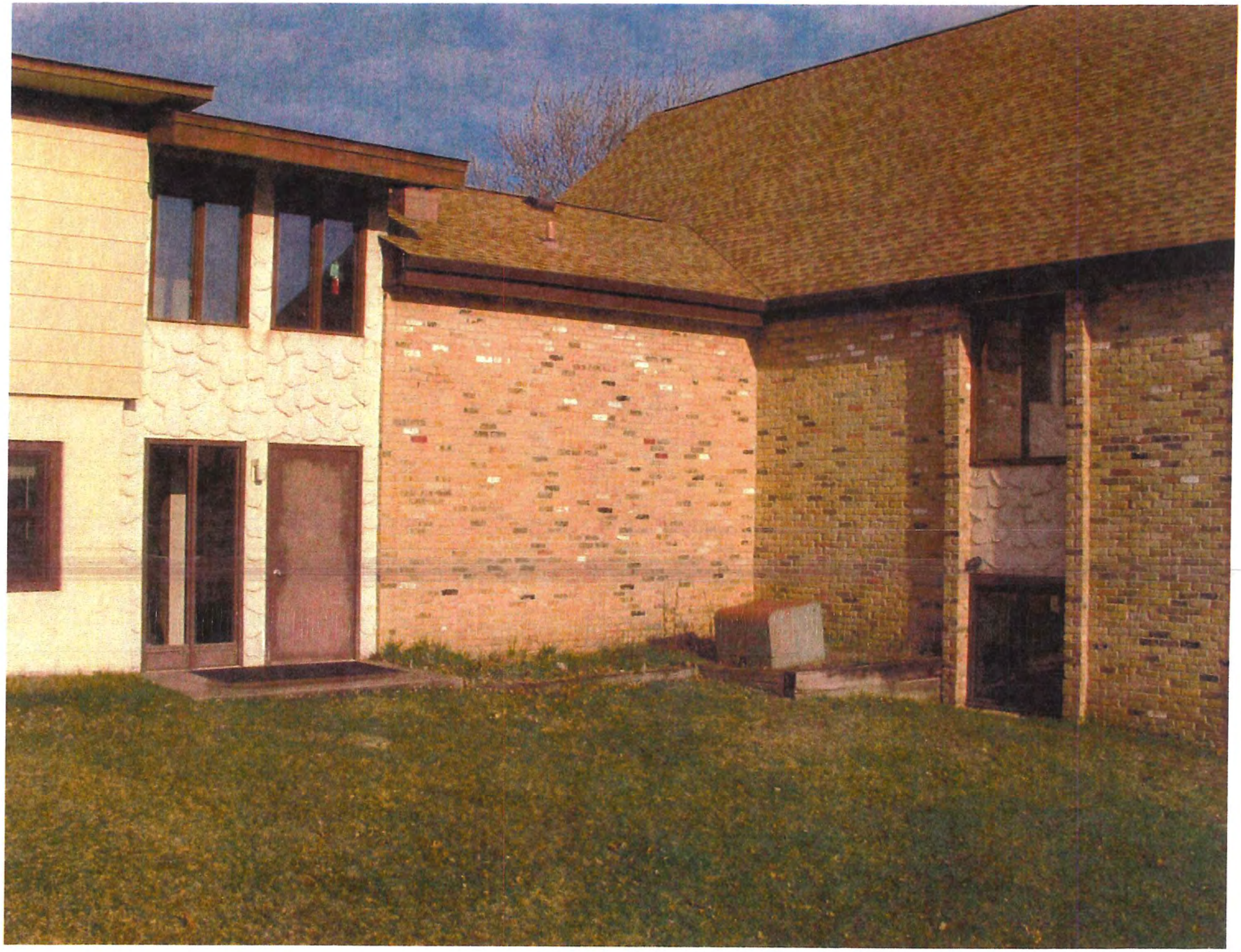
½" = 1'



PROPOSED MOTION
TO APPROVE

MOVED BY COMMISSION MEMBER_____

SECONDED BY COMMISSION MEMBER _____

To recommend the City Council approve the Site and Building Plan Review application submitted by River of Life Church, 4294 Hodgson Road for a bathroom addition, subject to the following conditions:

1. The project must be completed in accordance with the submitted site and building plans. Any significant changes to these plans, as determined by the City Planner, will require review and approval by the Planning Commission and the City Council.

2. The approval will expire after one year if the required permits have not been issued and work has not begun on the project.

3. The applicant shall obtain a building permit for the addition prior to commencing any work on the project.

This approval is based on the following findings:

1. The proposed improvements are consistent with the Land Use Chapter (Chapter 4) of the Comprehensive Plan.

2. The proposed addition will not conflict or impede the planned land uses of the surrounding properties.

VOTE: **AYES:** **NAYES:**

Regular Planning Commission Meeting
August 30, 2016

TO: Planning Commission

FROM: Niki Hill, AICP, Economic Development and Planning Associate

DATE: August 25, 2016

SUBJECT: Preliminary Plat (Major Subdivision), Rezoning and Variances, 0 Gramsie Rd, Golden Valley Land Co., File No. 2630-16-29

INTRODUCTION AND SITE CHARACTERISTICS

Golden Valley Land Co. submitted a preliminary plat (Major Subdivision), rezoning and variance applications to develop 15.57 acres of vacant land for single-family residential lots. The property is located north of Interstate – 694, west of Victoria Street, south of Gramsie Rd., and to the east of the tower properties and currently zoned UND – Urban-Undeveloped. Access to the property is currently from Gramsie Rd.

Golden Valley Land Co. proposes to subdivide and develop the property at 0 Gramsie Rd into 7 lots for single-family detached homes and 1 outlot for future subdivision. This proposal requires the following approvals:

1) Rezoning – Rezone the seven single family lots proposed along Gramsie Road from UND, Urban Underdeveloped to R1-Detached Residential. The proposed outlot will remain UND..
2) Preliminary Plat – to divide the property for single-family residential use
3) Variance – To waive the key lot standards for the key lot standards for the 5 of the proposed lots

The application was complete August 3, 2016.

PREVIOUS CITY ACTIONS

The property had a proposed 20 lot subdivision application submitted in 1975 as part of Planning Commission Case number 484-75-36. The proposed Plat included a public roadway along the east side of Gramsie Pond, abutting the west side of the Tan property at 808 Gramsie Road. After failing to receive permits for filling in a significant portion of the, pond, and Island Lake area, the applicant proposed to plat only the northern 5 lots located on the south side of Gramsie Road. Based on the Development Code at the time and the inclusion of a proposed road right of way permitting future access to the southern portion of the property, the lots were denied. The minimum lot size requirements at the time were larger than what our current development code requires.

PROJECT DESCRIPTION

The applicant proposes to plat the two properties into 8 lots. The proposal requires rezoning the 7 single-family residential lots along Gramsie Rd to R1- Detached Residential and the larger outlot to the south would remain zoned UND – Urban

Undeveloped as no development is being proposed at this time. Five of the proposed lots – Lots 1-5 – are classified as Key Lots because their rear line abuts the side lot line of 808 Randy Avenue to the south.

Access to the proposed residential lots would come off of Gramsie Road. Stormwater for this project will be treated with an infiltration/filtration basin in the undeveloped Gramsie Road right of way to the north and west of the development. The seven new homes will utilize the existing sanitary sewer and watermain on Gramsie Road.

STAFF REVIEW

REZONING

The property is currently zoned UND, Urban Underdeveloped which serves as a temporary holding zone for underdeveloped or undeveloped properties, and existing uses are allowed to continue. When a change in use is proposed, a rezoning to the appropriate district is required. In this case, the applicant is seeking approval to rezone a portion of the property from UND, Urban Underdeveloped to R1, Detached Residential. In Staff's opinion, the proposal is consistent with the rezoning criteria:

1) *That the proposed rezoning is consistent with the policies of the Comprehensive Guide Plan and with the general purpose and intent of the development regulations*

As part of Chapter 4 of the Comprehensive Guide Plan - Land Use; Policy Development Area 13 is specifically addresses the Tan (808 Randy Avenue)/Reiling Properties. It states all of the Tan property and the northern 500 feet of the Reiling property (adjoining the Tan property on three sides) make up an area that is planned for RL, Low-Density Residential use because this area is a continuation of the single-family dwelling neighborhood to the north and east.

The RL designation identifies those areas designated for continued or future use as residential, with a density range of up to four units per acre. In undeveloped or underdeveloped areas, a development density and lot pattern similar to that found in existing neighborhoods is expected.

The submitted development plan is consistent with the RL land use designation with respect to the proposed density of 3.8 units per acre. Staff calculated this density using only the 1.85 acre area to be rezoned. The low density does reduce impacts on the natural environment, but there will be wetland impacts as discussed below. Further, the development pattern is similar to the adjoining residential development on Gramsie Road.

2) *That the development facilitated by the rezoning will not significantly and adversely impact the planned use of the surrounding property. When the property being considered for rezoning from UND, the most restrictive zoning district option*

permitted by the Planned Land Use designation is considered the baseline for determining significant adverse impact.

The proposed development is low-density single family as are the lots to the north and the east. The R-1 zoning district designation is consistent with the designated RL land use. The proposed zoning is also consistent with the R-1 zoning of the nearby single-family residential neighborhood. The development of this property will not have a significant or adverse impact on the established residential use.

The property immediately to the west is zoned T, Tower and developed with the television broadcast towers. It is the City's understanding that the tower facilities will remain on this property for the foreseeable future. The proposed development does not have an impact on these properties.

3) The developer is willing to enter into a rezoning/development agreement with the City.

As a condition of approval, the developer will be required to enter into a development agreement with the City.

PRELIMINARY PLAT

The preliminary plat was reviewed in accordance with the City's standards for subdivisions (Section 204), and the R1(Section 205.080). The following outlines some of the features of the proposed subdivision.

***Street Network/Traffic*.** Access to the parcels will be from Gramsie Road. Gramsie Road is an existing improved local road which conveys traffic to Victoria Street – a B Minor Street. These roads have the capacity to accommodate the approximate 70 trips per day traffic from this proposed development.

Lot Layout. The proposed parcels comply with the minimum lot standards of the R-1 zoning district. The non-riparian lots are required to have a minimum width of 75-feet, a minimum depth of 125-feet, and a minimum area of 10,000 square feet (Section 205.082 D.1.f).

Five of the proposed parcels (Lots 1-5) are Key Lots. A Key Lot is any lot, the rear of which abuts the side lot line of an adjoining lot, or any lot, the side lot line of which abuts the rear lot line. These types of parcels are discouraged, however, when they are developed, additional setback restrictions are imposed to minimize the development impacts on the adjacent property (Section 204.030 C.9). Further, these are required to have an additional lot depth or width required (Section 205.080 D.1.f) which they do not. The building pads shown for these parcels would comply with the 40-foot structure setback requirement for Key Lots. The applicant has requested a variance to reduce the depth for these lots to the proposed 130.00 -foot depth shown.

Stormwater Management. The existing drainage pattern generally flows to the wetland area and Gramsie Pond off site to the south west. The proposed stormwater management plan has been designed to comply with Shoreview and Ramsey Washington Metro Watershed standards for stormwater quality, quantity, best management, and erosion control practices. Stormwater for this project will be treated with an infiltration/filtration basin (rain-garden) designed to exceed the standards of both the City of Shoreview and the Rice Creek Watershed District. The location in the right of way area, west of the terminus of Gramsie Road is the preferred location by City Staff. Staff prefers this location due to the Gramsie Road right of way not being developed for the foreseeable future and it will allow the City to better maintain the basin.

The proposed stormwater plan does comply with the City's standards. Comments from the City Engineer are attached.

Density. The Comprehensive Plan designates this property as Low-Density Residential (RL), where a development density of zero to four units per acre is allowed. The proposed 3.81 units per acre density on the 1.85 acres proposed for development complies with the Comprehensive Plan.

Tree Preservation and Landscaping. The property contains both open and wooded areas. Of the 55 trees surveyed, 17 were designated as landmark trees on the site. The preliminary grading plan identifies that 1 of these will be removed and 16 landmarks retained.

Tree removal, tree protection, and replacement plans are required with the final grading plan. Replacement trees are required at a rate of 6 replacement trees for each landmark tree removed (Section 209.050 B.2.C.i.bb). (Since no public road is proposed, I believe the ratio is 3 to 1.)

Outlot A. The City has concerns regarding the future development of Outlot A. Staff recognizes that the proposed ghost plat access from the north may be limited due to the need to cross to protected wetland areas. Any crossing at this location would need to meet Wetland Conservation Act rules, public water rules and would require a public waters permit. Staff would recommend that the applicant study the feasibility of accessing the peninsula property from the north. In addition, staff would encourage the applicant to look at the possibility of future access to the property from the west or a preservation of the area due the limited access.

VARIANCE

When considering a variance request, the Commission must determine whether the ordinance causes the property owner practical difficulty and find that granting the variance is in keeping with the spirit and intent of the Development Code and in harmony

with the policies of the Comprehensive Plan. Practical difficulty is defined (Section 203.070 C.2) as:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.*

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.*

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.*

Affirmative findings for all of the review criteria are required in order to approve a variance.

Request to Waive Key Lot Requirements

Applicant Statement

The applicant is requesting that the City waive the Key Lot requirement of 15' wider or deeper than the zoning district standards. The applicant states that when the property to the south develops, per the submitted future Ghost Plat, these five lots will abut the future rear lot lines, and will therefore not be classified as "key lots." Additionally the 80' right of way area of Gramsie Road is 20 feet wider than a standard 60 foot right of way seen on local streets in Shoreview. If they were to request a vacation of the 10 feet abutting the proposed subdivision, the lots would comply with the key lot requirement. Those two combined make this a unique circumstance.

Staff Review

The applicant states that the proposed lots comply with all of the City requirements for R1-Detached Residential Lots, with the exception of the key lot requirements.

Reasonable Manner – Staff finds that the proposed use is in a reasonable manner not permitted by Shoreview Development Regulations. The proposed construction of a seven lot single family home subdivision meets the standard R1 Single Family Detached zoning regulations lot size and width requirements and is a reasonable use of the property.

Unique Circumstances –Staff is receptive to the larger, developable lot to the south and can see a need for the variance. The intent of the Key Lot Requirements is to mitigate the impact on those lots who abut the side/rear lot lines of a key lot. In this case the existing home is greater than 150' feet from the existing rear lot line. In addition, any future development would change the lots from key lots to standard lots as the rear lot lines would be abutting. Requiring additional width or depth would not serve a purpose to mitigate as there would be little to no impact on the Tan property.

Additionally, City Staff does agree that the right of way area is larger than a standard City lot. Gramsie Road was originally a County road which was given back to the City of Shoreview – which is why the width is 80 feet. Staff concurs that the right of way is larger than a standard city street.

Character of the Neighborhood – Staff believes that approving the variance would not alter the essential character of the neighborhood. The proposed subdivision would meet the required subdivision standards of an R1- Detached Residential District. This is the same zoning as the surrounding neighborhood so the character of the neighborhood would not be altered.

PUBLIC/AGENCY COMMENT

Notice of the Public Hearing was published in the City's legal newspapers. Notice was mailed to property owners within 350 feet of the property boundary for both meetings. Eight comments have submitted in response to the notice preceding the meeting and are attached. The comments express concerns that include reduced lot width, environmental impact on nearby wetland and wildlife, increased traffic on Gramsie Road, interstate traffic noise, utilities, stormwater and altering the character of the neighborhood.

Staff at the Department of Natural Resources (DNR) submitted comments regarding the proposed development. They recommend signs along the 16.5 ft wetland buffer area, have concerns about the removal of trees in the shoreland district, and that the final plat be able to meet the shoreland standards for percent impervious and for development on steep slopes.

The DNR also had comments on the ghost plat for development of the south part of the parcel. They are concerned about the road crossing where Gramsie Pond flows into Island Lake. They cite that the road is almost entirely within the 50 ft OHW setback from Island Lake, is adjacent to the shoreline of Island Lake and would be located within the boundary of Gramsie Pond. In addition to two public waters at this location, the floodplain boundary within Island Lake extends into where the road would be located and there are likely Wetland Conservation Act (WCA) regulated wetlands at this location. See attached statement.

Rice Creek Watershed District did not fully review the plans at this time but stated the applicant has applied for a permit. The applicant will be responsible for complying with all Watershed District Rules.

Staff at Ramsey County Parks commented that they would not have interest in the outlot for a future park at this time. It would be essentially landlocked with little options for recreational activity. If the tower property to the west were to be available, then it may make sense for a County Park as long as there were options for access.

RECOMMENDATION

Staff has reviewed the proposal in accordance with the preliminary plat requirements and rezoning requirements. The preliminary plat generally complies with the City's R1, Detached Residential zoning district and subdivision standards. The Rezoning is consistent with the rezoning criteria. Staff is able to make affirmative findings for the requested variances to reduce the extra key lot requirement of the five Key Lots (Lots 1-5), and so recommend the Commission adopt Resolution 16-79 approving the variance waiving the key lot requirement and recommend approval of the preliminary plat and rezoning to the City Council, subject to the following conditions.

Rezoning

1. A Development Agreement must be executed prior to the City's issuance of any permits for rezoning.

2. Rezoning is not effective until approvals are received for the Final Plat, the development agreements executed.

3. This approval rezones the property from UND, Urban Underdeveloped to R1, Detached Residential.

Preliminary Plat

1. The approval permits the development of a detached residential subdivision providing 7 lots for single family residential development and 1 outlot for future development.

2. Final grading, drainage and erosion control plans are subject to the review and approval by the Public Works Director prior to approval of any permits or the Final Plat. Concerns identified by the City Engineer shall be addressed with the Final Plat submittal.

3. Final utility plans are subject to review and approval by the Public Works Director.

4. Comments identified in the memo dated August 23, 2016 from the City Engineer shall be addressed with the Final Plat submittal.

5. A Development Agreement, Erosion Control Agreement shall be executed and related securities submitted prior to any work commencing on the site. A Grading Permit is required prior to commencing work on the site.

6. A Public Recreation Use Dedication fee shall be submitted as required by ordinance prior to release of the Final Plat.

7. The landscape/tree-replanting plan shall be provided in accordance with the City's Tree Protection Ordinance. Trees on the property, which are to remain, shall be protected with construction fencing placed at the tree driplines prior to grading and excavating. Said plan shall be submitted for review and approval by the City Planner prior to submittal of the final plat application.

8. The Final Plat shall include drainage and utility easements along all property lines. Drainage and utility easements along the roadways shall be 10 feet wide and 5 feet wide along the side and rear lot lines. Other drainage and utility easements shall be provided over the proposed bio-filtration area, future public infrastructure and as required by the Public Works Director.

9. The developer shall secure a permit from the Rice Creek Watershed District prior to commencing any grading on the property.

Variances

1. This approval is subject to approval of the Preliminary Plat application by the City Council.

2. A minimum setback of 40-feet from the South (rear) lot line is required for the principal and accessory structures developed on Lots 1-5.

3. This approval will expire after one year if the subdivision has not been recorded with Ramsey County.

4. This approval is subject to a 5-day appeal period.

Attachments:

1. Location map
2. Comprehensive Plan – Policy Development Area 13
3. Submitted plans and applicant's statements
4. Comments
    a. Tom Wesolowski, City Engineer
    b. Jenifer Sorensen, Minnesota Department of Natural Resources
    c. Samantha Berger, Rice Creek Watershed District
    d. Resident comments
5. Resolution 16-79
6. Motion

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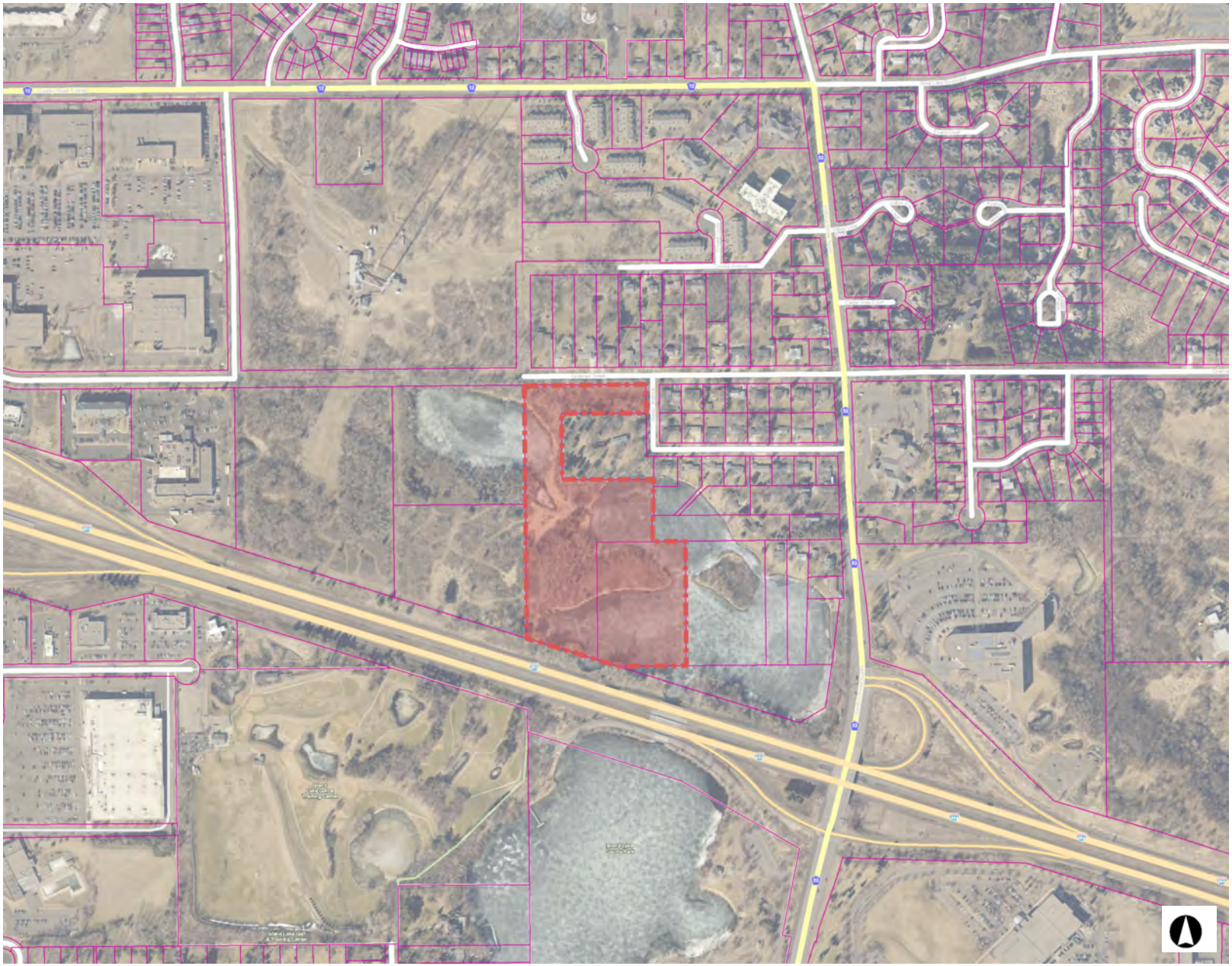
MapRamsey

Location Map



Legend

- City Halls
- Schools
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- Police Stations
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- Parcel Boundaries

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Notes

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compatible with nearby residential areas is desired. Traffic concerns must be addressed to ensure compatibility with the adjoining residential land uses.

The multi-designations T, Tower, BPK, Business Park, RM, Medium Density Residential and RL, Low-Density Residential is established for the 170-foot by 597-foot Telefarm property located north of Crystal Avenue. Low-density residential is the desired use if the tower use ceases, however, medium density residential may also be suitable due the property's location adjacent to medium and high-density residential developments. The redevelopment of this area should take into consideration the impact on existing residential neighborhoods, the site's natural features and the road network. The guy wires must be removed before any portion of the property is used for residential purposes.

13. Tan (808 Randy Avenue)/Reiling Properties

This site includes the property at 808 Randy Avenue and the Reiling property located east of the Telefarm property (960 County Road F) and west of Island Lake.

Tan Property/North Reiling Property. All of the Tan property and the northern 500 feet of the Reiling property (adjoining the Tan property on three sides) make up an area that is planned for RL, Low-density residential use because this area is a continuation of the single-family dwelling neighborhood to the north and east.

Reiling Property West Of Island Lake. The City believes that the highest and best use of this property consists of high-amenity O, Office and/or BPK, Business Park uses.

Policies

Tan Property/North Reiling Property. A conventional single-family dwelling lot pattern is desired south of Gramsie Road compatible with the existing dwellings north of that street. A unified development scheme is desired for the remainder of these properties. Cluster development, via a planned unit development, may be considered to maximize setbacks from wetland areas and from the non-residential uses planned to the south and southwest, provided the proposal is compatible in building mass and style with the nearby single-family dwellings. Such development assumes that the existing dwelling at 808 Randy Avenue would be removed.

Reiling Property West Of Island Lake. The City's planned use is for this area to be developed as part of a unified business park development scheme with the tower property. It would be preferable for this property to be accessed from the west to avoid the need to disturb the wetlands in this area and intrude upon a residential neighborhood.

However, the City acknowledges that this property may be effectively landlocked, as presently designated, if the tower property does not redevelop or if access cannot be otherwise gained through the tower property. Therefore, when a development plan is submitted for the properties to the north, the City may consider changing the land use designation to residential for this property, if the owner wishes to gain access from the north.

If access is proposed from the north, the owner must demonstrate that: 1) the access route will not cross protected wetlands; 2) any required wetland mitigation can be accomplished; and 3) this property will be included in the development plans for the abutting property to the north of Gramsie Road.

14. United Tower Property

This 51-acre property overlooks the Grass Lake open space. Although the United Television Tower is likely to remain for some years, there is an opportunity for a corporate headquarters and comparable facilities on this site.

Policies

The designation of this parcel is O/BPK/T/ROS/RL, Office/Business Park/Tower/Recreation Open Space/Low Density Residential. The northern portion of the site is suitable for low-density residential development because it is adjacent to existing single-family residential neighborhoods. Although residential development is near the site and is a potential land use for this PDA, a job-intensive headquarters environment may be the highest and best use for the buildable areas of the site and would take advantage of its amenities. The portion of the site adjacent to Grass Lake is considered as Recreation Open Space and planned for incorporation into the adjacent regional park when the area is developed. Any development should be properly buffered from surrounding residential uses and preserve existing wetlands and significant natural features. Traffic problems represents a major consideration.

15. Ambassador Baptist Church Property.

This PDA includes three properties owned by Ambassador Baptist Church and two adjoining single-family residences. The property at 3620 Lexington Avenue is developed with the Church facility and other associated improvements. The Church also owns the properties at 1084 and 1090 Island Lake Avenue, which are established with single-family residential homes but used for church related activities. This PDA also includes the two single-family homes immediately east of these properties, 1076 and 1072 Island Lake Avenue. A "dead end" section of Island Lake Avenue separates the single-family uses from the church use. The Island Lake Avenue/Lexington Avenue intersection was closed when a new intersection alignment was

Golden Valley Land Company

6001 Glenwood Ave.
Golden Valley, MN 55422
(612-309-9215; Peter Knaeble)
(peterknaeble@gmail.com)

GRAMSIE WOODS, SHOREVIEW
NARRATIVE FOR
PRELIMINARY PLAT, REZONING AND VARIANCE APPLICATIONS
8/22/16

Golden Valley Land Company is proposing a seven lot residential land development project for the 15.57 ac. vacant land site that is located at the southwest corner of Gramsie Road and Randy Ave. in Shoreview. The site is currently zoned UND-Urban Undeveloped and is privately owned.

The proposed project would be for seven single family lots along Gramsie Road to be rezoned to R1-Detached Residential from the current UND-Urban Undeveloped. All seven lots will meet or exceed all of the dimensional R1 standards, except for the "key lot" standards which will require a variance (see below). The southern outlot will remain zoned UND-Urban Undeveloped. This proposed rezoning is consistent with the policies of the Comprehensive Guide Plan, and with the general purpose and intent of the development regulations. The proposed rezoning will not significantly or adversely impact the planned use of the surrounding property.

The City's Comprehensive Guide Plan (PDA #13) currently shows the north 500' of this site guided for RL-Low Density Residential, and the south portion of the site guided for O-Office or BPK-Business Park. We are not proposing to change the Comprehensive Plan at this time.

This site is also located in the Shoreland Management area because it is within 1000' of the OHW of Island Lake (General Development Waters). The proposed seven lots meet or exceed all of the requirements for nonriparian lots.

Stormwater for this project will be treated with an infiltration/filtration basin (raingarden) designed to exceed the standards of the both the City of Shoreview and the Rice Creek Watershed District. These standards account for both infiltration and rates of runoff from the site. According to the City Code (206.010J7), raingardens are "strongly encouraged" to increase infiltration of stormwater. The seven new homes will utilize the existing sanitary sewer and watermain on Gramsie Road.

The additional traffic from these seven new homes will be approximately 70 trips/day. These additional trips will not exceed the capacity of Gramsie Road. We would expect the majority of these trips will go west on Gramsie Road, and then south on Victoria St. to Hwy. 694
We had our surveyor and our certified tree inspector prepare a tree survey of this property. Of

the 55 trees surveyed, only 17 were designated "landmark" trees. According to our preliminary Tree Preservation Plan, we will be removing and replacing four "landmark" trees.

Variance Request

According to the City's subdivision standards (204.030C9&10) "key lots" are to be discouraged, and if used shall be 15' deeper or wider than the zoning district requires. A "key lot" is defined as "any lot, the rear lot line of which abuts the side lot line of one or more adjoining lots or parcels, or any lot, the side lot line of which abuts the rear lot line of one or more adjoining lots or parcels."

Our proposed seven lot residential development abuts the undeveloped 2.7 acre estate property to the south owned by Mr. Oranuj Tan. Per the City's definition of "key lots," the rear lot lines of our proposed Lots 1-5, abut the side lot line of the undeveloped Tan estate property, are therefore technically "key lots."

According to the City's subdivision standards, these five "key lots" would need to be 15' wider or deeper than the zoning district standards. We are requesting a variance for these five lots from the "key lot" requirements. When the Tan estate property develops, per our submitted future Ghost Plat, these five lots will abut the future rear lot lines, and will therefore technically not be defined as "key lots."

We believe that this variance request complies with the purpose and intent of the provisions of City Code 201.010, and with the policies of the City's Comprehensive Guide Plan. We also believe that there are practical difficulties in complying with the "key lot" provisions of the Shoreview Development Regulations.

We are proposing to develop this property in a reasonable manner that is consistent with the intent of the City's zoning district standards. We believe it is unreasonable to apply the "key lot" standards to a large undeveloped abutting estate property. The intent of the "key lot" ordinance is to maintain an adequate distance between the homes that are on "key lots." Our proposed homes will be over 150' from the existing Tan property home. When the Tan property develops in the future (per the proposed Ghost Plat), our lots will not longer be classified as "key lots."

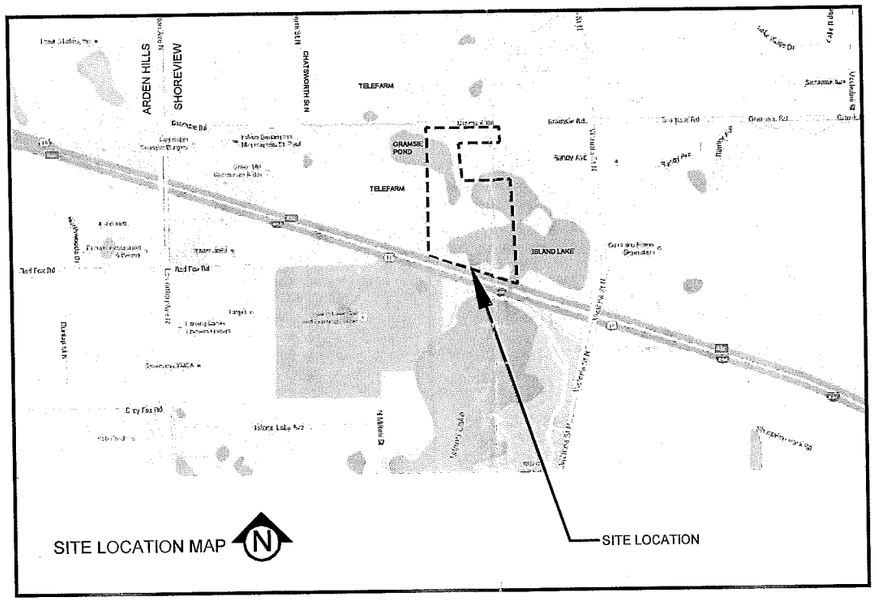
Our variance request is due to the unique circumstance that we are subdividing our property adjacent to a large undivided estate property that is technically (and only temporarily) a "key lot." If the Tan property were developed per the Ghost Plat shown, we would not need any variances since we would not have any "key lots." The other unique circumstance for this property is that the current Gramsie Road right-of-way is 80 feet, instead of the City standard 60 feet for a residential street (Randy Ave. has a 60 foot right-of-way). If the typical 60 foot road right-of-way was used for Gramsie Road, our lot depths would all be at 140' instead of 130', thus not required a variance from the "key lot" requirements.

If this variance is granted, it would not alter the essential character of the neighborhood. The neighborhood is currently residential single family homes and is zoned R1. Our proposed seven lots on Gramsie Road will also be for single family residential homes. Due to the temporary nature of this variance, the essential character of the neighborhood will not be changed.

GRAMSIE WOODS

SHOREVIEW, MINNESOTA

ISSUED FOR: PRELIMINARY PLAT SUBMITTAL



SITE LOCATION MAP

DEVELOPER / PROPERTY OWNER:

GOLDEN VALLEY LAND COMPANY
6001 GLENWOOD AVENUE
GOLDEN VALLEY, MN 55422
CONTACT: PETER KNAEBLE
PHONE: 612-309-9215
EMAIL: PETERKNAEBLE@GMAIL.COM

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP
4931 W 35TH STREET
SUITE 200
ST LOUIS PARK, MN 55416
CONTACT: MATT PAVEK, PE
PHONE: 612-615-0060
EMAIL: MPAVEK@CIVILSITEGROUP.COM

SURVEYOR:

E.G. RUD & SONS, INC.
6776 LAKE DRIVE NE
SUITE 110
LINO LAKES, MN 55014
CONTACT: JASON RUD, RLS
PHONE: 651-361-8200
EMAIL: JRUD@EGRUD.COM

GEOTECHNICAL ENGINEER:

SOIL INVESTIGATION & DESIGN, INC.
2809 78TH AVENUE NORTH
BROOKLYN PARK, MN 55444
CONTACT: PAUL BRANDT, PSS
PHONE: 651-260-3783
EMAIL: PBRANDT@SOILINVESTIGATION.US

CERTIFIED TREE INSPECTOR:

JACOBSON ENVIRONMENTAL
5821 HUMBOLDT AVENUE NORTH
BROOKLYN CENTER, MN 55430
CONTACT: WAYNE JACOBSON
PHONE: 612-802-6619
EMAIL: JACOBSONENV@MSN.COM

MASTER LEGEND:

- 932 — EX. 1' CONTOUR ELEVATION INTERVAL
- x 932.0 — EXISTING SPOT GRADE ELEVATION
- 939 — PROPOSED 1' CONTOUR ELEVATION INTERVAL
- 932.0 — SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
- 932.0BC / 932.0TC — SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
- 932.0TW — SPOT GRADE ELEVATION TOP OF WALL
- 932.0BW — SPOT GRADE ELEVATION BOTTOM OF WALL
- DRAINAGE ARROW
- EOF — EMERGENCY OVERFLOW
- SILT FENCE / GRADING LIMIT
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- SOIL BORING LOCATION
- T.O. — CURB AND GUTTER (T.O = TIP OUT)
- PROPOSED MANHOLE STORM
- PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE SANITARY
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND CABLE
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- EXISTING HYDRANT
- EXISTING STOPBOX
- EXISTING GATE VALVE
- EXISTING ELECTRIC BOX
- EXISTING LIGHT
- EXISTING GAS METER
- EXISTING GAS VALVE

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
C0.1	SITE SURVEY/EXISTING CONDITIONS
C1.0	PRELIMINARY PLAT
C2.0	PRELIMINARY GRADING / EROSION CONTROL PLAN
C3.0	PRELIMINARY UTILITY PLAN
C4.0	PRELIMINARY TREE PRESERVATION

CivilSite GROUP
4931 W. 35TH ST. SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek 763-213-3944
Pat San 952-250-2

PROJECT
GRAMSIE WOODS
GRAMSIE ROAD & RANDY AVENUE, SHOREVIEW, MN 55126
GOLDEN VALLEY LAND COMPANY

I HEREBY CERTIFY THAT THIS PLA SPECIFICATION, OR REPORT WA PREPARED BY ME OR UNDER MY DI SUPERVISION AND THAT I AM A DU LICENSED PROFESSIONAL ENGIN UNDER THE LAWS OF THE STATE MINNESOTA.

Matthew R. Pavek
DATE 7/25/16 LICENSE NO. 442

ISSUE/SUBMITTAL SUMMAR

DATE	DESCRIPTION
7/25/16	PRELIMINARY PLAT SUBMIT

REVISION SUMMARY

DATE	DESCRIPTION

PROJECT NUMBER: 16102

TITLE SH

C0.

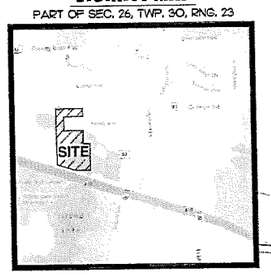
© COPYRIGHT 2016 CIVIL SITE

CERTIFICATE OF SURVEY

~for~GOLDEN VALLEY LAND COMPANY
~of~ GRAMSIE ROAD PARCEL

VICINITY MAP

PART OF SEC. 26, TWP. 30, RNG. 23



RAMSEY COUNTY, MINNESOTA
(NO SCALE)

LEGAL DESCRIPTION

Parcel A:

That part of the South Half of the Northeast Quarter of Section 26, Township 30, Range 23, Ramsey County, Minnesota, described as follows:
Commencing at the Northwest corner of the South Half of the Northeast Quarter of Section 26, Township 30, Range 23, running thence South to the Southwest corner of said South Half of the Northeast Quarter being the center of Section 26, thence East 20 rods to the Southwest corner of a certain 30 acre tract conveyed by Simon and Anna Marlesjd to Pauline Hamerick by deed dated October 15, 1881 in "101" of Deeds, page 321; thence North on the West line of said last mentioned tract 34 2/7 rods to the Northwest corner of the tract so deeded to Pauline Hamerick, thence East on the North line of land so deeded to Pauline Hamerick to the center line of public highway running North and South through middle of said South Half of the Northeast Quarter of said Section 26, thence North along middle of said highway to the North line of said South Half of the Northeast Quarter, thence West along the North line of said South Half of the Northeast Quarter to the Northwest corner thereof, and the point of beginning, intending to convey land described in "247" of Deeds, page 62.

Except the following three tracts of land:

Tract One:
Commencing on the North and South Quarter Section line of Section 26 distant 585.71 feet North of the center of said Section, thence Easterly parallel with the East and West Quarter Section line to the center line of Victoria Street being the point of beginning of land to be described; thence Northerly along the center line of Victoria Street 120 feet, thence Westerly and parallel with the East and West Quarter Section line 888.24 feet; thence Southerly and parallel with the North and South Quarter section line 120 feet, thence Easterly 890.33 feet to the point of beginning, subject to Victoria Street, which was conveyed to Gifford Ingwell by a Warranty Deed dated July 19, 1954, and recorded in "1454" of Deeds, page 115.

Tract Two:
All that part of the South 1/2 of the Northeast Quarter Section 26, Township 30, Range 23, lying Westerly of the center line of Victoria Street, except the West 585.42 feet and except the South 885.71 feet thereof, subject to Victoria Street, entitled: "Island Lake Hills".

Tract Three:
The South 300 feet of the North 470 feet of the East 412.42 feet of the West 585.42 feet of the Southwest Quarter of the Northeast Quarter of Section 26, Township 30, Range 23, subject to an easement for road purposes over the East 30 feet thereof, which was conveyed by Warranty Deed to Leland A. Horn and Barbara L. Horn, husband and wife, dated May 12, 1955 and recorded in "1498" of Deeds, page 47.

Parcel B:
That part of the South 565.71 feet of the East 2310 feet of the Northeast Quarter (NE 1/4) of Section 26, Township 30 North, Range 23 West, lying West of a line described as follows:
Commencing at the East Quarter (1/4) corner of said Section, thence West along the South line of said Northeast Quarter (NE 1/4) of said Section a distance of 1902.45 feet; thence deflecting 90° right for a distance of 565.71 feet and there terminating, subject to trunk highway 694-393, and except Parcel 251B of trunk highway 694-393, according to the U.S. Government survey thereof on file and of record in the office of the Register of Deeds in and for Ramsey County, Minnesota.

Abstract Property

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 7/21/2016 License No. 41578

BENCHMARK

MNDOT GSID STATION #101271
MNDOT NAME: 6285 AB
ELEVATION: 966.445 (NAVD 88)

E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

NORTH

GRAPHIC SCALE

1 INCH = 60 FEET

TAG #	TRUNK DIAMETER	SPECIES
777	17"	COTTONWOOD
778	15"	ELM AMERICAN
779	16"	LINDEN AMERICAN
780	10"	COTTONWOOD
781	15"	COTTONWOOD
782	34"	COTTONWOOD
783	21"	COTTONWOOD
784	18"	COTTONWOOD
785	17"	HACKBERRY
786	15"	BOX ELDER
787	17"	BLACK WALNUT
788	17"	BLACK WALNUT
789	23"	COTTONWOOD
790	19"	COTTONWOOD
791	21"	COTTONWOOD
792	15"	COTTONWOOD
793	18"	COTTONWOOD
794	15	ASPEN
795	15"	ASPEN
796	20"	ASPEN
797	32"	3 ASPEN QUAKING ASPEN
798	21"	COTTONWOOD
800	16"	COTTONWOOD
852	17"	BLACK WALNUT - 2
869	15"	COTTONWOOD
870	15"	COTTONWOOD
871	18"	COTTONWOOD
872	25"	COTTONWOOD
873	17"	COTTONWOOD
874	18	COTTONWOOD
875	17"	COTTONWOOD
876	17"	COTTONWOOD
877	18"	COTTONWOOD
878	21"	COTTONWOOD
879	22"	COTTONWOOD
880	15"	COTTONWOOD
881	27"	COTTONWOOD
882	22"	COTTONWOOD-2
883	23"	COTTONWOOD
884	25"	COTTONWOOD
885	22"	BLACK WALNUT
886	21"	BLACK WALNUT BLACK WALNUT
887	22"	COTTONWOOD
888	31"	COTTONWOOD
889	21"	COTTONWOOD
890	23"	COTTONWOOD-3
891	21"	COTTONWOOD-2
892	21"	COTTONWOOD-2
893	22"	COTTONWOOD-4
894	17"	BLACK WALNUT
895	27"	COTTONWOOD
896	23"	COTTONWOOD-2
897	16"	COTTONWOOD
898	17"	COTTONWOOD
899	15"	COTTONWOOD

(TREES TAGGED PER JACOBSON ENVIRONMENTAL. SOME TAGGED TREES LIED OUTSIDE OF THE PARCEL AND WERE NOT FIELD LOCATED)

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. May of 2016.
- Bearings shown are on Ramsey County datum.
- Curb shots are taken at the top and back of curb.
- This survey is based upon information found in the commitment for title insurance prepared by First American Title Insurance Company, issued by its agent, Land Title, Inc., dated effective April 22, 2016 at 8:00 A.M.: L.T. File No. 537616.
- Contours shown are a compilation of field measurements and MnGEO lidar distribution.
- Wetland delineation and tree inventory was completed by Jacobson Environmental.
- Parcel Tax I.D. #'S: 26-30-23-13-0027
  26-30-23-13-0028

DRAWN BY: BPN	JOB NO: 16370PP	DATE: 6/3/16	
CHECK BY: JER	SCANNED ☐		
1	7/21/16	ADDITIONAL TOPO	BPN
2			
3			
NO.	DATE	DESCRIPTION	BY

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES CATCH BASIN
- DENOTES CURB STOP
- x 952.34 DENOTES EXISTING SPOT ELEVATION
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES SOIL BORING. (BY OTHERS)
- DENOTES STORM SEWER MANHOLE
- DENOTES WATER VALVE
- DENOTES EXISTING CONTOURS
- DENOTES OVERHEAD WIRES
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATERMAIN
- DENOTES WOOD FENCE LINE
- DENOTES EDGE OF WETLAND
- DENOTES BITUMINOUS SURFACE

REVISION SUMMARY

DATE	DESCRIPTION

16370PP

SITE SUR

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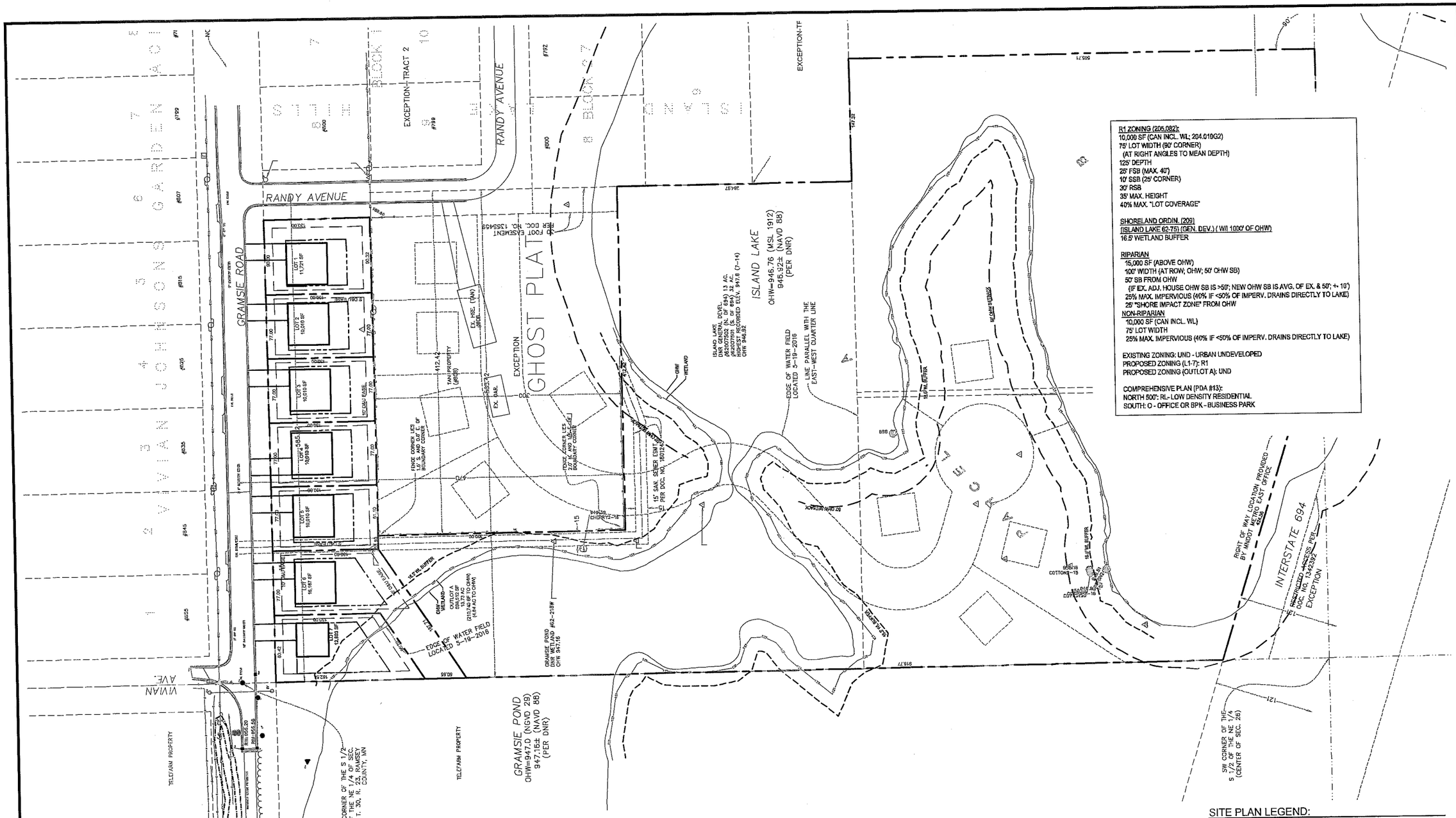

CITY OF SHOREVIEW SITE SPECIFIC NOTES:

1. RESERVED FOR CITY SPECIFIC NOTES.

SITE AREA TABLE:

SITE AREA CALCULATIONS

BUILDING COVERAGE
ALL PAVEMENTS
ALL NON-PAVEMENTS

TOTAL SITE AREA

IMPERVIOUS SURFACE
EXISTING CONDITION
PROPOSED CONDITION
DIFFERENCE (EX. VS PROP.)

SITE PLAN LEGEND:

- PROPERTY LINE
- DRAINAGE AND UTILITY EASEMENT LINE
- SETBACK LINE
- WETLAND BUFFER LINE
- OHW SETBACK LINE
- CURB AND GUTTER-SEE NOTES
- (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

1" = 60'-0"
30'-0" 0 60'-0"

CivilSite GROUP
4931 W. 35TH ST. SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek 763-213-3944
Pat San 952-250-20

PROJECT

GRAMSIE WOODS

GRAMSIE ROAD & RANDY AVENUE, SHOREVIEW, MN 55126

GOLDEN VALLEY LAND COMPANY

I HEREBY CERTIFY THAT THIS PLA SPECIFICATION, OR REPORT WA PREPARED BY ME OR UNDER MY DI SUPERVISION AND THAT I AM A DU LICENSED PROFESSIONAL ENGINE UNDER THE LAWS OF THE STATE MINNESOTA.

Matthew R. Pavek
DATE 7/25/16 LICENSE NO. 442

ISSUE/SUBMITTAL SUMMAR

DATE	DESCRIPTION
7/25/16	PRELIMINARY PLAT SUBMIT

REVISION SUMMARY

DATE	DESCRIPTION

PROJECT NUMBER: 16102

PRELIMINARY P

C1.

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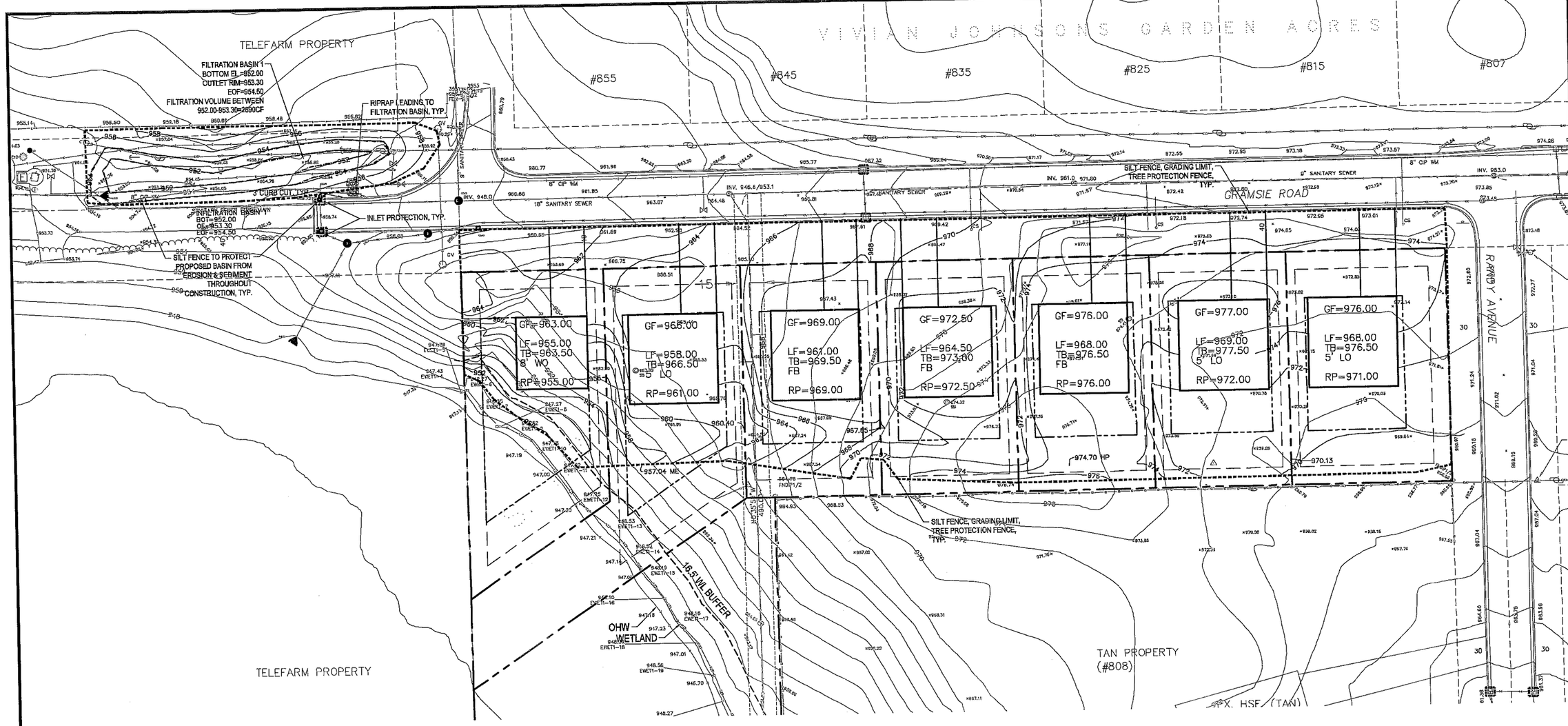

GENERAL GRADING NOTES:

1. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
2. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
3. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
4. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
5. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
6. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
7. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
9. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
10. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
11. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
12. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
13. TOLERANCES
    - 13.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
    - 13.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
    - 13.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
    - 13.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
14. MAINTENANCE
    - 14.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
    - 14.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
    - 14.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

CITY OF SHOREVIEW GRADING NOTES:

1. RESERVED FOR CITY SPECIFIC GRADING NOTES.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0-SW1.4

GRADING PLAN LEGEND:

891	EX. 1' CONTOUR ELEVATION INTERVAL
819	1.0' CONTOUR ELEVATION INTERVAL
891.0	SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
891.0 G	SPOT GRADE ELEVATION GUTTER
891.0 BC	SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
891.0 BS/TS	SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
T.O.	TIP OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE - TAPER GUTTERS TO DRAIN AS SHOWN
	EXISTING AND PROPOSED DRAINAGE ARROWS

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

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1" = 30'-0"
15'-0" 0 30'-0"

CivilSite GROUP
4931 W. 35TH ST. SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek
763-213-3944
Pat Sarv
952-250-20

PROJECT

GRAMSIE WOODS

GRAMSIE ROAD & RANDY AVENUE, SHOREVIEW, MN 55126

GOLDEN VALLEY LAND COMPANY

I HEREBY CERTIFY THAT THIS PL
SPECIFICATION, OR REPORT WA
PREPARED BY ME OR UNDER MY D
SUPERVISION AND THAT I AM A D
LICENSED PROFESSIONAL ENGIN
UNDER THE LAWS OF THE STATE
MINNESOTA.

Matthew R. Pavek

DATE 7/25/16 LICENSE NO. 44

ISSUE/SUBMITTAL SUMMA

DATE	DESCRIPTION
7/25/16	PRELIMINARY PLAT SUBMI

REVISION SUMMARY

DATE	DESCRIPTION

PROJECT NUMBER: 16102

PRELIMIN
GRADING/EROS
CONTROL

C2.

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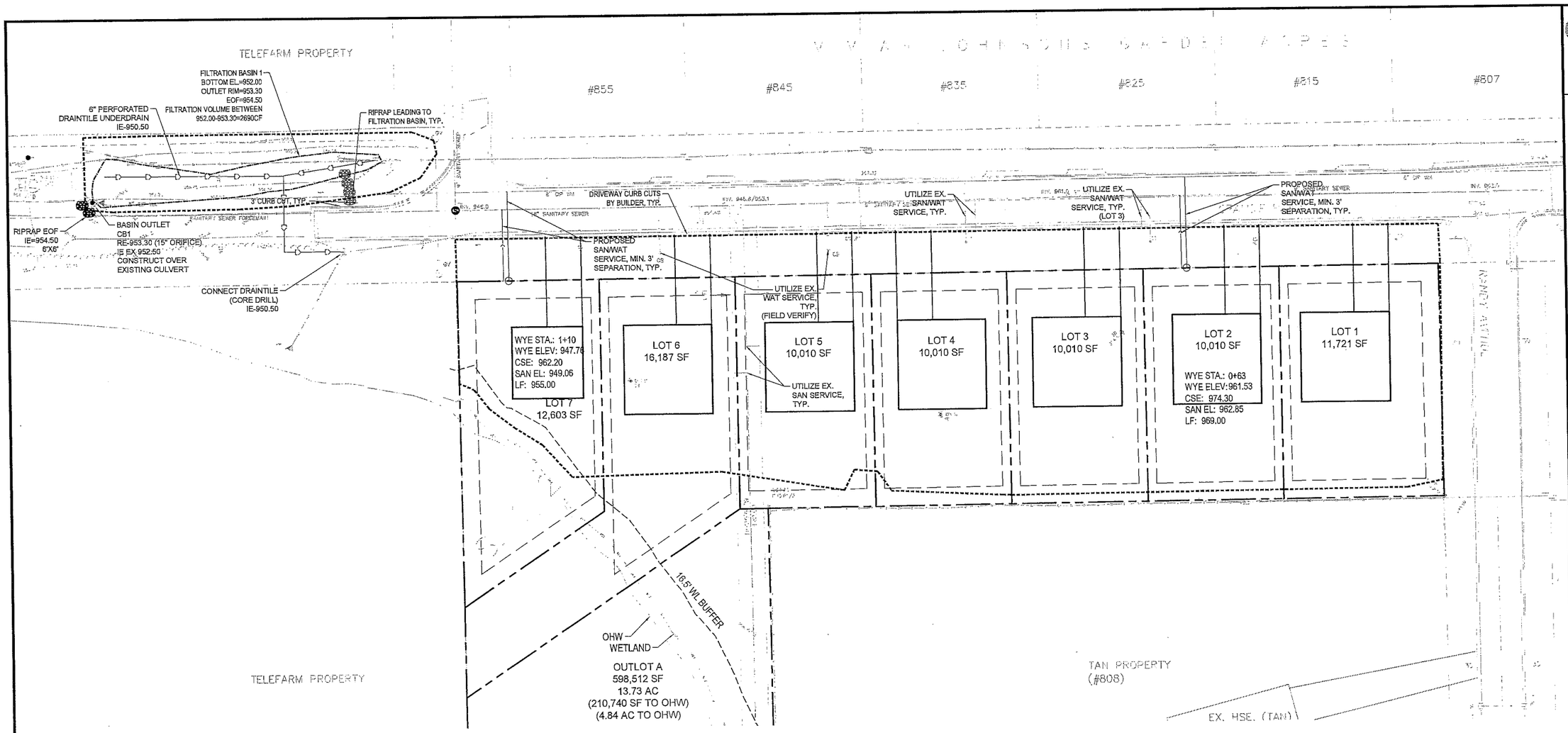

GENERAL UTILITY NOTES:

1. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
2. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
12. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
13. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
14. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
15. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
16. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
17. CONNECTIONS TO EXISTING STRUCUTRES SHALL BE CORE-DRILLED.
18. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
19. COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
20. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
21. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
22. CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
23. CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
24. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
25. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.

CITY OF SHOREVIEW UTILITY NOTES:

1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:

- MANHOLE OR CATCH BASIN
- MANHOLE OR CATCH BASIN
- CATCH BASIN
- WATER MAIN
- SANITARY SEWER
- STORM SEWER

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ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Matt Pavek 763-213-3944
Pat Sarver 952-250-2003

PROJECT
GRAMSIE WOODS
GRAMSIE ROAD & RANDY AVENUE, SHOREVIEW, MN 55126
GOLDEN VALLEY LAND COMPANY
6001 GLENWOOD AVENUE, GOLDEN VALLEY, MN 55422

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek
DATE 7/25/16 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
7/25/16	PRELIMINARY PLAT SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION

PROJECT NUMBER: 16102

PRELIMINARY
UTILITY PLAN

C3.0

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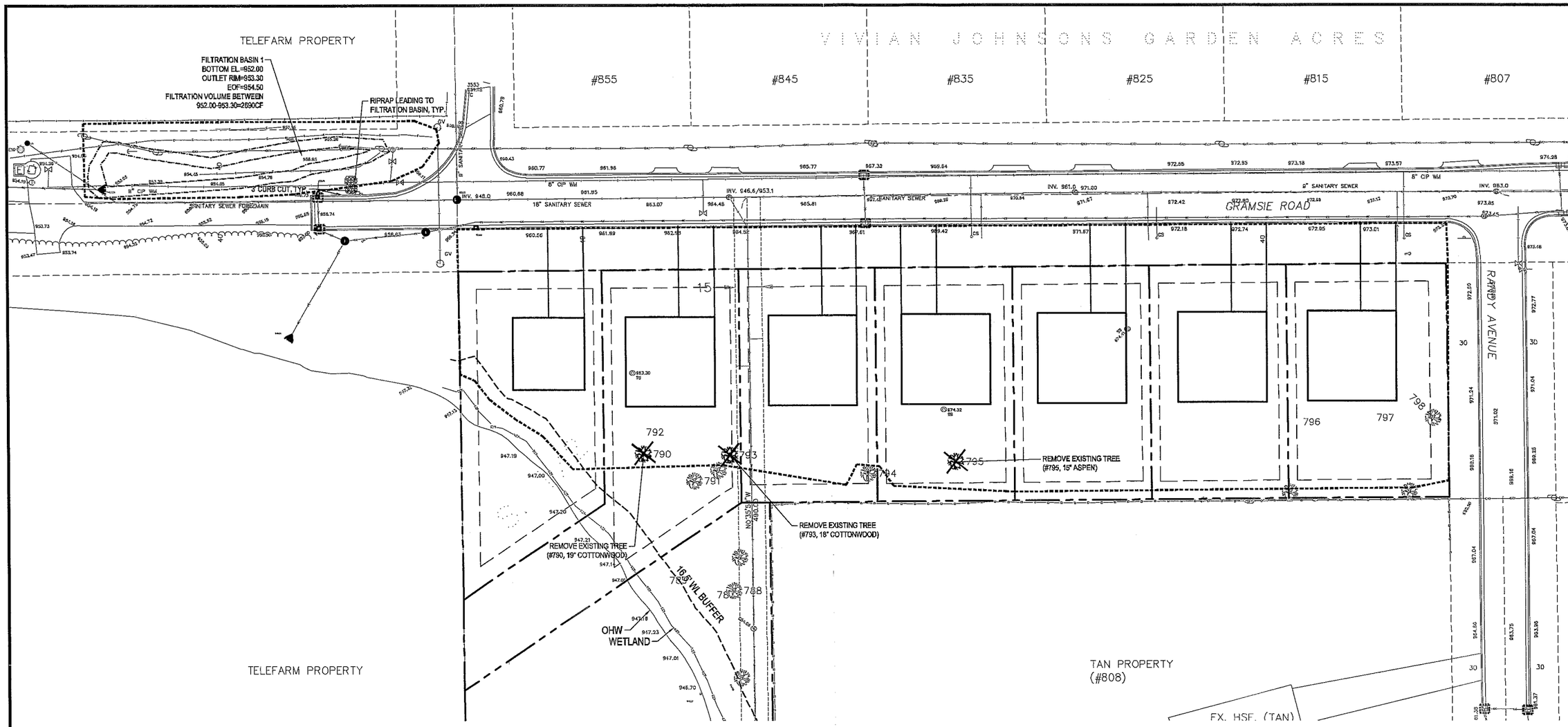

CITY OF SHOREVIEW TREE NOTES:

1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

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(651) 454-0002 LOCAL

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CivilSiteGroup.com
Matt Pavek
763-213-3944
Pat Sa
952-250-

PROJECT

GRAMSIE WOODS

GRAMSIE ROAD & RANDY AVENUE, SHOREVIEW, MN 55126

GOLDEN VALLEY LAND COMPANY

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRE SUPERVISION AND THAT I AM A DUL LICENSED PROFESSIONAL ENGINEE UNDER THE LAWS OF THE STATE O MINNESOTA.

Matthew R. Pavek

DATE 7/25/16 LICENSE NO. 4426

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
7/25/16	PRELIMINARY PLAT SUBMITT

REVISION SUMMARY

DATE	DESCRIPTION

PROJECT NUMBER: 16102

PRELIMINARY TR
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Date: August 23, 2016

To: Niki Hill, Economic Development and Planning Associate

From: Tom Wesolowski, City Engineer

Subject: Gramsie Road - Preliminary Plat, Rezoning, and Variance for Proposed Subdivison – Golden Valley Land Co.

The City of Shoreview Engineering staff has reviewed the preliminary plat, drainage and grading plan, and stormwater management report for the proposed subdivision and has the following comments:

1. The proposed project is located within the jurisdiction of the Rice Creek Watershed District (RCWD). The entire development will disturb more than 1-acre and a permit from the RCWD will be required. The City requires that all information that is submitted to Rice Creek, as it relates to the proposed development, also be sent to the City of Shoreview.

2. Engineering staff has met with the developer and discussed stormwater management for the proposed development. It was agreed the developer would construct a regional bio-filtration treatment pond on City property that is adjacent to the subdivision. Due to the location of the pond, portions of the run-off from the new development and also runoff from the area located to the north of the development would be treated. The developer has met with the RCWD and they support the proposed stormwater management plan.

3. Water main and sanitary sewer main are located within the Gramsie Road right of way and available to provide service to the proposed lots. Existing water and sewer service lines are installed to the property lines of 5 of the 7 proposed lots. For the 2 remaining lots water and sanitary sewer services will need to be installed.

4. The sanitary sewer easement between Lots 5 and 6 has to be shown on the new plat.

5. The proposed development was presented to the Environmental Quality Committee at their August 22nd meeting. The Committee requests the developer consider the use of solar panels for the new homes and also the use of geothermal heating and cooler for the west most property.

MINNESOTA DEPARTMENT OF NATURAL RESOURCES
CENTRAL REGION
1200 WARNER ROAD
SAINT PAUL, MN 55106
651-259-5800

MNDNR

Date: 08/25/2016

City of Shoreview
Niki Hill, Economic Development and Planning Associate
4600 Victoria Street North
Shoreview, MN 55126

Re: MNDNR Comments on Gramsie Woods Preliminary Plat, Shoreview

Niki:

Thank you for the opportunity to review the Gramsie Woods preliminary plat, which subdivides the north end of PID 263023130027 into seven lots located just south and west of the intersection of Randy Avenue and Gramsie Road, Shoreview. Below are MNDNR's comments:

- DNR recommends that the City install signs along the edge of the 16.5 foot wetland buffer on Gramsie Pond to designate the location of the start of the buffer and discourage encroachment of activities into the buffer. DNR recommends that Shoreview require a City drainage easement over the buffer that restricts activities in the buffer area.
- Plan sheet C4 shows that three mature trees will be removed. What is the reason that these trees are planned for removal? If trees must be removed within the shoreland district, MNDNR recommends that justification for tree removal be provided and that a tree replacement plan be a condition of their removal.
- As a condition of approval of this preliminary plat, MNDNR recommends that the approval be made on the condition that the final plat will be able to meet the shoreland standards for percent impervious (30% in Shoreview shoreland district) and for development on steep slopes and bluffs. From a desktop review of the preliminary plat rectified to existing parcel lines and displayed with two foot contours (see attached map), it appears that the building footprint on Lot 7 is within a bluff impact zone or at least within an area of steep slopes. The layout of this lot and the other lots should be reconfigured as needed to ensure that they meet shoreland standards for bluffs and steep slopes.

Shown with the preliminary plat is a ghost plat for development of the south part of the parcel. Of primary concern to MNDNR on the ghost plat is the road crossing located where Gramsie Pond (public water wetland 62021800) flows into Island Lake (public water 62007502). The proposed road where the two water bodies meet is almost entirely within the 50 foot OHW setback from Island Lake, adjacent to the shoreline of Island Lake, and would be located within the boundary of Gramsie Pond. In addition to two public waters at this location, the floodplain boundary within Island Lake extends into where the road would be located and there are likely Wetland Conservation Act (WCA) regulated wetlands at this

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AN EQUAL OPPORTUNITY EMPLOYER.

MINNESOTA DEPARTMENT OF NATURAL RESOURCES
CENTRAL REGION
1200 WARNER ROAD
SAINT PAUL, MN 55106
651-259-5800

location as well. Any crossing at this location would need to meet WCA rules and public water rules and would require a public waters permit. MNDNR recommends that the feasibility of a crossing at this location be reexamined to determine if it can be built to meet shoreland, floodplain, WCA, and public waters regulations.

Sincerely,

Jenifer L Sorensen

Jenifer Sorensen
DNR East Metro Area Hydrologist
1200 Warner Road
St. Paul, MN 55106
651-259-5754
jenifer.sorensen@state.mn.us

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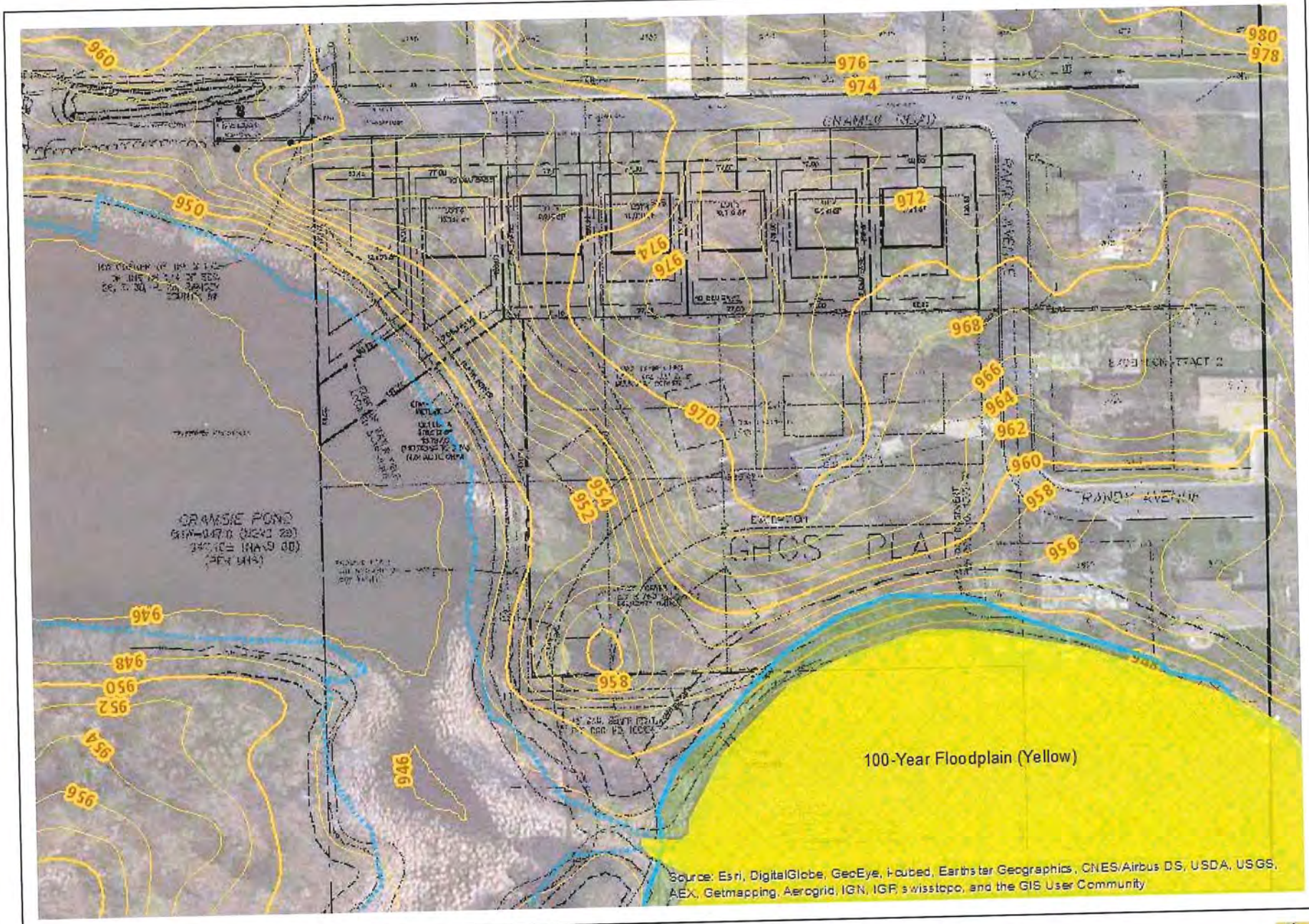


N

0 50 100 200 Feet

Gramsie Woods Preliminary Plat Displayed With Two Foot LIDAR Contours

Shoreview

Nicole Hill <nhill@shoreviewmn.gov>

City of Shoreview - Proposed Subdivision

2 messages

Niki Hill <nhill@shoreviewmn.gov> Wed, Aug 17, 2016 at 12:52 PM
To: SKreibich@ricecreek.org

Hi Sam!

I have attached a proposed 7 lot single family + 1 outlot to the south in the area of Island Lake just north of 694. It is my understanding that they have already been in contact with your agnecy (or so I hope!). I am hoping to get comments (if any) from you regarding the plans by August 24th.

Please let me know if you have any questions or need further information.

Thanks!

- Niki

--
Niki Hill, AICP
Economic Development and Planning Associate
City of Shoreview | Community Development Department
651.490.4658 | nhill@shoreviewmn.gov

Comment Form.pdf
4656K

Samantha Berger <SBerger@ricecreek.org> Thu, Aug 25, 2016 at 1:35 PM
To: Niki Hill <nhill@shoreviewmn.gov>
Cc: Kate MacDonald <kmacdonald@houstoneng.com>

Hi Niki,

I just received your voicemail, and unfortunately I had not had a chance to review this. We do have a permit application that we received and it looks like we got the prelim plans yesterday. The intent would be to complete the review per our typical process, where our engineers will be reviewing the plans per our Rules. I will actually be out of office from Friday to Tuesday so if you have specific questions regarding the project, you can work with Kate MacDonald, she is part of the reviewing team.

kmacdonald@houstoneng.com

Thanks kindly,

Sam

Samantha Berger,

Sberger@ricecreek.org

District Technician
Rice Creek Watershed District

4325 Pheasant Ridge Drive NE #611
Blaine, MN 55449-4539
Direct: (763) 398-3084

Cell: (612) 360-5043
www.ricecreek.org

RCWD
RICE CREEK WATERSHED DISTRICT

Please consider following the RCWD on Facebook.

From: Niki Hill [mailto:nhill@shoreviewmn.gov]
Sent: Wednesday, August 17, 2016 12:52 PM
To: Samantha Berger <SBerger@ricecreek.org>
Subject: City of Shoreview - Proposed Subdivision

[Quoted text hidden]

Joe and Pam Lux

770 Randy Avenue, Shoreview, MN 55126

Niki Hill
Economic Development and Planning Associate
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

PRELIMINARY PLAT OF GRAMSIE WOODS

Dear Ms. Hill:

We live at 770 Randy Avenue, in the neighborhood adjacent to the proposed Gramsie Woods development and have the following comments on the proposal:

- We have no objection to the seven-home development shown on the preliminary plat, though the smaller lot sizes are slightly out of character with the rest of our fully-developed neighborhood.
- The "ghost plat" included in the packet is inconsistent with the City's Comprehensive Plan. In Chapter 4 of the plan, on Page 4-40, in the section titled "Reiling Property West Of Island Lake", it states: "If access is proposed from the north, the owner must demonstrate that: 1) the access route will not cross protected wetlands; 2) any required wetland mitigation can be accomplished; and 3) this property will be included in the development plans for the abutting property to the north of Gramsie Road." The language of this section clearly requires all three conditions to be met. I have included the U.S. Fish and Wildlife Service National Wetlands Inventory Map, dated June 10, 2016, as "**Attachment 1**" to this letter. The wetlands inventory map clearly shows that the proposed road would cross protected wetlands and, therefore, that the road would not meet condition 1 of that section of the Comprehensive Plan. Thus, the "ghost plat" does not conform to the City's Comprehensive Plan and should be rejected by the Planning Commission and the City Council. We request that it be modified to preclude any development south of the wetlands identified near the Island Lake outlet.
- The City's 2008 Planned Zoning Map, Map 4.3 in the Comprehensive Plan, shows the area of the "ghost plat" that is south of the wetlands as being zoned "Natural". A proposal to build three homes on this site conflicts with its zoning and should not be allowed. We see this as another reason to reject the "ghost plat" and restrict it to the area north of the wetlands.

To summarize, we have no objection to the preliminary plat of Gramsie Woods, but serious objections to the "ghost plat" and request that the Planning Commission and City Council reject that portion of the proposal and require that any proposals conform to the City's Comprehensive Plan and Development Code. While the Gramsie Woods preliminary plat is slightly out of character with the rest of the neighborhood, the "ghost plat" does not conform to the City's planning framework and must be rejected unless the Comprehensive Plan is amended to accommodate that proposal. We would strongly oppose any efforts to amend the plan to do this.

If you would like to discuss these comments, I can be reached at 651-266-7114.

Sincerely,

Joe Lux

Joseph Lux

Attachment

C: Sandy Martin, Mayor, City of Shoreview
Terry Schwerm, Shoreview City Manager
Kathleen Castle, Shoreview City Planner
John Doan, Chair, Shoreview Planning Commission
Tom Simonson, Shoreview Community Development Director
Shoreview City Council

U.S. Fish and Wildlife Service

National Wetlands Inventory

Wetlands

June 10, 2016

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)
This page was produced by the NWI mapper

Attachment 1- National Wetlands Inventory 2016 Map

Nicole Hill <nhill@shoreviewmn.gov>

Request for Comments Attached - 0 Gramsie Road Proposed Development (Enclosures - two attachments)

Tom Fishlove <tfishlove@gmail.com> Sun, Aug 21, 2016 at 8:38 AM
To: nhill@shoreviewmn.gov
Cc: schwalmtom@yahoo.com, kbn22273@yahoo.com, Kelly Loken <jaymormic@aol.com>, Marc Loken <loken36499@aol.com>, Ann & William Waugh <annandwilliam@comcast.net>, Ann Waugh <annmwaugh@gmail.com>

Dear Ms. Hill,

Attached are my comments and concerns **RE: REQUEST FOR COMMENT** for the Tuesday, August 30th, 2016 Shoreview Planning Commission review of the preliminary plat application submitted by the Golden Valley Land company for the development of a property located at 0 Gramsie Road with PIN numbers: 26.30.23.13.0027 and 26.30.23.13.0028.

The **first attachment** is a list of questions I prepared and asked at the developer's open house on August 17th. The developer answered all questions which were able to be answered at this preliminary juncture. Most of these questions are regulated by municipal, county, state and/or federal code. I include them to give the Planning Commission and City Council a high level view of my initial concerns.

The **second attachment** includes six (6) specific concerns that fall into a "grey area" as they are largely subjective and taken from the first attachment. I would like these questions to be acknowledged and addressed at the upcoming meeting. **Please acknowledge receipt of this e-mail and inform me if you need to be sent a hard copy or if this electronic communication is adequate.**

Thanks!

Respectfully Submitted,
Tom Fishlove
845 Gramsie Road
Shoreview, MN 55126
(651) 253-6086

CC: Electronic Copies to Residents at 825, 835, 845 & 855 Gramsie Road

---

2 attachments

0 Gramsie Road Open House 8.17.2016 list of questions for developer.docx
24K

Questions to Council & Planning Commission.docx
19K

August 17th, 2016

0 Gramsie Road Open House Questions – August 17th, 2016
(Questions based on letter from City and Drawings dated August 15, 2016)

Submitted by:
Thomas Fishlove
845 Gramsie Road
Shoreview, MN 55126
tfishlove@gmail.com
(651) 253-6086

1. Lot width lengths are inconsistent with the rest of the street. Proposed lot widths are approximately (wih the corner at 90') where the existing homes on the north side of the street are all 100 foot widths, at least for the last four (4) houses. This smaller proposed lot width would change the character of the neighborhood with this increased housing density making it look more crowded than Vivian Gardens was originally designed. I would prefer minimum 100' lot widths to match current.

2. SWPPP? Highest elevation of new news versus current on north side.
3. Will there be a new storm water holding pond built or is existing basins adequate?
4. Contact with Army Corp. of Engineers RE: Island Lake wetland setbacks?
5. Utilities – electrical – will new substation be required? If so, where? Will new lines be buried underground or tapped into existing overhead poles? Underground would be more palatable including the existing poles on the north side.
6. Does existing infrastructure exist including water, wastewater, stormwater, electric and gas? Will street need to be dug up? Will existing utilities be interrupted and if so how and when. What is the notification requirement of existing residents for the future potential disruptions.
7. Trees – what to preserve and what to cut down?
8. Design of new manhole covers so infants and animals don't get their feet or paws caught?
9. Sq. footage of new homes? Sprinkler system required? New fire hydrant location?
10. Lot 7 plat looks irregular and smaller for the house.
11. Has the actual land been sold? I don't see any county record of this.
12. Expected value range of all 7 new homes? $0.50 MM +? Exterior? Brick or siding? New revenue generated vs. expected city/county expenditures?
13. Timing of project? Do you have buyers signed up already for new homes?
14. Future proposed ghost plat? Timing? What about the resident on 808 Randy Avenue? Is he part of this?
15. General Contractor and subs?
16. City bonding and licensing requirements.
17. PE stamp & signature missing on preliminary plat and grading/erosion drawing. I realize this is a preliminary drawing. Final needs seal of a licensed MN PE.
18. Existing insurance limits of builder and GC?
19. If this progresses, so will my list of questions based on available information.

August 21, 2016

Submitted by:
Thomas Fishlove
845 Gramsie Road
Shoreview, MN 55126
tfishlove@gmail.com
(651) 253-6086

0 Gramsie Road Proposed Development Request for Comments

(Questions based on letter from City and Drawings dated August 15, 2016 and from open house meeting with developer on August 17, 2016)

Summary of Requests and concerns

1. HOUSING/LOT DENSITY

The seven (7) lot width proposals of the new home sites are inconsistent with existing lot widths of 732-855 Gramsie Road – specifically 815, 825, 835, 845 & 855 Gramsie Road where existing lot widths are at one hundred (100) feet. The proposed plan, in my view, will change the character of the neighborhood for two reasons.

First, smaller lot widths in this location, regardless of what existing code allows, will increase the housing density on this part of Gramsie road and provide a "more crowded feel" than what Vivian Gardens was originally designed and what the neighborhood desires. **I would prefer a minimum 100' lot width requirement to match the current lot widths on Gramsie Road, specifically the existing lots north of this proposed tract.**

Second, the diversity of the proposed lot styles and setbacks will alter the character of the existing neighborhood as it is inconsistent with the existing homes lot sizes. Again, **I would prefer and propose a minimum 100' lot width requirement.**

2. ELEVATION OF PROPOSED HOMES

The highest elevation of the proposed housing tract shall not interfere with the existing views of the homes on the north side of the tract. 825, 835, 845 & 855 Gramsie Road all have 1 acre lots (0.97 acres to be exact) and have enjoyed the naturalistic views of trees and wildlife for more than 40 years. For example, my house has a front railed deck where my family has enjoyed, unobstructed, the view of trees, wildlife and nature since moving here. **I propose that the highest elevation of the seven new proposed lots not interfere with the southern views of 825-855 Gramsie Road (which are on the north side of this proposed tract.)**

3. PRESERVATION OF CHARACTER OF EXISTING NEIGHBORHOOD

All of the homes on Gramsie Road (west of Victoria) are unique in that there are no "cookie-cutter" style homes typical of many newer developments. Homes consist of one newer home (teardown and rebuilt), one home with an enlarged footprint, a brick rambler, etc. **I propose and request that each of the seven (7) new homes have unique and individual characteristics which differentiate themselves from one another in a manner consistent with the existing neighborhood.**

4. **ELECTRICAL SERVICE**

The developer stated at the open house on August 17th, 2016 that the existing electrical service is adequate and that no new sub-station or switchgear boxes will be required. If this is incorrect, where will new a new switch gear box or substation be located?

For the proposed homes, will new electrical lines be buried underground or tapped into existing overhead poles? Underground is preferred as the existing poles on the north side of the street are unsightly. I propose that this project include funds to remove the existing utility poles and replace them with buried lines. For example, 845 Gramsie Road has a pole in front of the house while 855 Gramsie Road had a pole removed and lines buried. This occurred before both current owners occupied their respective residences and I do not know its history. **I propose that this new project remove overhead lines on Gramsie Road west of Randy and replace them with buried lines to be consistent with modern housing developments as well as 855 Gramsie Road .**

5. **SWPPP (Storm Water Pollution Prevention Plan) during and post construction**

The proposed tract is currently 3.5 acres of "forest" which absorbs water during rain events. Seven (7) new houses will decrease or eliminate the ability of this tract to absorb stormwater, with the water being directed to the path of least resistance. The developer proposed a raingarden at the end of Gramsie where a current fire hydrant exists. The cumulative effects from each proposed housing pad should be calculated with a 50, 100, 250 and 500 year storm event to ensure that the existing residences as well as the proposed homes have adequate topography to handle these "atypical" events. What is the highest elevation of new land news versus current lots on the north side? This is regulated by municipal, county, state and/or federal laws though I did want to call it to the board's attention.

6. **Manhole Covers for Stormwater**

I propose that if any new stormwater drain inserts are required that they be designed to prevent small children and animals from having their limbs "caught" or injured. The existing drains, in my view, are a smidgen too wide and deep.

Nicole Hill <nhill@shoreviewmn.gov>

Gramsie Road Project - one additional item

1 message

Tom Fishlove <tfishlove@gmail.com> Mon, Aug 22, 2016 at 11:10 PM
To: nhill@shoreviewmn.gov

Hi Niki,

I have one additional item for the Planning Committee and City Council for the August 30th agenda which was brought to my attention from a neighbor. It is similar to the I-694 Road Construction currently ongoing. The **issue has to do with the trees and brush that need to be removed during the winter months to avoid disturbing long eared bats**. Tree removal during the winter prevents later habitat issues for the bats which are plagued by white-nose syndrome. **Long eared bats are listed as a threatened species under the Endangered Species Act.** I copied and pasted the MN DOT brief as well as the link for your convenience.

Thanks!
Tom

Metro - I-694 between Arden Hills and Little Canada: 2016-2017 construction

Preliminary work begins today on Enhance 694 project

If you're driving on I-694 this month between Rice Street in Little Canada and Lexington Avenue in Arden Hills, you'll notice construction crews busy clearing trees and brush along the interstate.

Crews will begin cutting and piling up trees along both sides of the roadway in preparation for the start of construction this spring. Clearing activities will be carried out from 7 a.m. to 5 p.m. Monday through Friday, and the work will not affect I-694 traffic.

In case you're wondering, the trees and brush need to be removed during the winter months to avoid disturbing long eared bats. Tree removal during the winter prevents later habitat issues for the bats which are plagued by white-nose syndrome. Long eared bats are listed as a threatened species under the Endangered Species Act.

Construction of a third general purpose lane on I-694 between Rice Street and Lexington Avenue will begin early this spring and will be complete by the fall of 2017.

For more information, visit the project website.

http://content.govdelivery.com/accounts/MNDOT/bulletins/1359c4a

August 22, 2016

To: Niki Hill, AICP

FR: Peaki and Oranuj Tan

Subj: Golden Valley Land Co. Proposal

Dear Mrs. Hill,

Our concerns and comments for the Planning Commission to consider on the subject matter are:

1. Varince to omit 15' wider or 15' deeper requirement to increase the number of lots for houses should not be approved.
2. Who is financially resposible for the infrastructure improvements required to support the new houses?
3. What is the targeted price of each lot? and what is the targeted price of the house and the lot?
4. Are the houses custom design? what is the approximated construction time? Image of proposed houses should fit the context of surrounding houses.
5. How does it affect the property tax of the existing houses around Gramsie Woods?
6. What are the wetland regulations, preservation, tree replacements etc of Gramsie Woods?
7. What is the surface water drainage rounted? retained? and managed?
8. What will be the impact on the wild animals of Gramsie Woods?

Sincerely,

Peaki and Oranuj

August 21, 2016

To: Shoreview Planning Commission

From: Marianne Lapadat, 799 Randy Ave, Shoreview, Mn. 55126

I Wish to voice my disapproval of the projected development presented to us for the development of the residential lots facing Gramsie Road in the number of 7 building lots from the normal of 5 buildable lots. All of the homes in our area are 85 ft in frontage and I believe this request conforms to the existing neighborhood.

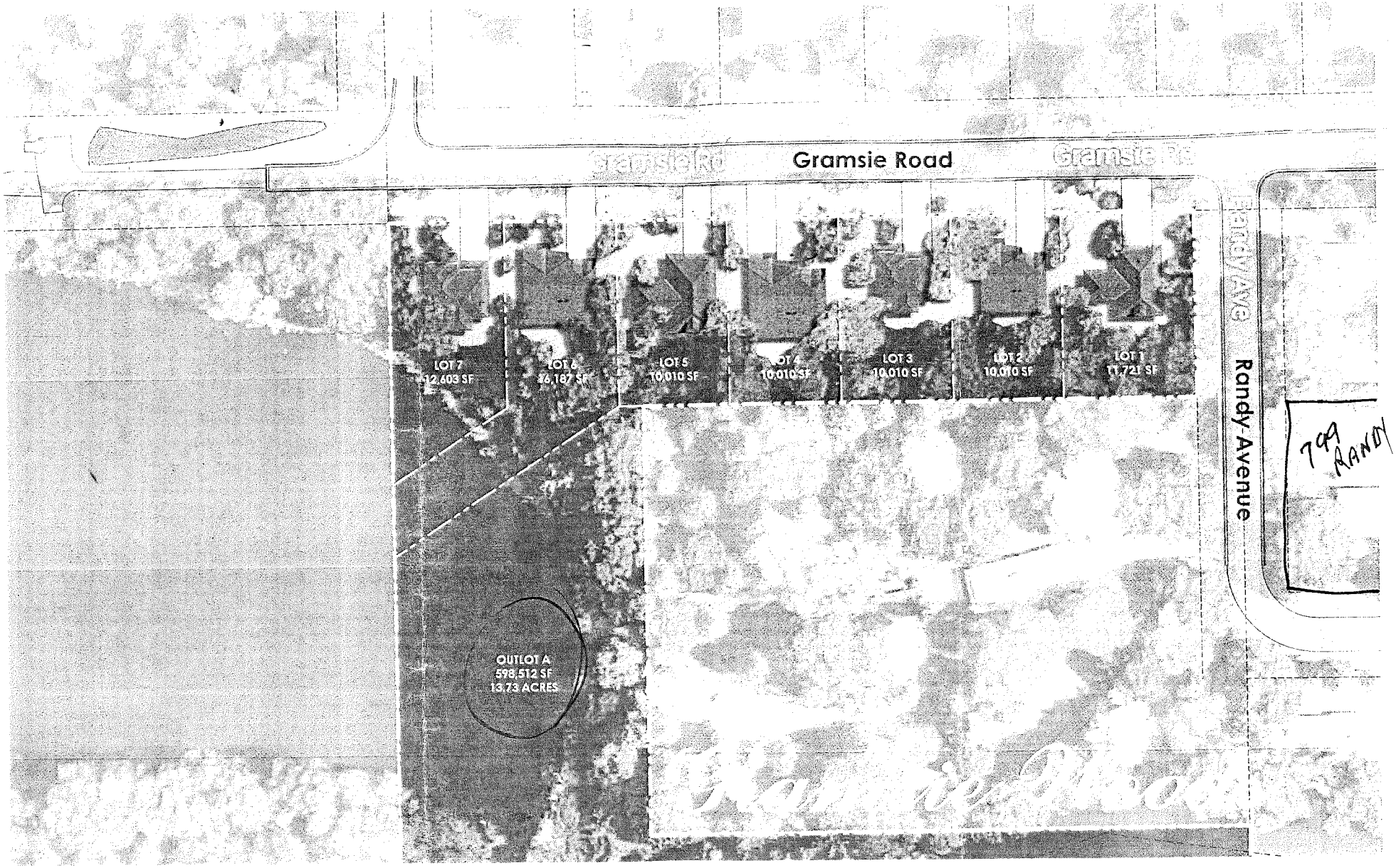
Because I have lived in this home for 47 years, I remember a similar request by the senior George Reiling many years ago (I don't remember exact date) but it was completely rejected at that time for the reasons I stated in my first paragraph, even though Mr. Reiling had already put in infrastucture without approvals necessary. Therefore I object completely to the variance requested by the developer. I do believe 5 lots of a larger size would probably attract homes of a greater value and bring the developer more money for the lots, and would be in accordance with the existing homes and lots in the area.

Also, as I am directly across the street from the Tan property which is showing a ghost plat for additional housing,I am cautiously considering what the future plans are for this parcel. The Peninsula parcel will definitely affect our lake enjoyment and I am afraid will only destroy the wild life and beauty of the area. We are already assaulted by freeway noise in this neighborhood and removing more trees and natural elements would adversely add to this problem. Our wish for Shoreview to address this problem with some sort of sound barrier or stand of trees still exists. The "ugly" freeway sign continues to blight our enjoyment of our neighborhood at this time . Would caution the city of Shoreview to think carefully before they allow this variance and any additional variances for these parcels of land.

I am very happy to be a resident of this wonderful community, and hope you continue to plan carefully for its future.

Marianne Lapadat

Marianne Lapadat



CivilSite
GROUP

To: Niki Hill, AICP, Economic Development and Planning Associate

The concerns of Mary W. Turner at 792 Randy Ave.

Development of property located at 0 Gramsie Rd: Pin 26.30.23.13.0027 and 26.30.23.13.0028

The proposed property to be subdivided into seven lots on Gramsie Avenue does not match the existing lots in the neighborhood. It would look as if they crammed as many homes into this property for profit, not to enhance the look of the neighborhood. Reducing the property to five lots, would blend with the neighborhood and add more value to the settings of the higher end homes the builders have planned.

The future proposed outlot property :

The only problem that concerns me is the peninsula outlot area south of the Tan property.

Right now the noise from the 694 highway is a problem for Randy and Gramsie avenues. We dearly need a sound barrier wall and/or added trees to help with this problem. With any development to this peninsula area will reduce trees and increase the noise level.

Also with this development, the digital billboard located next to the golf course that looms over the trees would be more visible. I can drive down Randy Avenue and the sign is right over my house. Like a UFO. Not cool.

Finally, there is an abundance of wildlife and wetlands in this area. We need to preserve our open space and save this for not only the animals but for ourselves.

Thank you for listening and to consider my suggestions.

Mary Turner
8/22/16

Comments: 1. Large Houses on small lots does not fit with the existing nature of the neighborhood. The houses will look crammed in. Lot width should match existing lots at 100'.

2. Development is too close to wetlands without proper buffer zone.

3. Proposed road over wetlands is probably illegal.

4. Sound wall was not built along northside of 694 because of natural sound barrier. That will be gone with development.

5. Has the DNR been contacted to check for protected bat species that were found along 694?

Name: DAVE + MARY O'NEILL
Address: 815 GRAMSIE ROAD

Tina and Jeff Moore 782 Randy Ave Shoreview, MN 55126

Niki Hill
Economic Development and Planning Associate
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

PRELIMINARY PLAT OF GRAMSIE WOODS

Dear Ms. Hill:

Thank you for requesting feedback on the proposed Gramsie Hill Development. We live at 782 Randy Avenue, in the neighborhood adjacent to the proposed Gramsie Woods development and have the following comments on the proposal:

- In general we have no objection to the seven-home development shown on the preliminary plat. However lot 6 and 7 appear very close to the water. I am assuming standard water setbacks will be enforced for this development.
- We have a number of concerns with the ghost plat.
    - If all of the plans come to fruition, the peninsula that extends into the lake which is directly across from our house would be developed. Right now the peninsula is covered with trees and foliage which is a natural block the freeway noise and some of the light from the ClearChannel sign. The removal of this vegetation and building of houses, we feel would further diminish the desirability of our property, already diminished by the ever present ClearChannel sign's light pollution.
    - The disturbance of the wetlands called out in a letter written to you by Joe Lux are also a concern of ours.

To summarize, we have no objection to the preliminary plat of Gramsie Woods, but serious objections to the ghost plat and request that the Planning Commission and City Council reject the ghost portion of the portion of the plan

If you would like to discuss these comments, I can be reached at 612-747-5980.

Sincerely,

Tina Moore

Tina Moore

C: Tom Simonson, Shoreview Community Development Director

Shoreview

Nicole Hill <nhill@shoreviewmn.gov>

Gramsie Woods –Planning Commission meeting 8/30

H Tan <keikirocki@gmail.com>
To: nhill@shoreviewmn.gov

Wed, Aug 24, 2016 at 10:43 PM

Good evening Ms. Hill,
Attached below are a few questions and comments I have in regards to the proposed development of Gramsie Woods by Golden Valley Land Co.

1. Please note that the proposed Gramsie Rd site is designated as Wetlands and Protected Waters by the Shoreview Comprehensive Plan Surface Water Management Plan of 2008. Please verify if/how the Federal, State, and County classifies Island Lake and the Gramsie site Wetland.
2. How will runoff be addressed with increased hard surfaces? The prepared Site Plan notes that if impervious surfaces are less than 40%, it will be drained into Island Lake. Is this permitted per City's Water Surface Management guidelines, Minnesota Wetland Conservation Plan, MN Department of Natural Resources, MN Board of Water and Soils Resources, Grass Lake Watershed Management, Shoreland Management Ordinance, and other Federal/State/County agencies since the property is adjacent to designated Wetlands and Protected Waters? If permitted, has the Developer contacted each of these agencies for confirmation?
3. What is considered impervious other than built structures—does it include sidewalks, driveways, patios, decks, tool sheds? Are these other impervious surfaces accounted for in the site plan and calculations? It appears only the building footprints are shown.
4. If determined that drainage into the lake is acceptable (if less than 50%) how will the Developer control the extent of impervious surface so it never exceeds 50%. What if the new homeowner requests additions such as decks, patios, garden shed, green house, 3-car garage, longer driveway,... and then exceeds 50%?
5. What drainage system is required if impervious surfaces exceeds 50%?
6. Why is the future development of the ghost plat indicated if not part of this proposal? Will it impact future access, infrastructure, drainage, erosion control, etc, when considering the new lots?
7. Would the City allow development on the peninsula and wetland area when the City has designated it as a Wetland/Protected Water/Sensitive area in the Shoreview Comprehensive Plan?
8. A smaller single family housing development (5 lots) was proposed to Shoreview Planning Commission on the same site years ago, but denied. Please forward the date of the previous submittal and reason for denial. Is the public able to access the file for additional information? Were there other proposals?
9. Can the Developer provide conceptual exterior elevations of the new homes?
10. Will all the homes be constructed simultaneously or only after the closing of each individual home?
11. If infrastructure upgrade is required, what segment of streets and utility easements will it affect and for how long until completed?
12. What are the tree replacement or landscape requirements?
13. Are there future plans to connect Gramsie Road to the west?

The existing wetlands, shorelines, and wildlife habitat must be protected from contamination and erosion. Once the area is developed, it can never be brought back to its natural state. Please assure that the Developer heeds all City, County, State and Federal requirements for protection of the wetlands. They are very precious commodities for Shoreview.

Thank you for your time and consideration,
H. Tan daughter of Mr. and Mrs. Tan
808 Randy Ave. Shoreview

Nicole Hill <nhill@shoreviewmn.gov>

Gramsie Woods –Planning Commission meeting 8/30

H Tan <keikirocki@gmail.com> Thu, Aug 25, 2016 at 8:07 AM
To: nhill@shoreviewmn.gov

Good morning Ms. Hill,

Can you add one last question to my list for the Planning Commission meeting?

If the intent is to drain the properties to the Lake, how will it be collected from all the new lots and routed to the Lake? If its surface drainage to the Lake, how will the properties be contoured/swaled to prevent water from draining into the Tan property or ponding in place?

Thank you,

H. Tan

[Quoted text hidden]

Future development of Gramsie and Randy Ave. Meeting on Aug. 30th

Comments: Will the development and the run off holding area cause Island Lake to drain off through the Rice Creek watershed slower, which in turn would raise the maximum heighth of Lake (higher than the maximum heighth the lake has been through the years since 1985)?

How will it affect the wild life like the bats and the Ospreys?

The future development of Out Lot A doesn't affect the Island Lake run off to the wet lands which goes into the Rice Creek Watershed.

Name: Greg Morey
Address: 800 Randy Ave.

EXTRACT OF MEETING MINUTES FOR THE SHOREVIEW, MINNESOTA PLANNING COMMISSION HELD AUGUST 30, 2016

* * * * * * * * * * * * *

Pursuant to due call and notice thereof, a meeting of the Planning Commission for the City of Shoreview, Minnesota was duly called and held at the Shoreview City Hall in said City at 7:00 p.m.

The following members were present:

And the following members were absent:

Member _____ introduced the following resolution and moved its adoption.

RESOLUTION NO. 16-79 TO WAIVE THE KEY LOT REQUIREMENTS FOR FIVE NEW KEY LOTS

WHEREAS, Peter Knaeble, Golden Valley Land Company has submitted a variance application for the following described property:

That part of the South Half of the Northeast Quarter of Section 26, Township 30, Range 23, Ramsey County, Minnesota, described as follows:

Commencing at the Northwest corner of the South Half of the Northeast Quarter of Section 26, Township 30, Range 23, running thence South to the Southwest corner of said South Half of the Northeast Quarter being the center of Section 26, thence East 20 rods to the Southwest corner of a certain 30 acre tract conveyed by Simon and Anna Marleski to Paulina Hamerick by deed dated October 15, 1881 in "101" of Deeds, page 321; thence North on the West line of said last mentioned tract 34 2/7 rods to the Northwest corner of the tract so deeded to Paulina Hamerick, thence East on the North line of land so deeded to Paulina Hamerick to the center line of public

highway running North and South through middle of said South Half of the Northeast Quarter of said Section 26, thence North along middle of said highway to the North line of said South Half of the Northeast Quarter, thence West along the North line of said South Half of the Northeast Quarter to the Northwest corner thereof, and the point of beginning, intending to convey land described in "247" of Deeds, page 62.

Except the following three tracts of land:
Tract One:
e-016,13;Commencing on the North and South Quarter Section line of Section 26 distant 565.71 feet North of the center of said Section, thence Easterly parallel with the East and West Quarter Section line to the center line of Victoria Street being the point of beginning of land to be described; thence Northerly along the center line of Victoria Street 120 feet, thence Westerly and parallel with the East and West Quarter Section line 888.24 feet; thence Southerly and parallel with the North and South Quarter section line 120 feet, thence Easterly 890.33 feet to the point of beginning, subject to Victoria Street, which was conveyed to Clifford Ingwell by a Warranty Deed dated July 19, 1954, and recorded in "1454" of Deeds, page 115.

Tract Two:
All that part of the South 1/2 of the Northeast Quarter Section 26, Township 30, Range 23, lying Westerly of the center line of Victoria Street, except the West 585.42 feet and except the South 685.71 feet thereof, subject to Victoria Street, entitled: "Island Lake Hills".

Tract Three:
The South 300 feet of the North 470 feet of the East 412.42 feet of the West 585.42 feet of the Southwest Quarter of the Northeast Quarter of Section 26, Township 30, Range 23, subject to an easement for road purposes over the East 30 feet thereof, which was conveyed by Warranty Deed to Leland A. Holm and Barbara L. Holm, husband and wife, dated May 12, 1955 and recorded in "1498" of Deeds, page 47.

And
That part of the South 565.71 feet of the East 2310 feet of the Northeast Quarter (NE 1/4) of Section 26, Township 30 North, Range 23 West, lying West of a line described as follows: Commencing at the East Quarter (1/4) corner of said Section, thence West along the South line of said Northeast Quarter (NE 1/4) of said Section a distance of 1902.45 feet; thence deflecting 90° right for a distance of 565.71 feet and there terminating; subject to trunk highway 694-393, and except Parcel 251B of trunk highway 694-393, according to the U.S. Government survey thereof on file and of record in the office of the Register of Deeds in and for Ramsey County, Minnesota.
Abstract Property
(Property PID numbers: 26-30-23-13-0027; 26-30-23-13-0028;
Future lots: Lot 1-5, GRAMSIE WOODS, Ramsey County, Minnesota)

WHEREAS, the Development Regulations require a key lot additional 15 feet of depth or 15 feet of width to a property; and

WHEREAS, the applicants have requested a variance to this requirement; and

WHEREAS, the Shoreview Planning Commission is authorized by state law and the City of Shoreview Development Regulations to make final decisions on variance requests.

NOW, THEREFORE, BE IT RESOLVED BY THE SHOREVIEW PLANNING COMMISSION, that the variance request submitted by Peter Knaeble, Golden Valley Development be approved on the basis of the following findings of fact:

1. *Reasonable Manner. The property owner proposes to use the property in a reasonable manner not permitted by the Shoreview Development Regulations.* The proposed construction of a seven lot single family home subdivision meets the standard R1 Single Family Detached zoning regulations lot size and width requirements and is a reasonable use of the property.

2. *Unique Circumstances. The plight of the property owner is due to circumstances unique to the property not created by the property owner.* Unique circumstances stem from the the intent of the Key Lot Requirements to mitigate the impact on those lots who abut the side/rear lot lines of a key lot. In this case the existing home on the adjoinging parcel at 808 Randy Ave is greater than 150' feet from the existing rear lot line. In addition, any future development would change the lots from key lots to standard lots as the rear lot lines would be abutting. Requiring additional width or depth would not serve a purpose to mitigate as there would be little to no impact on the adjoining property.

   Additionally, the right of way area is larger than a standard City lot. Gramsie Road was originally a County road which was given back to the City of Shoreview – which is why the width is 80 feet.

3. *Character of Neighborhood. The variance, if granted, will not alter the essential character of the neighborhood.* The proposed subdivision would meet the required subdivision standards of an R1- Detached Residential District. This is the same zoning as the surrounding neighborhood so the character of the neighborhood would not be altered.

NOW, THEREFORE, BE IT FURTHER RESOLVED BY THE SHOREVIEW PLANNNING COMMISSION that the variance requested by Golden Valley Land, Co. be approved subject to the following conditions:

1. This approval is subject to approval of the Preliminary Plat application by the City Council.
2. A minimum setback of 40-feet from the South (rear) lot line is required for the principal and accessory structures developed on Lots 1-5.
3. This approval will expire after one year if the subdivision has not been recorded with Ramsey County.
4. The approval is subject to a 5-day appeal period.

The motion was duly seconded by Member _____ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Adopted this 30th day of August 2016.

_____
John Doan, Chair
Shoreview Planning Commission

ATTEST:

SEAL

_____
Niki Hill, AICP
Economic Development and Planning Associate

ACCEPTANCE OF CONDITIONS:

_____
Peter Knaeble, Golden Valley Land Co.

STATE OF MINNESOTA)
)
COUNTY OF RAMSEY)
)
CITY OF SHOREVIEW)

I, the undersigned, being the duly qualified and acting Manager of the City of Shoreview of Ramsey County, Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a meeting of said City of Shoreview Planning Commission held on the 30th day of August, 2016 with the original thereof on file in my office and the same is a full, true and complete transcript there from insofar as the same relates to adopting Resolution No. 16-79.

WITNESS MY HAND officially as such Manager and the corporate seal of the City of Shoreview, Minnesota, this 30th day of August, 2016.

_____
Terry C. Schwerm
City Manager

SEAL

PROPOSED MOTION

MOVED BY COMMISSION MEMBER _____

SECONDED BY COMMISSION MEMBER_____

To adopt Resolution 16-79 approving the variances to waive the Key Lot requirements for Lots 1-5 and to recommend the City Council approve preliminary plat and rezoning submitted by Peter Knaeble, Golden Valley Land Co. to subdivide and develop the property at 0 Gramsie Road into 7 lots for single-family detached homes and 1 outlot for future development in the south. Said recommendation for approval is subject to the following conditions.

Rezoning

1. A Development Agreement must be executed prior to the City's issuance of any permits for rezoning.

2. Rezoning is not effective until approvals are received for the Final Plat, the development agreements executed.

3. This approval rezones the property from UND, Urban Underdeveloped to R1, Detached Residential.

Preliminary Plat

1. The approval permits the development of a detached residential subdivision providing 7 lots for single family residential development and 1 outlot for future development.

2. Final grading, drainage and erosion control plans are subject to the review and approval by the Public Works Director prior to approval of any permits or the Final Plat. Concerns identified by the City Engineer shall be addressed with the Final Plat submittal.

3. Final utility plans are subject to review and approval by the Public Works Director.

4. Comments identified in the memo dated August 23, 2016 from the City Engineer shall be addressed with the Final Plat submittal.

5. A Development Agreement, Erosion Control Agreement shall be executed and related securities submitted prior to any work commencing on the site. A Grading Permit is required prior to commencing work on the site.

6. A Public Recreation Use Dedication fee shall be submitted as required by ordinance prior to release of the Final Plat.

7. The landscape/tree-replanting plan shall be provided in accordance with the City's Tree Protection Ordinance. Trees on the property, which are to remain, shall be protected with construction fencing placed at the tree driplines prior to grading and excavating. Said plan shall be submitted for review and approval by the City Planner prior to submittal of the final plat application.

8. The Final Plat shall include drainage and utility easements along all property lines. Drainage and utility easements along the roadways shall be 10 feet wide and 5 feet wide along the side and rear lot lines. Other drainage and utility easements shall be provided over the proposed bio-filtration area, future public infrastructure and as required by the Public Works Director.

9. The developer shall secure a permit from the Rice Creek Watershed District prior to commencing any grading on the property.

Variances

1. This approval is subject to approval of the Preliminary Plat application by the City Council.

2. A minimum setback of 40-feet from the South (rear) lot line is required for the principal and accessory structures developed on Lots 1-5.

3. This approval will expire after one year if the subdivision has not been recorded with Ramsey County.

4. This approval is subject to a 5-day appeal period.
10.

VOTE:

AYES:

NAYS:

TO: Planning Commission

FROM: Kathleen Castle, City Planner

DATE: August 26, 2016

SUBJECT: File No. 2631-16-30; Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Planned Unit Development – Development Stage Amendment, Elevage Development Group, LLC/Elevage Shoreview Holdings, LLC – 3527 Rice Street

Introduction

Earlier this year, Elevage Development Group, LLC/Elevage Shoreview Holdings, LLC (EDG) received approval to redevelop several properties located at the northwest corner of Rice Street and County Road E with a mixed-use development. This proposed development, the McMillan, consists of a 5-story mixed use building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. Access to the building is provided from County Road E and leads to an off-street parking lot and below grade parking structure.

The approved development also includes fourteen townhomes on the western part of the redevelopment site along Rustic Place.

During the review process, EDG was in negotiations with the property owners immediately to the north at 3527 Rice Street. EDG has since acquired the property and is now seeking approvals to incorporate this property into the development. The intended use for this property is parking. The submitted applications include:

1) Comprehensive Plan Amendment: Changing the land use from RL, Low Density Residential to MU, Mixed Use
2) Rezoning: Changing the zoning designation from R1, Detached Residential to PUD, Planned Unit Development
3) Preliminary Plat: Incorporate this property into the Elevage First Addition Plat
4) PUD – Development Stage Amendment: To add this property into the mixed-use high-density multi-family residential and commercial planned unit development and amend the parking plan

The application was complete on August 17, 2016.

Project Summary

The approved redevelopment site includes four properties located at the intersection of Rice Street and County Road E, north of Interstate 694. Existing land uses include a one-story 34,887 square foot shopping center built in 1957, and three other parcels that were previously used for single-family residential. This redevelopment site has approximately 4.2 acres with frontage on Rustic Place, Rice Street and County Road E. The redevelopment plan consists of a 5-story mixed use building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. This structure is designed as an "L" shaped building located in the southeastern corner of the property oriented towards the Rice Street/County Road E intersection. Access to an off-street

parking lot and below grade parking structure which provides a total of 234 parking stalls is provided from County Road E.

Fourteen townhomes are also proposed on the western part of the redevelopment site. Access to the townhomes is proposed off County Road E and Rustic Place.

EDG is proposing to modify the approved parking plan by adding the 3527 Rice Street property to the project and construct a surface parking lot while reducing the number of parking stalls provided in the below grade parking stalls. This property has a lot area of 28,314 square feet and 100 feet of frontage on Rice Street. It is developed with a single-family home that was constructed in 1952.

Please see the attached statement and submitted plans.

Staff Review

The submitted applications have been reviewed by Staff in accordance with the Comprehensive Plan and Development Code. The primary focus of the review for the Comprehensive Plan Amendment and Rezoning pertains solely to the 3527 Rice Street property while the Preliminary Plat and PUD – Development Stage Amendment addresses the incorporation of this parcel into the larger development site. Key issues associated with each application are addressed.

Comprehensive Plan Amendment

In accordance with Section 203.053 (D), the City Council needs to consider the following when reviewing a Plan amendment:

(1) The site and the characteristics of adjoining planned land uses;
(2) Probable building mass differences;
(3) Traffic generation;
(4) Separation to dissimilar land uses;
(5) Carrying capacity of the site (sewer, water, access, topography, etc.), and
(6) Buffering potential of dissimilar but adjoining land uses

The City Council may grant or deny the amendment based on 4/5ths majority vote of the Council

Attachment A summarizes the Comprehensive Plan policies related to this site as well as other planning efforts the City has undertaken to address redevelopment near the Interstate 694/Rice Street interchange.

This property is not located in a Policy Development Area (PDA), however, PDA #18, Rice Street Crossings states that the large residential lots north of this PDA could draw redevelopment interest due to the roadway improvements and other land use changes. The City prefers that this area retain its residential designation until a redevelopment proposal is submitted for this area. Any change in land use will then require an amendment to the comprehensive plan and zoning designation.

The applicants are requesting an amendment to the Comprehensive Plan changing the existing RL, Low Density Residential land use designation to MU, Mixed Use. Due to the mixed use nature of the adjoining property, the relationship of the property to the approved development and proposed incorporation of the property into the plat and PUD, the staff believes a MU, Mixed Use land use

designation is appropriate. The MU designation permits a variety of land uses, including vertical mixed residential and commercial land use.

The planned land uses of the adjoining property in Shoreview include RL, Low Density Residential (0-4 units per acre) to the north and west, and MU, Mixed Use and Commercial to the south. Interstate 694 is also located immediately to the south of the development site. East, in the City of Vadnais Heights, land uses include commercial, office and low density residential.

The incorporation of this property into the adjoining PUD is reasonable due to its proximity to the redevelopment site and adjacency to Rice Street. Existing language in the Comprehensive Plan anticipates potential land use changes in the Rice Street corridor. The integration of the property into the site and proposed use allows a modest overall increase in parking while maintaining a separation between the proposed apartment building and single-family residential uses. With the additional land area, site design elements can be utilized to preserve the integrity of the adjoining low density residential land uses.

Rezoning

EDG is requesting the property be rezoned from R1, Detached Residential to PUD, Planned Unit Development.

In accordance with Section 203.052 (C), the City Council needs to consider the following criteria (italics) when reviewing a rezoning request. Staff's review also follows each of the individual criteria.

1) *That the proposed rezoning is consistent with the policies of the Comprehensive Plan and with the general purpose and intent of the development regulations.*

   EDG is seeking a Comprehensive Plan Amendment to change the designated RL, Low Density to MU, Mixed Use. The preceding section provides information on the plan amendment.

2) *That the development facilitated by the proposed rezoning will not significantly and adversely impact the planned use of the surrounding property.*

   The rezoning of this property to PUD for the mixed use development will not significantly and adversely impact the planned use of the surrounding property. Significant and adverse impacts are evaluated by reviewing the effect the proposed rezoning and subsequent development will have on the transportation system, stormwater management, municipal sewer and water service and the environment. The incorporation of the property into the adjoining mixed use redevelopment will not have a significant impact on the nearby single-family residences.

   With the PUD District, the City has the ability impose conditions that mitigate development impacts. This will be reviewed further with the amendment to the PUD.

3) *The developer is willing to enter into a rezoning/development agreement with the City.*

   As a condition of approval, the developer will be required to enter into a development agreement with the City.

Preliminary Plat
EDG is proposing to amend the plat previously approved for this development, Elevage First Addition, by combining the 3527 Rice Street parcel into Lot 2. This plat consists of two parcels. Lot 1 has been designated for the townhome use and Lot 2 for the mixed use building.

The preliminary plat has been reviewed in accordance with the City's subdivision standards (Section 204). The block and lot layout are defined by the different land uses with the townhomes located on one parcel and the mixed use building located on a second parcel. Drainage and utility easements will be provided over stormwater infrastructure and along parcel lines as required by the City Engineer. Municipal utilities are currently present and will serve the redevelopment.

Planned Unit Development – Development Stage
The Planned Unit Development (PUD) process is used to encourage or provide flexibility, creativity, and innovation in the planning and design of development to achieve a variety of objectives related to the Development Code and the City's land use and housing goals.

Amendments to a PUD are processed in the same manner as a new application. The PUD Development stage, the detailed site development and subdivision plans are presented to the City for public review. A 4/5 majority vote is required for approval by the City Council. The third and Final stage of the PUD is reviewed by the City Council and provides the City with the opportunity to review the plans for consistency with the Development stage approval. Development agreements are also drafted and executed at this stage.

Planned Unit Development Review Criteria
The proposed development needs to satisfy certain objectives in order to be approved through the PUD process. Objectives met by this proposal includes; Comprehensive Plan consistency, high-quality building design, enhancement of public infrastructure, improved stormwater management, housing choice, elimination of a blighted structure, and land use compatibility.

Land Use and Development Issues
The land use and development issues relate to the development of the 3527 Rice Street property with parking and the proposed amendment to the parking plan. As with the original proposal, code flexibility is needed for the proposed parking plan. The project has been reviewed in accordance with the R3, Multiple Dwelling Residential District (Lot 2) and the R2, Attached Residential District (Lot 1) which will be the underlying zoning districts for the PUD.

Parking and Access

Mixed use building – Lot 2
The City's Development Code requires a minimum 2.5 stalls per unit in the R3 zoning district with one stall fully enclosed (Section 206.020 (B1g) and 5.5 stalls per 1,000 square feet of net floor area in the C1 district (Section 206.020 (B1a). Restaurants require 1 stall per 3 seats based on the maximum design capacity of the building (Section 206.020 (B2f)).

Access to the parking lot will remain solely from County Road E. The access driveway shown on Rice Street is intended for emergency vehicles only. The design of this driveway will need to be modified in accordance with Ramsey County's requirements.

The following table summarizes the proposed parking and Development Code requirements:

	Code Requirement	**Proposed Parking**	**Previously Approved Parking**
Lot 1 – Mixed Use Structure	***Total = 373*** Residential - 2.5 stalls per unit = 335 Commercial – 5.5 stalls per net floor area (2,080 sf) = 11.4 Restaurants – 1 stall per 3 seats (80 seats) = 26.6	***Total: 280 stalls*** Surface parking lot – 137 stalls Underground parking structure – 143 stalls Residential: 239 (1.78 stalls per unit) Commercial/Restaurant: 41 stalls	***Total: 274 stalls*** *Proof of Parking – 8 stalls* Surface parking lot – 79 stalls Underground parking structure – 195 stalls Residential: 233 (1.74 stalls per unit) Commercial/Restaurant: 41 stalls

The number of parking stalls proposed is 280 and slightly exceeds the parking plan previously approved which provided 274 stalls. While there has been a reduction in the number of stalls provided below-grade, the fully enclosed ratio of 1:1 required by the City Code is met. Again, the City Code requires 373 stalls and a deviation was previously approved with the original development plan.

The proposed parking ratio increased slightly to 1.78 stalls per unit and is consistent with the previous approval. The parking lot is accessed via one entry driveway off of County Road E. The plan has been revised to provide an emergency vehicle access lane north of the building connecting to Rice Street.

During the previous review of this project, concerns were expressed regarding the parking and whether or not the parking provided was sufficient to meet the demand due to the mixed use nature of the project. Although there is small net increase of parking stalls, there is a significant gain in surface parking stalls with 52 additional parking stalls. This increase alleviates some concern related to the overall needs of the commercial/restaurant use when combined with the needs for the apartment complex.

Landscaping is also required to screen the parking areas, provide visual relief and shade (Section 206.060 (A)). The setback of the parking lot from the northern property line is 24'and from the western property line is 34' exceeding the minimum 20-foot setback required.

Townhomes – Lot 1
No changes are proposed to the approved access or parking for the townhome units.

Grading
The topography of the property will be modified to accommodate the proposed parking lot. The existing grade elevation ranges from 924.24' near Rice Street to 927' near the home. The grade elevation for the parking lot expansion ranges from 928' at the northwest corner of the parking to 926 near Rice Street. This is slightly lower than the proposed 929' first floor elevation of the mixed use building.

The adjoining single-family properties are generally at lower grade elevations. Landscape screening is required to mitigate the visual impacts.

Stormwater Management
In accordance with Section 205.084 (C4), the maximum impervious surface coverage permitted is 70% provided best management practices are used. The previously approved impervious surface coverage of 57% will increase to 61.8% with the additional surface parking lot. The impervious surface coverage for Lot 1 is 58.3% and for Lot 2 is 63%.

The property is located in the Ramsey Washington Metro Watershed District. The District has the permitting authority for stormwater management. Any change to the stormwater management plan will need to comply with the District guidelines for rate and quality control.

Stormwater management from the expanded parking area is being directed to catch basins within the parking lot that tie into the stormwater infrastructure previously approved for the development site. This stormwater then discharges into the City's infrastructure located in Rustic Place.

Vegetation, Woodlands and Landscaping
Landmark trees removed as a result of the parking lot expansion are subject the City's tree replacement requirements. Additional information is needed regarding the number of landmark trees that will need to be removed. In the event replacement trees cannot be provided on the development site, a financial contribution is required to the City's forestry fund.

There is existing vegetation along the south side of the parking lot that will be retained and provide screening of the parking lot. Landscaping provided along the northern and western property line has been enhanced to screen the parking lot from view of the neighboring single-family residential properties. The previous PUD approval did require a 6-foot tall fence along the boundary of the residential property at 3520 Rustic Place. This requirement is still effective. Staff is recommending additional fencing along northern and western boundaries adjacent to the single-family residential land uses.

Public Comment and Agency Review
Property owners in the Rustic Place neighborhood and those on Rice Street in the City of Vadnais Heights were notified of the proposal. Public notice was also published in the City's legal newspaper.

The City received comments from a number of property owners expressing concern regarding the proposed development. These concerns generally relate to the need for the additional parking, impact on the adjoining single-family homes, landscaping and screening, snow storage and on-street parking. These comments are attached.

Karen Scheffing, Minnesota Department of Transportation, provided comments regarding the proposed plat and permitting requirements.

Nate Berg, Lake Johanna Fire Marshall, provided comments regarding the proposed access off of Rice Street.

Erin Laberee, Ramsey County Traffic Engineer, also provided comments related to the proposed driveway design of Rice Street.

Recommendation

The submitted plans were reviewed in accordance with the City's development standards. The staff believes the proposed development is consistent with Shoreview's land use and housing policies and meets the criteria for the Comprehensive Plan Amendment, Rezoning and PUD. Incorporating this parcel into the mixed-use residential and commercial development will provide off-street parking for the proposed uses. Impacts of the proposed parking lot are mitigated through the increased setbacks from adjoining properties and landscaping.

The staff is asking the Planning Commission to hold the public hearing and recommend the City Council approve the applications with the following conditions attached.

Comprehensive Plan Amendment

1. The amendment changes the land use designation from RL, Low Density Residential to MU, Mixed Use.
2. Review and approval of the amendment by the Metropolitan Council.
3. The amendment will not be effective until the City grants approval of the Final Plat and PUD - Final Stage requests and the development agreements are executed.

Rezoning

1. This approval rezones the property from R1, Detached Residential to PUD, Planned Unit Development.
2. The underlying zoning district for this parcel is R3, Multi-Dwelling Residential as it will be part of Lot 2 for the mixed-use apartment complex.
3. Rezoning is not effective until approvals are received for the Final Plat, PUD - Final Stage and development agreements executed.

Preliminary Plat

1. A public use dedication fee shall be submitted as required by ordinance prior to release of the final plat by the City.
2. The final plat shall include drainage and utility easements along the property lines. Drainage and utility easements along the roadways shall be 10' wide and along the side lot lines these easements shall be 5' wide. Other easements shall be dedicated as required by the Public Works Director.

3. Private agreements shall be secured between the parcels in the subdivision regarding the maintenance of shared facilities. Said agreements shall be submitted to the City Attorney for review and approval prior to the City's release of the Final Plat.
4. Comments received from the State of Minnesota shall be addressed in the Final Plat submittal.
5. The Final Plat shall be submitted to the City for approval with the Final Stage PUD application.

Planned Unit Development – Development Stage

1. This approval amends the previous PUD approved for the redevelopment of 157 County Road E, 185 County Road E, 3521 Rice Street and 3500 Rustic Place with a mixed use development consisting of a 5-story building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. Fourteen townhomes are also planned. The approved conditions and Development Agreements remain in effect. See Planning Case File 2611-16-10.
2. Access to the expanded parking lot shall be provided via the driveway off County Road E. The proposed driveway off of Rice Street shall be designed for Emergency Vehicle access only per the requirements of Ramsey County.
3. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director is required, prior to submittal to the City of applications for Final Plat and PUD – Final Stage. Final plans shall identify site construction limits and the treatment of work (i.e. driveways, parking areas, grading, etc.) at the periphery of these construction limits.
4. The developer shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
5. A financial contribution to the City's Forestry fund is required since the number of required tree replacements cannot be accommodated on the development site.
6. The applicant is required to enter into an Amendment to the Site Development Agreement and Erosion Control Agreement with the City which addresses the expansion of the parking lot. Said agreements shall be executed prior to the issuance of any permits for this project.
7. This approval shall expire after two months if the Planned Unit Development - Final Stage application has not been submitted for City review and approval, as per Section 203.060 (C)(6).

Attachments

1. Attachment A – Planning Efforts
2. Location Map
3. Zoning Map/Planned Land Use Map
4. Approved Development Plan, April 18, 2016
5. Applicant's Statement and Submitted Plans
6. Email - Nate Berg, Fire Marshall, LJFD
7. Correspondence from Erin Laberee, Ramsey County Public Works
8. Correspondence from Karen Scheffing, MNDOT
9. Public Comments received
10. Motion

ATTACHMENT A
COMPRHENSIVE PLAN/PLANNING EFFORTS

The Comprehensive Plan (weblink - http://www.shoreviewmn.gov/government/comprehensive-plan-test) designates the property as RL, Low Density Residential.

This property is near Policy Development Area #18, Rice Street Crossings and Vicinity. Policy Development Areas (PDA's) present opportunities or pose significant concerns for development or redevelopment. Through the use of the PDA concept, the City has established more specific land use policies that address the individual circumstances found within the PDA. In accordance with the PDA #18, the commercial parcel has a land use designation of Commercial and O, Office. The C designation recognizes and allows for commercial uses while the O designation, suggests this area may also be suitable for office use due to the proximity to the highway and adjoining residential neighborhood. The Plan does recognize that the large residential lots adjacent to this should retain the RL, Low Density Residential Designation until a redevelopment application is received. The submitted application is requesting an amendment to change the land use of this property to MU, Mixed Use.

Chapter 6, Economic Development, also identifies the commercial property as a Targeted Redevelopment Area, TRA #2. One of the key issues identified relates to the appropriate land use for this property because it adjoins a low density residential neighborhood.

Chapter 7, Housing, include goals that address redevelopment and housing. Since there are limited opportunities for development, the plan recognizes that redevelopment is vital to meet the life-cycle housing needs of the community and diversify the housing supply. The Plan also recognizes that existing conditions and neighborhood character need to be considered when reviewing infill and redevelopment proposals.

Other Planning Efforts

Since the Rice Street/I694 interchange area was identified as both a PDA and TRA, this area was included in the Highway Corridor Transition Study which was completed earlier this year. The recommendations of this study include updating the PDA and expanding potential uses to include high density residential as well as buffer requirements for the adjacent single-family neighborhood. In addition, the creation of a Mixed Use district was recommended to allow a mixture of uses within a development project including commercial, office, high-density residential and live-work units.

The Economic Development Authority also included the Rice Street/I694 interchange area in their 2015/2016 workplan. This plan calls for continued efforts to address the transportation infrastructure issues for the interchange area as well as looking at options for the redevelopment of the commercial center.

Shoreview's Housing Action Plan recognizes that new rental housing opportunities are needed to expand housing choice and attract younger households (weblink - http://www.shoreviewmn.gov/home/showdocument?id=1294).

MapRamsey

Elevage Development Group, LLC-3527 Rice Street

400.0 0 200.00 400.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

© Ramsey County Enterprise GIS Division

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

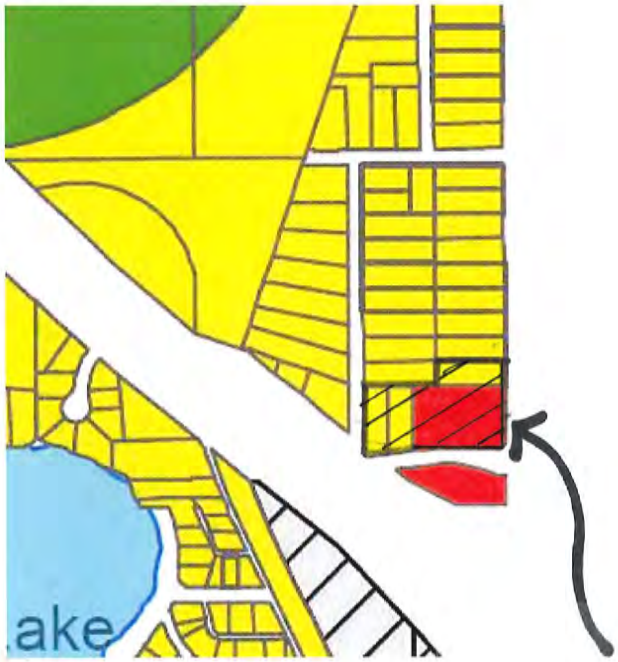
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries

Notes

Zoning Map

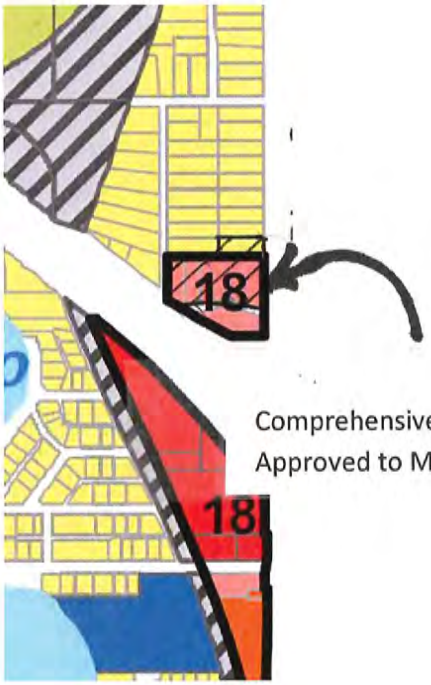


Legend

- RE - Residential Estate
- R1 - Detached Residential
- R2 - Attached Residential
- R3 - Multi-Dwelling Residential
- R4 - Mobile Home Residential
- C1 - Retail Service
- C2 - General Commerical
- OFC - Office
- I - Industrial
- T - Tower
- OS - Open Space
- PUD - Planned Urban Development
- UND - Urban Underdeveloped
- BPK - Business Park
- Open Water

Rezoning approved to PUD

Comprehensive Plan Land Use Map



Comprehensive Plan Amendment Approved to MU

Legend

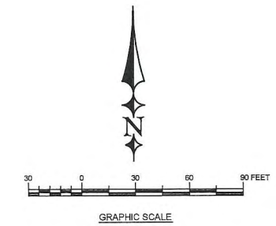
- PDA Boundaries

Planned Land Use

- Residential (up to 4 units/acre)
- Residential (4 - 8 units/acre)
- Residential (8 - 20 units/acre)
- High Density Senior Residential
- Office
- Commercial
- Mixed Use
- Business Park
- Tower
- Light Industrial
- Institutional
- Park
- Recreational Open Space
- Natural
- Railroad
- Open Water

APPROVED DEVELOPMENT PLAN

APRIL 18, 2016



LEGEND:

- EXISTING BOUNDARY
- PROPOSED CONCRETE SIDEWALK/APRON
- PROPOSED BITUMINOUS PAVEMENT
- (9) SURFACE PARKING STALL COUNT (TOTAL PROPOSED = 89)
- (9) SURFACE PROOF OF PARKING STALL COUNT (TOTAL PROPOSED = 8)

KEYED NOTES:

1
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14

LAYOUT NOTES:

SURFACE AREA ANALYSIS

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Stillwater, Minnesota 55082
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DRAWING PHASE:

	OWNER REVIEW
✓	AGENCY REVIEW
	BID DOCUMENT
	PERMIT SET
	AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE
40418
LICENSE NO.
FINAL PUD
DATE:

OWNER/DEVELOPER
ELEVAGE DEVELOPMENT GROUP, LLC
10901 Baltimore St. NE
Blaine, Minnesota 55449

PROJECT TITLE
THE MCMILLAN
157 COUNTY ROAD E. W.
SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
LAYOUT PLAN

SHEET NO.
C2
SHEET 2 OF 6

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ENTREPARTNER

Michael J. Mergens
mike@entrepartnerlaw.com
Direct: (612) 207-5660

July 27, 2016

CITY OF SHOREVIEW
c/o Kathleen Castle
4600 Victoria Street North
Shoreview, Minnesota 55126

Re: 3527 Rice Street, Shoreview, MN 55126 (the "Property")

Kathleen:

On behalf of ELEVAGE DEVELOPMENT GROUP, LLC ("**EDG**") and its wholly-owned subsidiary ELEVAGE SHOREVIEW HOLDINGS, LLC ("**ESH**"), I submit this narrative in support of the applications for an amendment to the existing PUD/Site Development Agreement and the existing Final Plat for The McMillan, along with the requests to rezone the Property from R-1 to PUD with a corresponding amendment to the Comp Plan (collectively the "Applications").[1] This letter offers additional information required for each application

1. Intent of the Applications

The Property abuts and sits immediately north of the exiting 4 parcels ("Elevage First Addition") that comprise the mixed-use redevelopment to be known as The McMillan (the "Project"), which is subject to a Site Development Agreement ("Site Agreement") between the City of Shoreview (the "City") and EDG as well as a Development Agreement ("TIF Agreement") between the City and EDG. At the time the parties entered into both the TIF Agreement and the Site Agreement, there were ongoing discussions between the former owners of the Property for ESH to acquire the Property for the purpose of including the land as part of the Project. ESH has closed on its acquisition of the Property and now seeks to add the Property to the Project.

EDG has looked at a number of options to make use of the Property and has determined that the best use of the Property is to add surface parking while reducing below ground parking garage for the mixed-use building (townhomes are unaffected). As shown on the proposed site plan, 50 parking stalls will be constructed on the Property bring the total surface parking for the Project (excluding the townhomes) to 137 stalls. With the expanded surface parking, the costly below grade parking is reduced to 143 stalls for a combined total parking on the "mixed use" parcel of 280 stalls. This is a net increase of 6 stalls from what is currently approved.

The access point to Rice Street on the Property that is shown on the site plan will available for emergency vehicles only with "knockdown" poles to prevent general use by the public. We have provided a 20foot setback from the residential parcel to the north along with

[1] The undersigned is an owner, officer, and governor of EDG.

appropriate screening along both the northern and western edges.

EDG believes surface parking is the correct use of the Property because it will have minimal impact on the neighboring residential properties. The northern and western property lines will be substantially screened with landscaping and there will be no increase in shadows cast on any neighboring property.

With more surface parking, the gross square feet of underground parking is reduced from 69,881 GSF to 52,707 GSF and the overall building gross square footage is reduced from 228,753 GSF to 210,585 GSF. The existing stormwater management plan will accommodate the increased impervious surface area.

2. Listing of Persons Responsible for the Plans –

Architect:
Aaron Roseth
Elness Swenson Graham Architects
500 Washington Avenue South
Minneapolis, MN 55415
p: 612.339.5508

Civil:
Todd A. Erickson, PE
Erickson Civil
333 North Main Street, Suite 201
Stillwater, MN 55082
p: 612.309.3804

3. The Applications Are Consistent with City Goals

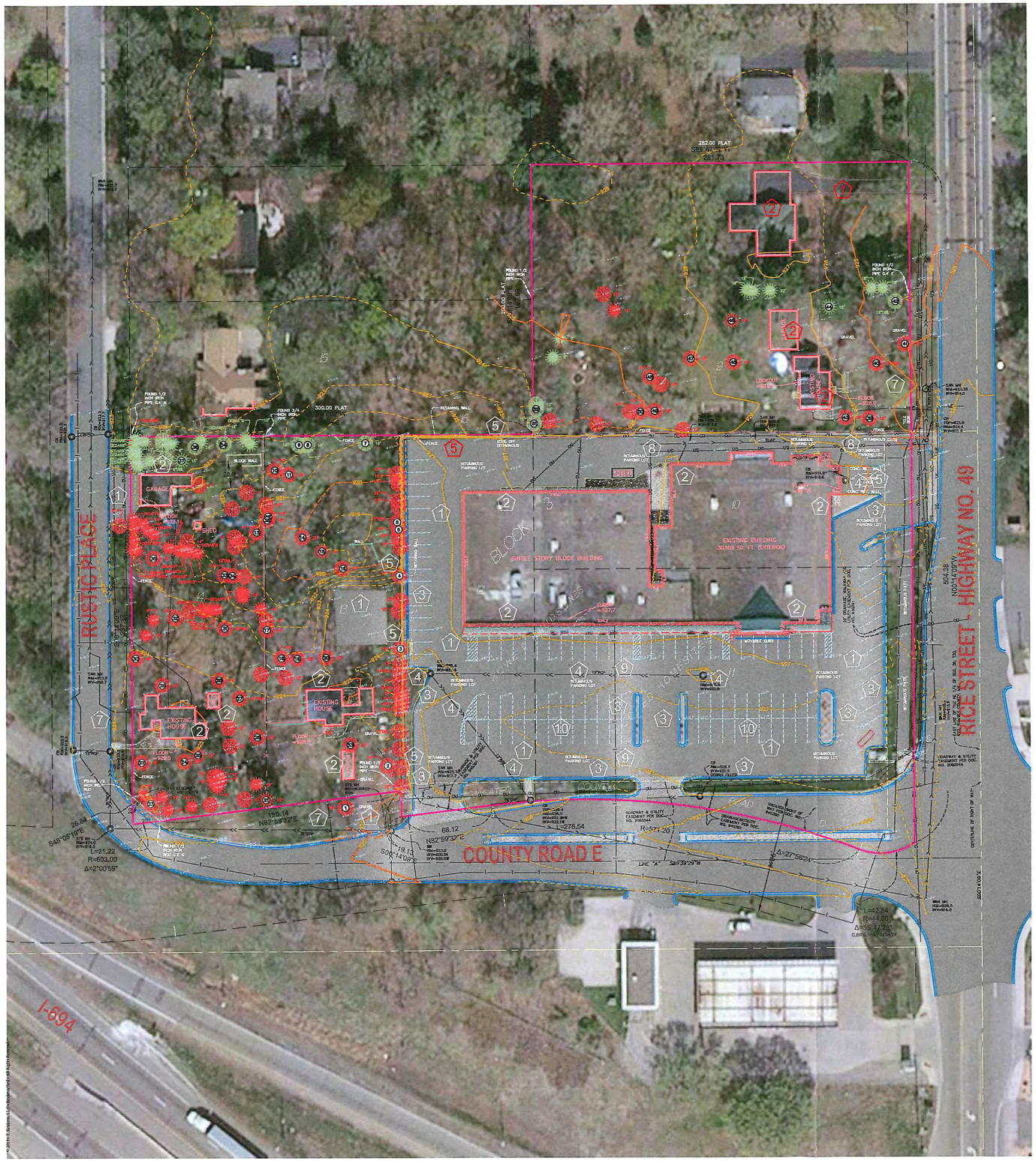
As it sits today, both the Site Agreement and the TIF Agreement contemplate the Property should become part of the Project in order to mitigate impacts. First, in the TIF Agreement the reimbursable expenses specifically include sums for acquisition of the Property. Second, Section IV.J of the Site Agreement assumes that ESH would acquire the Property and provides a waiver of certain landscaping conditions so long as the Property is acquired and not used as a single-family residence.

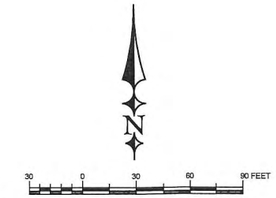
Rezoning the Property to PUD and including it in the new plat for Elevage First Addition is also consistent with the City's Comprehensive Plan and zoning ordinance. The Comp Plan was previously amended to guide the Elevage First Addition as mixed-use. The inclusion of the Property into the Elevage First Addition responds directly to the desire to minimize impacts to the surrounding neighborhood. With the Property included in the Elevage First Addition, the approved apartment building would be setback more than 170 feet.

Of course, if you have any questions, comments, or concerns about this matter, please do not hesitate to contact me at your earliest opportunity.

Respectfully,

Michael J. Mergens
Encls.





GRAPHIC SCALE

LEGEND:

- CABLE TV PEDESTAL
- AIR CONDITIONER
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PEDESTAL
- ELECTRIC TRANSFORMER
- LIGHT POLE
- GUY WIRE
- POWER POLE
- GAS METER
- TELEPHONE PEDESTAL
- SANITARY MANHOLE
- CATCH BASIN
- FLARED END SECTION
- ROOF DRAIN
- WATER MANHOLE
- STORM MANHOLE
- FIRE DEPT. CONNECTION
- HYDRANT
- CURB STOP
- WATER VALVE
- BOLLARD
- FLAG POLE
- TRAFFIC SIGN
- UNKNOWN MANHOLE
- SPOT ELEVATION
- CONIFEROUS TREE DEMO
- DECIDUOUS TREE DEMO
- CONIFEROUS TREE TO REMAIN
- DECIDUOUS TREE TO REMAIN
- PROPERTY BOUNDARY
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- UNDERGROUND GAS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- FENCE
- CURB [TYPICAL]
- 1230 CONTOURS

KEYED NOTES:

1. REMOVE EXISTING BIT. SURFACE.
2. REMOVE EXISTING BUILDING AND FOUNDATION.
3. REMOVE EXISTING CONCRETE CURB AND GUTTER.
4. REMOVE EXISTING STORM SEWER.
5. REMOVE EXISTING RETAINING WALL.
6. REMOVE EXISTING CONCRETE SURFACE.
7. ABANDON EXISTING SEWER AND WATER SERVICE. TURN OFF CORP. AT MAIN AND PLUG SANITARY WITH CONCRETE OR PVC CAP AS REQUIRED.
8. COORDINATE REMOVAL AND REPLACEMENT OF EXISTING SMALL UTILITIES WITH XCEL ENERGY.
9. REMOVE WATERMAIN AS NEEDED FOR NEW CONNECTION.
10. REMOVE EXISTING LIGHT STANDARD AND BASE.

LANDMARK TREE TABLE

LANDMARK TREES TO BE REMOVED

Tree #	Tree Species	DBH (Inches)	Notes
1	Sugar Maple	30	
2	Oak	24	
3	Boxelder	18	not landmark
4	Oak	24	
5	Elm	24	
6	Elm	39	
10	Oak	24	
11	Elm	18	
12	Elm	15	
13	Maple	15	
14	Oak	30	
15	Spruce	18	Mostly Dead
16	Oak	24	
17	Maple	15	
18	Ash	15	
19	Oak	20	
20	Oak	24	
21	Scotch Pine	18	
22	Maple	16	
23	Maple	24	
24	Maple	22	
25	Spruce	18	
26	Maple	36	
27	Oak	40	
28	Oak	15	
29	Oak	30	
30	Oak	18	
31	Oak	40	
32	Oak	24	
33	Elm	15	
34	Elm	31	
35	Ash	15	
38	Elm	15	
39	Oak	18	
40	Oak	50	
41	Oak	30	
43	Oak	30	
45	Oak	15	
46	Spruce	15	
47	Oak	18	
48	Oak	18	
49	Oak	36	
50	Oak	15	
53	Maple	36	

TREE SIZE — DENOTES NON-LANDMARK CONIFEROUS TREE

TREE SIZE — DENOTES NON-LANDMARK DECIDUOUS TREE

TREE SIZE — 1 — DENOTES LANDMARK CONIFEROUS TREE

TREE SIZE — 1 — DENOTES LANDMARK DECIDUOUS TREE

TREE NUMBER (NOT TAGGED) THAT CORRESPONDS TO LANDMARK TREE TABLE AS SHOWN ON THIS SHEET.

LANDMARK TREES TO REMAIN

Tree #	Tree Species	DBH (Inches)	Notes
7	Elm	18	
8	Elm	15	
9	Elm	18	
10	Oak	24	
36	Maple	24	
37	Spruce	15	
42	Oak	36	
44	White Pine	15	
51	Oak	15	
52	Oak	24	
54	Maple	18	

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DRAWING PHASE:

	OWNER REVIEW
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	BID DOCUMENT
	PERMIT SET
	AS-BUILT DOCUMENT

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TODD A. ERICKSON, PE
40418
LICENSE NO.
PUD AMENDMENT
DATE:

OWNER/DEVELOPER
ELEVAGE DEVELOPMENT GROUP, LLC
10901 Baltimore St. NE
Blaine, Minnesota 55449

PROJECT TITLE
THE MCMILLAN
157 COUNTY ROAD E. W.
SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
EXISTING CONDITIONS & DEMO PLAN

SHEET NO.
C1
SHEET 1 OF 6

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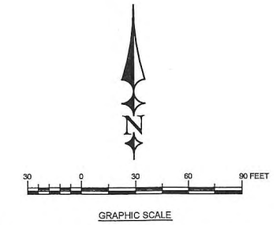

LEGEND:

- EXISTING BOUNDARY
- PROPOSED CONCRETE SIDEWALK/APRON
- PROPOSED BITUMINOUS PAVEMENT
- (9) PROPOSED PARKING COUNT
  147 SURFACE STALLS
  143 STRUCTURED STALLS
  28 PRIVATE GARAGE STALLS
  318 STALLS

KEYED NOTES:

1. INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 1/C5.
2. INSTALL B612 CONCRETE CURB. REFER TO DETAIL 2/C5.
3. CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 5/C5.
4. INSTALL 4" CONCRETE SIDEWALK. REFER TO DETAIL 4/C5.
5. INSTALL "STOP" TRAFFIC CONTROL SIGN.
6. MODULAR BLOCK WALL WITH RAILING (MNDOT SPEC. VERSA LOK BRONCO). ANY WALL OVER 4-FT IN HEIGHT SHALL BE DESIGNED BY AN ENGINEER AND A SIGNED PLAN SET OF DRAWINGS SHALL BE PROVIDED TO T HE CITY PRIOR TO START OF CONSTRUCTION.
7. CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10/C5.
8. 6" MIN. TOPSOIL AND HYDRO SEEDED WITH LOW GROW FESCUE @ 220 LBS. PER ACRE, W/20 LBS. PER ACRE ANNUAL RYE.
9. INSTALL FENCING AT RETAINING WALL PER ARCHITECT DETAIL
10. AREA OF INFILTRATION PRACTICES SHALL BE DELINEATED WITH ORANGE CONSTRUCTION FENCING AND BE AVOIDED BY CONSTRUCTION TRAFFIC.
11. SURMOUNTABLE CURB AND GUTTER
12. SNOW STORAGE AREA
13. INSTALL ADA SIGNAGE PER DETAIL

LAYOUT NOTES:

1) ALL RADII TO BACK OF CURB
2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3) PAVEMENT STRIPING TO BE 4" WIDE WHITE EPOXY PAINTED STRIPE.

SURFACE AREA ANALYSIS

TOTAL LOT AREA	= 184,158 S.F.
LOT 1	= 46,883 S.F.
LOT 2	= 137,275 S.F.

EXISTING IMPERVIOUS SURFACE		= 101,500 S.F. (55.1%)
CONCRETE	= 4,470 S.F.	
BIT.	= 59,350 S.F.	
SHED/GARAGE	= 710 S.F.	
HOUSE	= 3,860 S.F.	
BUILDING	= 30,110 S.F.	
GRAVEL	= 3,000 S.F.	
TOTAL PROPOSED IMPERVIOUS SURFACE		= 113,767 S.F. (61.8%)
SIDEWALK	= 28,815 S.F.	
BIT.	= 36,630 S.F.	
APARTMENT	= 34,675 S.F.	
GARAGE	= 2,595 S.F.	
TOWN HOMES	= 11,052 S.F.	
LOT 1 PROPOSED IMPERVIOUS SURFACE		= 27,347 S.F. (58.3%)
SIDEWALK	= 4,095 S.F.	
BIT.	= 12,200 S.F.	
TOWNHOMES	= 11,052 S.F	
LOT 2 PROPOSED IMPERVIOUS SURFACE		= 86,420 S.F. (63.0%)
SIDEWALK	= 24,720 S.F.	
BIT.	= 24,430 S.F.	
GARAGE	= 2,595 S.F	
APARTMENT	= 34,675 S.F.	

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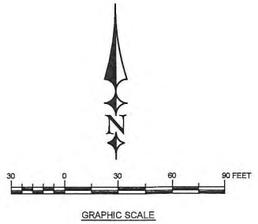
JOB NO. 15-172

SHEET TITLE
LAYOUT PLAN

SHEET NO.
C2
SHEET 2 OF 6



LEGEND:

———	EXISTING PROPERTY BOUNDARY
– – –930– – –	EXISTING 1-FT CONTOUR
———930———	PROPOSED 1-FT CONTOUR
	PROPOSED SPOT ELEVATION G = PROPOSED GROUND SURFACE gl = GUTTER LINE c = CONCRETE SURFACE b = BITUMINOUS SURFACE tw = TOP OF WALL bw = BOTTOM OF WALL NOTE: * REPRESENTS EXISTING GRADE.
- - - - - - - - - -	PROPOSED HEAVY DUTY SILT FENCE

KEYED NOTES:

1. MATCH EXISTING BITUMINOUS PAVEMENT ELEVATIONS.
2. PROPOSED ROCK CONSTRUCTION ENTERANCE. REFER TO DETAIL 6/C5.

Contractor SHALL notify District staff at least 48 hours prior to the construction of the infiltration basin in order to provide for District construction observation. Failure to notify the District prior to the installation may result in the removal of work completed. Contact Nicole Soderholm at 651-792-7976.

Contact Nicole Soderholm, District Inspector, at 651-792-7976 prior to beginning construction.

NOTES:

1) ALL CONSTRUCTION AS CALLED FOR ON THESE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH ALL OSHA REQUIREMENTS.

2) THE GRADING CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER SO THAT CERTIFICATION OF ALL CONTROLLED FILLS WILL BE FURNISHED TO THE OWNER DURING AND UPON COMPLETION OF THE PROJECT.

3) SPOT ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.

4) PRIOR TO ON SITE EXCAVATION OR DEMOLITION WORK, INSTALL EROSION CONTROL MEASURES IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.

5) EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL SEDIMENT TRAPS OR BASINS AND BIO LOG AS DEEMED NECESSARY TO CONTROL EROSION.

6) GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED PRIOR TO THE START OF ANY UP GRADIENT LAND DISTURBING ACTIVITIES

7) PROVIDE 6" OF NATIVE TOPSOIL IN GREEN AREAS.

8) ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

9) IF SEDIMENT EWALKS THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

10) TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS SWALES AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.

11) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.

12) MAINTAIN AND REPAIR EROSION CONTROL MEASURES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED. CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL DAILY AND AFTER ANY RAIN EVENT. ALL SEDIMENT CONTROL FEATURES MUST BE REPAIRED WHEN THE SEDIMENT REACHES 1/3 THE HEIGHT OF THE STRUCTURE, OR REPLACED WITHIN 24 HOURS OF DISCOVERY. EROSION CONTROL STRUCTURES FOUND DAMAGED MUST BE REPAIRED OR REPLACED WIIN 24 HOURS UPON DISCOVERY. REMOVAL OF EROSION CONTROL STRUCTURES REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).

13) ALL EXISTING CITY STREETS SHALL BE SWEPT AS NEEDED AND AS REQUESTED BY ENGINEER OR CITY STAFF.

14) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

15) AFTER GRADING OPERATIONS ARE COMPLETED, LANDWALK CONTRACTOR SHALL UNCOMPACT ALL GREEN AREAS PRIOR TO SODDING AND LANDSCAPING.

16) PERMANENT RESTORATION IN LAWN AREAS SHALL CONSIST OF PLACING SOD PER MNDOT 3878.2.A SPECIFICATIONS. SOD STRIPS SHALL NOT HAVE DEAD OR DRY EDGES AND SHALL NOT BE CUT MORE THAN 24 HOURS IN ADVANCE OF DELIVERY.

17) TEMPORARY STABILIZATION OF SLOPES AND GRADING AREAS DURING CONSTRUCTION SHALL BE A MNDOT 150 MIXTURE. TEMPORARY SEED MIXTURE SHALL BE PLACED WITH A DRILL AT A RATE OF 60 LBS/ACRE.

18) SOD AND INSTALLATION OF EROSION CONTROL BLANKET SHALL BE COMPLETED WITHIN 48 HOURS OF FINAL GRADING.

19) POSITIVE DRAINAGE OF MINIMUM 2% SLOPE SHALL BE ACHIEVED AWAY FROM PROPOSED BUILDING.

SWPPP SEQUENCING:

1) OBTAIN MPCA PERMIT MINIMUM 7 DAYS PRIOR TO STARTING TREE CLEARING ACTIVITIES.

2) INSTALL SWPPP MAILBOX WITH A COPY OF THE PLANS, SWPPP AND EROSION CONTROL LOGS.

3) INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN IN DETAILS.

4) INSTALL PERIMITER CATCH BASIN SEDIMENT CONTROL MEASURES (INLET PROTECTION).

5) INSTALL SILT FENCING/BIO LOGS AS SHOWN ON PLAN PRIOR TO ANY SITE DISTURBANCE OR TREE REMOVAL. SITE PERIMETER FENCING SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.

6) INTERIOR SILT FENCE AND BIO LOG SEDIMENT CONTAINMENT SHALL BE PLACED TO CONTROL STOCKPILES OR CONCENTRATED AREAS OF FLOW DURING CONSTRUCTION AND AFTER SITE ROUGH GRADING IS COMPLETE.

7) INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION CHAMBER AREA. KEEP CONSTRUCTION TRAFFIC OFF OF THIS AREA UNTIL EXCAVATION OF SYSTEM IS TO START.

8) INSTALL ORANGE CONSTRUCTION FENCING AROUND DRIP LINE OF TREES TO REMAIN.

9) NOTIFY RAMSEY WASHINGTON METRO WATERSHED DISTRICT FOR APPROVAL OF PERIMETER EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION (3 BUSINESS DAY NOTIFICATION REQUIRED).

10) SEED ANY TOPSOIL STOCKPILE AND OR HYDROMULCH WITH MINIMUM 20/LBS PER ACRE OATS.

11) INSTALL MPCA APPROVED CONCRETE CLEANOUT STATION PRIOR TO CONCRETE USE ON SITE.

12) CONDUCT GRADING OPERATIONS.

13) MAINTAIN LOGS OF RAIN EVENTS AND CORRECTIVE ACTIONS FOR EACH EVENT IN SWPPP MAILBOX PER MPCA NPDES PERMIT REQUIREMENTS.

14) UTILIZE TEMPORARY HYDROMULCH AND SEEDING TO MAINTAIN SEDIMENT ON SITE.

15) MAINTAIN AND CLEANOUT SILT FENCING AND CATCH BASIN SEDIMENT CONTROL AS INDICATED ON PLANS OR IN THE NPDES PERMITTING.

16) AFTER INSTALLATION OF PROPOSED STORM SEWER, IMMEDIATELY INSTALL SEDIMENT CONTROL MEASURES.

17) HYDROSEED ENTIRE SITE FOR FINAL STABILIZATION WITH PROPOSED SEED MIXTURE AND HYDROMULCH WITH TACKIFIER.

VERSA LOK BRONCO UNIT

Width (face) 67.5"
Height 30"
Depth 45"
Face Area14 ft
Weight 4650 lbs
Max Unreinforced Height10 ft*
Max Geogrid Reinforced Height50+ ft

*The maximum stable, unreinforced VERSA-LOK wall height in best conditions, may be lower depending on soil, site and loading conditions (including terraces). Taller walls need geogrid soil reinforcement, designed by a qualified engineer. Check your local building code requirements. Please contact your supplier or VERSA-LOK representative for assistance.

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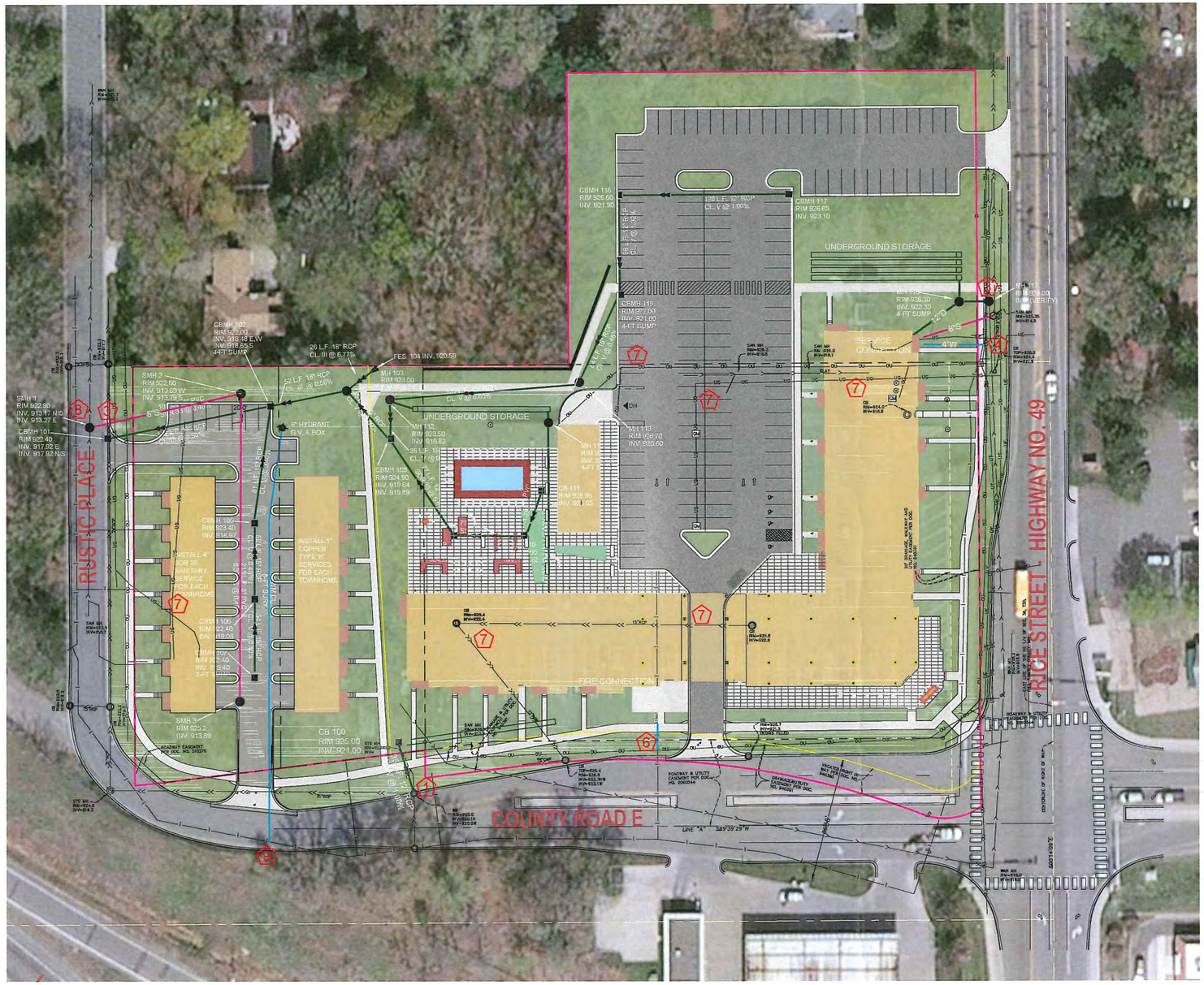
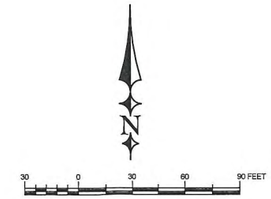
SHEET TITLE
GRADING PLAN

SHEET NO.
C3
SHEET 3 OF 6





GRAPHIC SCALE

LEGEND:

- CABLE TV PEDESTAL
- AIR CONDITIONER
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PEDESTAL
- ELECTRIC TRANSFORMER
- LIGHT POLE
- GUY WIRE
- POWER POLE
- GAS METER
- TELEPHONE PEDESTAL
- SANITARY MANHOLE
- CATCH BASIN
- FLARED END SECTION
- ROOF DRAIN
- WATER MANHOLE
- STORM MANHOLE
- FIRE DEPT. CONNECTION
- HYDRANT
- CURB STOP
- WATER VALVE
- BOLLARD
- FLAG POLE
- TRAFFIC SIGN
- UNKNOWN MANHOLE
- SPOT ELEVATION
- CONIFEROUS TREE DEMO
- DECIDUOUS TREE DEMO
- CONIFEROUS TREE TO REMAIN
- DECIDUOUS TREE TO REMAIN
- PROPERTY BOUNDARY
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE TV
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- UNDERGROUND GAS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- FENCE
- CURB [TYPICAL]
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN

KEYED NOTES:

1. CONNECT TO EXISTING CATCH BASIN
2. WATER AND FIRE SUPPRESSION TO BE SPLIT INSIDE OF BUILDING.
3. CONSTRUCT MANHOLE OVER EXISTING STORM SEWER.
4. CONNECT TO EXISTING WM WITH 4" WET TAP VALVE
5. CONNECT TO EXISTING MANHOLE
6. CONNECT TO WATERMAIN STUB
7. ALL EXISTING SITE UTILTIES SHALL BE REMOVE/ABANDONED
8. CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER
9. CONNECT TO EXISTING WATERMAIN WITH 6" WET TAP G.V.

NOTES:

1) WATERMAIN: 4" & 8" DIP CL. 52 ALL MECHANICAL JOINTS. 8' MINIMUM BURY.
2) FIRE CONNECTION PER THE SHOREVIEW REQUIREMENTS.
3) SANITARY SEWER: 8" PVC SCHEDULE 40
4) STORM SEWER: RCP (CLASS AS SHOWN ON PLAN)
5) PRESSURE TEST SANITARY SEWER PER CITY OF SHOREVIEW REQUIREMENTS
6) HYDROTEST WATERMAIN PER CITY OF SHOREVIEW REQUIREMENTS.
7) BACTERIA TEST WATER SERVICE PER CITY OF SHOREVIEW REQUIREMENTS.

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SHEET TITLE
UTILITY PLAN

SHEET NO.
C4
SHEET 4 OF 6

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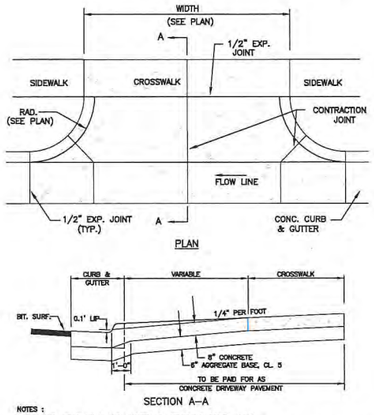
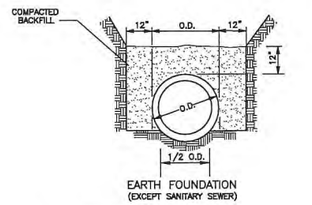
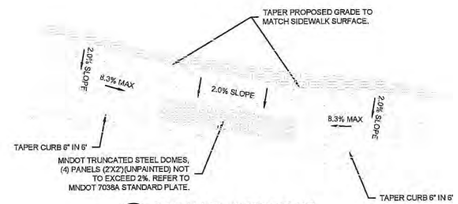


NOTES :
1. PANEL WIDTH SHALL NOT EXCEED 10' WITHOUT ℄ CONTR. JOINT.
2. WHERE SIDEWALK EXISTS OR IS PROPOSED, CROSSWALK SHALL BE SAME THICKNESS AS DRIVEWAY.

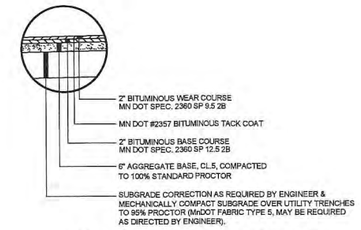
10 C5 CONCRETE DRIVEWAY
NO SCALE



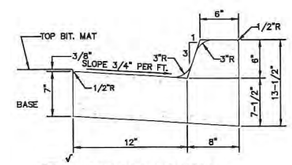
7 C5 PIPE FOUNDATION DETAILS
NO SCALE



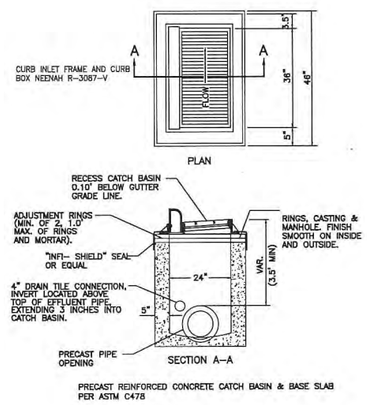
5 C5 PARALLEL CURB RAMP
NO SCALE



1 C5 BITUMINOUS PAVING SECTION
NO SCALE

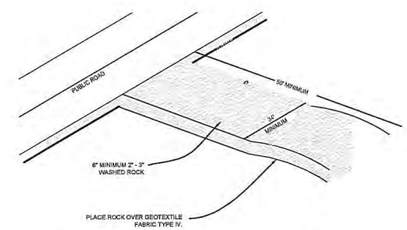


2 C5 B612 CURB & GUTTER
NO SCALE

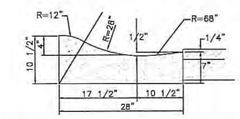


PRECAST REINFORCED CONCRETE CATCH BASIN & BASE SLAB PER ASTM C478

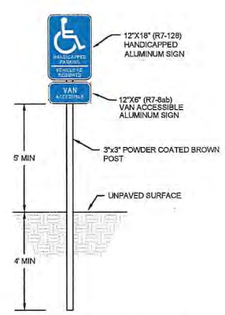
8 C5 CATCH BASIN
NO SCALE



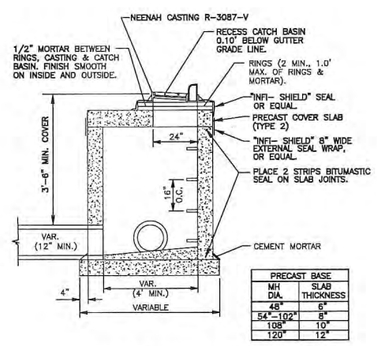
6 C5 ROCK CONSTRUCTION ENTRANCE
NO SCALE



3 C5 SURMOUNTABLE CURB & GUTTER
NO SCALE



11 C2 ADA SIGN INSTALLATION
NO SCALE



PRECAST BASE	
MH DIA.	SLAB THICKNESS
48"	6"
54"–102"	8"
108"	10"
120"	12"

NO WOOD SHALL BE USED FOR ADJUSTING CASTING; CEMENT MORTAR ONLY.

CAST IRON FRAME & GRATE CASTINGS PER SPECIFICATIONS.

MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL. REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.

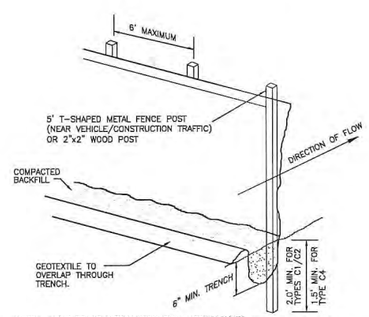
PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.

PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, OR 8" CONCRETE MANHOLE BLOCK WITH 1/2" MORTARED EXTERIOR.

FURNISH PRECAST CONCRETE MANHOLE SECTIONS WITH O–RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.

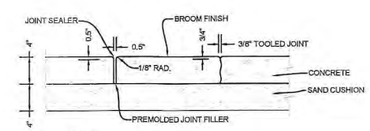
FILL OPENING BETWEEN PIPE AND MANHOLE WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

9 C5 CATCH BASIN/MANHOLE
NO SCALE



NOTE : –SILT FENCE INSTALLATION SHALL CONFORM TO MNDOT2573.3, TYPE C1/C2 NEAR VEHICLE/CONSTRUCTION TRAFFIC, TYPE C4 AT ALL OTHER LOCATIONS.
–MATERIALS SHALL CONFORM TO MNDOT 3886.

6 C5 SILT FENCE
NO SCALE



NOTES:

TOOLED JOINTS:
1) JOINT SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE ON PLANS.

EXPANSION JOINTS:
1) WHERE WALK BUTTS ANY FIXED OBJECT SUCH AS WALLS,CURBS, MANHOLES, ETC.
2) 45' ON CENTER MAXIMUM OR AS SHOWN ON PLANS.
3) JOINT SEALER SHALL MEET ASTM D-412, GRAY, SELF LEVELING, EPOXY, AS WITH "QUICKJOINT 300" OR EQUAL.

4 C5 CONCRETE SIDEWALK DETAIL
NO SCALE

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	PERMIT SET
	AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE
40418
LICENSE NO.
PUD AMENDMENT
DATE:

OWNER/DEVELOPER:
ELEVAGE DEVELOPMENT GROUP, LLC
10901 Baltimore St. NE
Blaine, Minnesota 55449

PROJECT TITLE
THE MCMILLAN
157 COUNTY ROAD E. W.
SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

JOB NO. 15-172

SHEET TITLE
DETAILS

SHEET NO.
C5
SHEET 5 OF 6

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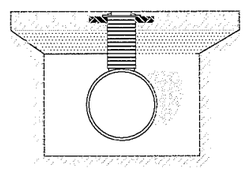
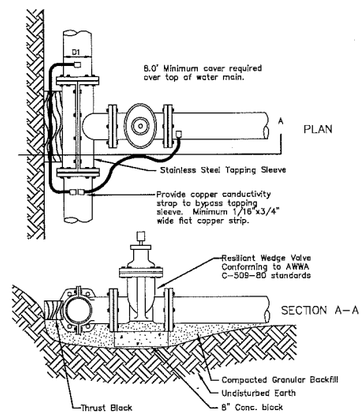
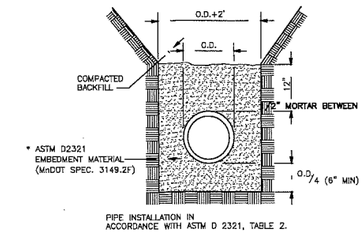


6 / C6 UNDERGROUND STORAGE PIPE
NO SCALE



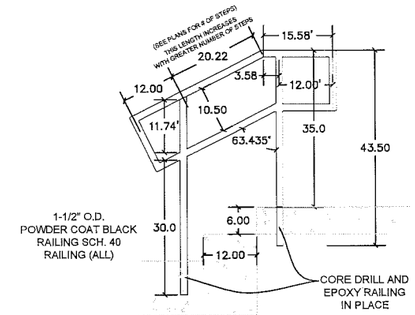
4 / C6 WATER MAIN WET TAP
NO SCALE



PIPE INSTALLATION IN ACCORDANCE WITH ASTM D 2321, TABLE 2.

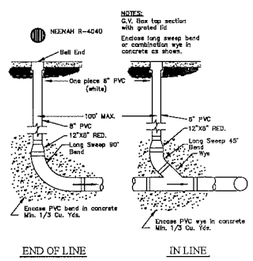
* EMBEDMENT MATERIAL SHALL CONFORM TO ASTM D2321, TABLE 1.

1 / C6 GRANULAR MATERIAL BEDDING METHOD
(FOR PVC SANITARY SEWER PIPE)
NO SCALE

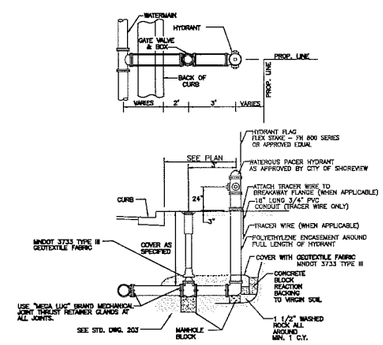


2 / C6 TYPICAL EXTERIOR RAILING DETAIL
NO SCALE

Per Safety Rail Company:
4244 Shoreline Drive, Spring Park, MN 55384
Phone: 888-434-2720 | Fax: 888-471-4931
www.safetyrailcompany.com

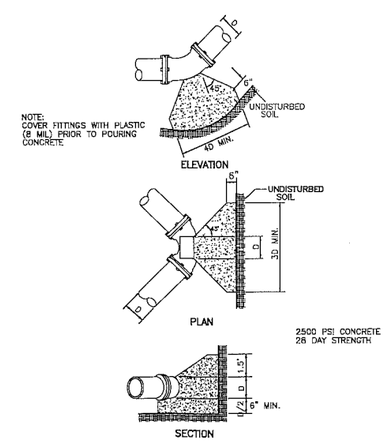


7 / C6 COURTYARD DRAINAGE SYSTEM
NO SCALE



NOTES:
1. USE MEGA LUGS ON ALL JOINTS. PREMADE CONCRETE BLOCKING BEHIND HYDRANT AND TEE.
2. PLUG, DEEP HOLES IF GROUND WATER IS PRESENT.
3. AFTER DEEP HOLES IF PLUGGED, PLUG THE NOZZLE CAP MUST BE PAINTED GREEN AND A TAG SHALL BE ATTACHED TO THE HYDRANT STATING "DRAIN HOLES PLUGGED".
4. SUPPLY 1 EXTRA FLEX STAKE FOR EVERY 10 HYDRANTS INSTALLED. MINIMUM ONE PER PROJECT.
5. SUPPLY 1 HYDRANT STORZ WRENCH OR HYDRANT REPAIR KIT PER PROJECT.
6. SUPPLY 1 8' HYDRANT EXTENSION AS DIRECTED BY THE ENGINEER.
7. ALL HYDRANTS NOT IN SERVICE SHALL BE COVERED WITH BLACK POLY PLASTIC.
*EXTRA STAKES AND REPAIR KITS ARE TO BE DELIVERED TO THE CITY GARAGE.

5 / C6 TYPICAL HYDRANT LAYOUT
(VALVE IN BOULEVARD)
NO SCALE



3 / C6 CONCRETE REACTION BACKING
(FOR BENDS)
NO SCALE

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Stillwater, Minnesota 55082
Phone (612) 309-3804
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SHEET TITLE
DETAILS

SHEET NO.
C6
SHEET 6 OF 6

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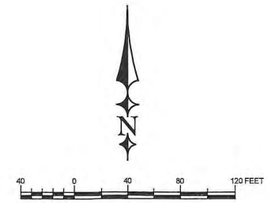


GRAPHIC SCALE

LEGEND:

PROPERTY BOUNDARY

DENOTES PROPOSED DECIDUOUS TREE

DENOTES PROPOSED ORNAMENTAL TREE

DENOTES PROPOSED CONIFEROUS TREE

KEYED NOTES:

1
2
3
4

NOTES:

1) ALL PLANTING BEDS SHALL RECIEVE MIN. 6" TOPSOIL, HEAVY LANDSCAPE FABRIC AND BROWN METAL EDGING WHERE MULCH MEETS LAWN.

2) ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL

3) ENTIRE SITE SHALL BE IRRIGATED. DESIGN/BUILD BY CONTRACTOR.

4) HYDROMULCH WITH TACKIFIER ALL OPEN AREAS WITH LOW GROW FESCUE MIX FROM TWIN CITY SEED COMPANY AND BE SEEDED AT A RATE OF 220 LBS. PER ACRE, W/ 20LBS/ACRE ANNUAL RYE.

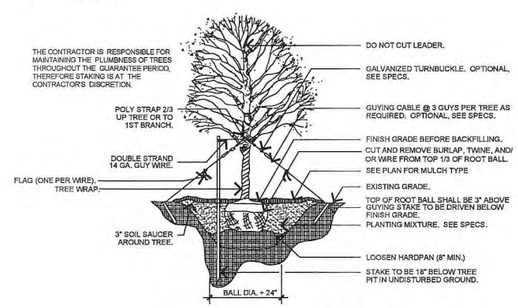
5) BUILDING CONTRACTOR SHALL INCLUDE COST OF ELECTRICAL AND PLUMBING FOR INSTALLATION OF IRRIGATION SYSTEM. IRRIGATION CONTROL BOX SHALL BE BY LANDSCAPE CONTRACTOR.

6) MAINTENANCE STRIP AND OTHER AREAS IDENTIFIED FOR MULCH SHALL BE 4" MINUS WASHED LIMESTONE PLACED AT A MIN. DEPTH OF 4" OVER 6 MIL POLY. PERENNIAL AND ANNUAL PLANTING AREAS SHALL RECEIVE 6" OF COARSE SHREDDED HARDWOOD MULCH WITH NO FABRIC.

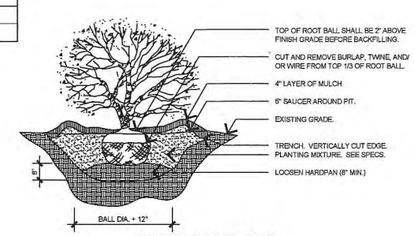
TREE REPLACEMENT CREDIT:

12" Conifers = 1.5 tree replacement credit
3" Caliper Deciduous = .5 tree replacement credit
3.5" Caliper Deciduous = 1 tree replacement credit
4" Caliper Deciduous = 1.5 tree replacement credit

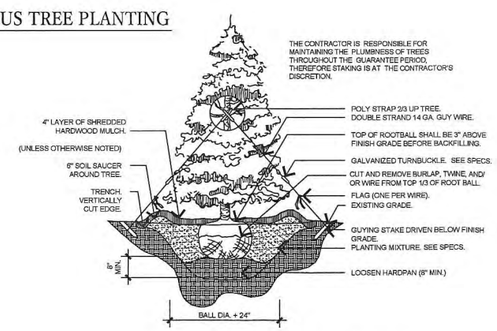
	Plant Name	Latin Name	Quantity	Size	Type
DECIDUOUS TREES					
A	Autumn Blaze Maple	Acer x freemanii "Jeffersred"	4	3–1/2" DIA.	B&B
B	Skyline Honey Locust	Gleditsia triacanthos 'Skycole'	2	2–1/2" DIA.	B&B
C	Regal Prince Oak	Quercus 'Regal Prince'	17	2–1/2" DIA.	B&B
D	Sunburst Honey Locust	Gleditsia triacanthos 'Suncole'	17	2–1/2" DIA.	B&B
E	River Birch Clump	Betula nigra	1	2–1/2" DIA.	B&B
F	Ginkgo	Ginkgo biloba 'Princeton Sentry'	3	3–1/2" DIA.	B&B
G	Black Walnut	Juglans nigra	2	3–1/2" DIA.	B&B
H	Hackberry	Celtis occidentalis	2	3–1/2" DIA.	B&B
J	Royal Red Norway Maple	Acer platanoides "Royal Red"	2	3–1/2" DIA.	B&B
K	Autumn Spire Red Maple	Acer rubrum 'Autumn Spire'	16	3–1/2" DIA.	B&B
CONIFERIOUS					
L	Fat Albert Blue Spruce	Picea pungens 'Fat Albert'	12	8–FT	B&B
M	Black Hills Spruce	Picea glauca 'Densata'	16	12–FT	B&B
N	White Fir	Abies concolor	17	12–FT	B&B
O	Noryway Spruce	Picea abies	18	12–FT	B&B
P	Weeping White Spruce	Picea glauca 'Pendula'	5	8–FT	B&B
ORNAMENTAL					
Q	Korean Maple	Acer pseudosieboldianum	2	2–1/2" DIA.	B&B
R	Snowdance Japenese Lilac	Syringa reticulata 'Snowdance'	10	2–1/2" DIA.	B&B
T	Autumn Brillance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance (tree form)'	21	2–1/2" DIA.	B&B
V	Spring Snow Flowering Crab	Malus 'Spring Snow'	12	2–1/2" DIA.	B&B



DECIDUOUS TREE PLANTING



SHRUB PLANTING



CONIFEROUS TREE PLANTING

TYPICAL FOUNDATION PLANTINGS

Strawberry Candy Daylily

Karl Foerster Reed Grass

Spirea Tor Birchleaf

Purple Emperor Stonecrop

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Blaine, Minnesota 55449

PROJECT TITLE

THE MCMILLAN
157 COUNTY ROAD E. W.
SHOREVIEW, MN 55126

NO.	REVISION DESCRIPTION	DATE

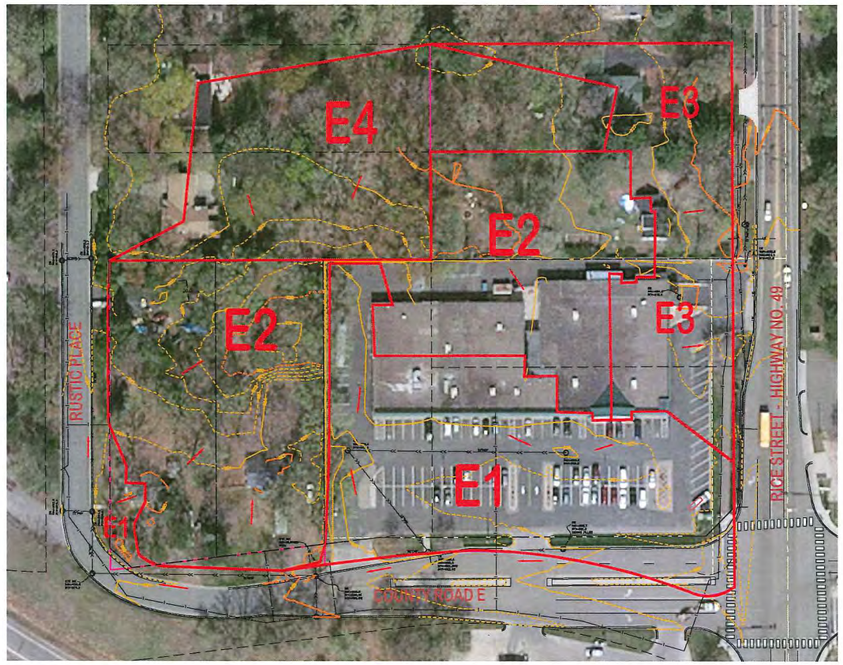
JOB NO. 15-172

SHEET TITLE
TREE PLANTING PLAN

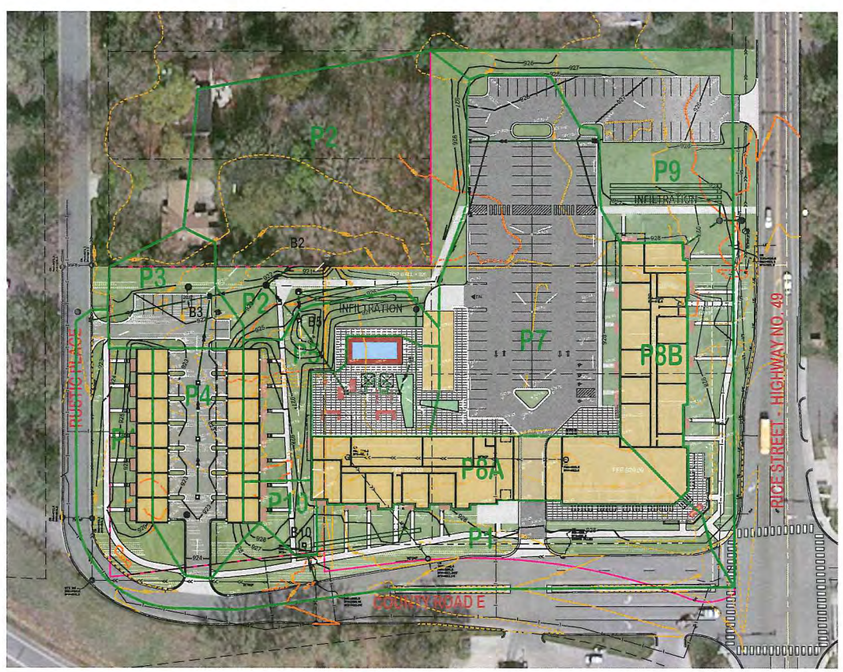
SHEET NO.
L1

SHEET 1 OF 1

EXISTING DRAINAGE MAP



PROPOSED DRAINAGE MAP



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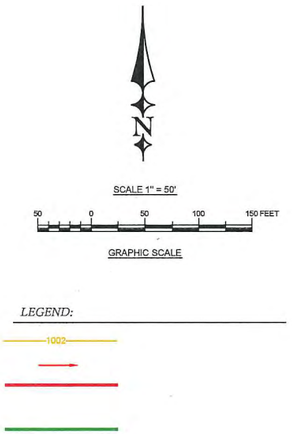

EXISTING DRAINAGE AREAS

DRAINAGE AREA ID	DRAINAGE AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	DESCRIPTION
E1	86,766	81,626	EXISTING UNCONTROLLED RUNOFF TO CITY STORM SEWER
E2	101,299	36,125	FLOWS TO EXISTING DEPRESSION AND THEN OUTLETS TO STORM
E3	40,397	22,095	EXISTING UNCONTROLLED RUNOFF TO CITY STORM SEWER
E4	55,620	4,487	EXISTING FLOW TO BACKYARDS

PROPOSED DRAINAGE AREAS

DRAINAGE AREA ID	DRAINAGE AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	DESCRIPTION
P1	53,909	19,708	OVERLAND FLOW FROM YARD AND STREET AREAS TO STORM SEWER
P2	54,143	2,439	OVERLAND FLOW TO NEW FES/PONDING AREA
P3	10,705	4,026	FLOW TO PROPOSED LOW POINT CATCH BASIN
P4	16,850	14,960	TOWNHOME DRIVEWAY FLOW TO STORM SEWER
P5	13,967	3,447	FLOW TO SMALL PONDING AREA B5
P6	9,555	9,555	PATIO/POOL AREA FLOW TO STORM SEWER
P7	48,433	34,785	PARKING LOT FLOW TO STORM SEWER
P8A	13042	13,042	UNDERGROUND STORAGE SYSTEM FOR RATE AND VOLUME CONTROL
P8B	20,141	20,141	UNDERGROUND STORAGE SYSTEM FOR RATE AND VOLUME CONTROL
P9	38,831	24,370	UNCONTROLLED FLOW TO CITY STORM SEWER
P10	3,643	1,187	FLOW TO SMALL PONDING AREA B10

RUNOFF SUMMARY COMPARISON

STORM EVENT	RATE DISCHARGE COMPARISON (CFS)	
	EXISTING TOTAL	PROPOSED TOTAL
2-YEAR	8.24	5.92
10-YEAR	14.54	13.13
100-YEAR	27.08	18.46

MPCA - 1.1 Inch Event - Volume Control

NEW IMPERVIOUSNESS = 3,327 Sq. Ft.
DISTURBED EXISTING IMPERVIOUSNESS = 105,895 Sq. Ft.
VOLUME TO INFILTRATE = 9,707 Cu. Ft., INFILTRATION VOLUME = 9,890 CU. FT. > 9,707 CU. FT.

INFILTRATION RATE = 0.45 INCH/HOUR

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www.ericksoncivilsite.com

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SHEET TITLE
DRAINAGE MAP

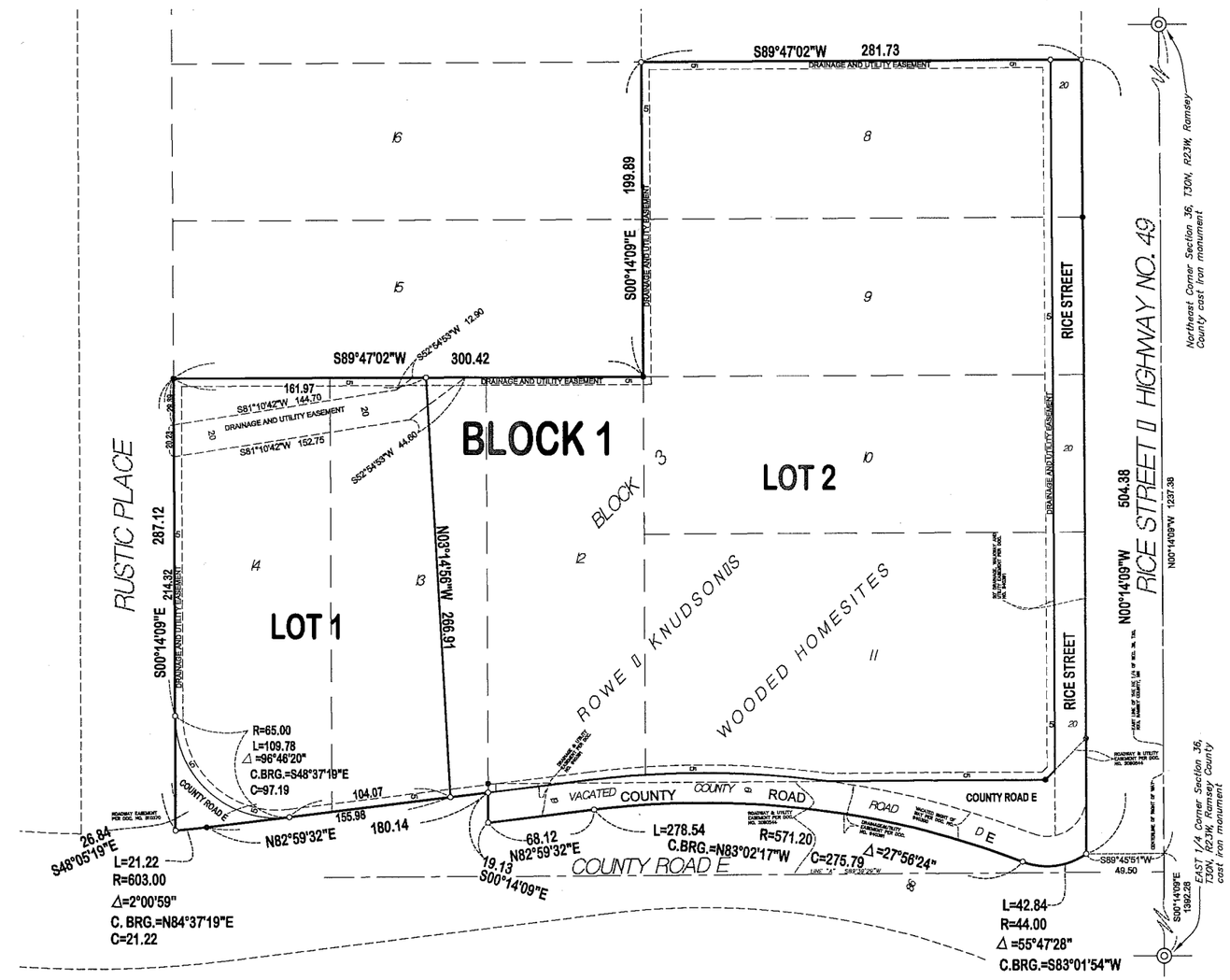
SHEET NO.
D1
SHEET 1 OF 1

ELEVAGE FIRST ADDITION

ORIGINAL SCALE
1 INCH = 40 FEET

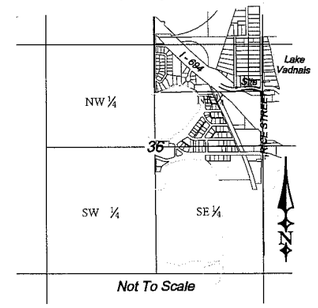
40 0 40 80 120 FEET

SCALE IN FEET



Site Location Map

Section 36, Township 30 North, Range 23 West
Ramsey County, Minnesota



Not To Scale

LEGEND

- ○ DENOTES SET ½ INCH BY 15 INCH IRON PIPE MONUMENT MARKED WITH A PLASTIC CAP INSCRIBED "RLS 10938"
- ● DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED
- ◎ DENOTES RAMSEY COUNTY CAST IRON MONUMENT

NOTES

1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON RAMSEY COUNTY COORDINATES NAD83 (1986 ADJUSTMENT).

ERICKSON CIVIL

333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com

Owners Certificate

KNOW ALL MEN BY THESE PRESENTS: That Elevage Shoreview Holdings, LLC, a limited liability company under the laws of the State of Minnesota, owner of the following described property, situated in the City of Little Canada, County of Ramsey, State of Minnesota:

Lots 10, 11, and 12, Block 3, Rowe & Knudson's Wooded Homesites, and that part of the North 19 feet of County Road E, vacated, lying between the extensions Southerly across said street of the West line of said Lot 12 and the East line of said Lot 11, Ramsey County, Minnesota and Lot 8, 13 and 14 Block 3, Rowe & Knudson's Wooded Homesites, Ramsey County, Minnesota. Torrens Property.

Has caused the same to be surveyed and platted as ELEVAGE FIRST ADDITION and does hereby dedicate or donate to the public for public use forever the public way and the drainage and utility easements as shown on this plat.

In witness whereof said Elevage Shoreview Holdings, LLC, a limited liability company under the laws of the State of Minnesota, has caused these presents to be signed by its proper officer this _____ day of _____, 2016.

Signed: Elevage Shoreview Holdings, LLC

_____
Name and Title

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____day of _____, 2016, by _____, of Elevage Shoreview Holdings, LLC, a limited liability company under the laws of Minnesota, on behalf of the company.

_____ Signature

_____ Print Name

Notary Public, _____
My Commission Expires_____

Surveyors Certificate

I, Paul A. Johnson, Licensed Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____day of _____, 2016.

_____
Paul A. Johnson, Land Surveyor
Minnesota License No. 10938

STATE OF MINNESOTA
COUNTY OF WASHINGTON

The foregoing Surveyor's Certificate was acknowledged before me this _____day of _____, 2016, by Paul A. Johnson, Land Surveyor.

_____
Todd A. Erickson
Notary Public, Minnesota
My Commission expires January 31, 2019

City of Little Canada

We do hereby certify that on the _____day of _____, 2016, the City Council of the City of Little Canada, Minnesota, approved this plat.
Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

_____ _____
Mayor Clerk

Department of Property Records and Revenue

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2016 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____day of _____, 2016.

_____, _____
Property Records and Revenue

By _____
Deputy

County Surveyor

Pursuant to Minnesota Statues, Section Section 383A.42, this plat is approved this _____day of _____, 20___.

_____
Craig W. Hinzman, L.S.
Ramsey County Surveyor

County Recorder
County of Ramsey, State of Minnesota
I hereby certify that this plat of ELEVAGE FIRST ADDITION was filed in the office of the County Recorder for the public record on this _____day of _____, 2016, at _____o'clock _____M. and was duly filed in Book _____ of Plats, Page_____, as Document Number_____.

_____
Deputy County Recorder

EDG SHOREVIEW PUD

Shoreview

Kathleen Castle <kcastle@shoreviewmn.gov>

File # 2631-16-30

1 message

Nate Berg <nberg@ljfd.org> Thu, Aug 18, 2016 at 1:08 PM
To: "NORDINE, KATHLEEN" <kcastle@shoreviewmn.gov>

We have no issues with the proposed rendition to the parking lot, as long as the fire department access is to remain.

Nate Berg

Fire Marshal/Deputy Chief

Lake Johanna Fire Department

5545 Lexington Ave N

Shoreview, MN 55126

(651) 481-7024

nberg@ljfd.org

RAMSEY COUNTY
Public Works

August 19, 2016

Kathleen Castle
City of Shoreview
4600 Victoria Street North
Shoreview, MN 55126

Re: 3527 Rice Street – Elevage Development Group

I have reviewed the layout sent on August 17th, 2016 for the development of 3527 Rice Street. A full access is shown off of Rice Street. It is the County's understanding this access was intended for emergency vehicles. The only access allowed to Rice Street will be for the rare circumstance when an emergency vehicles need to use it. The design needs to be revised to prevent the access from being used as a driveway. The following changes should be made:

- In the parking lot, continue the curb through the access. Surmountable curb could be installed at the access to allow emergency vehicles to drive over it.
- The driveway should be redesign to discourage drivers from mistaking it for an access. One option is to design it as a trail with bollards to prevent vehicles from using it. The second option is to use a structural grid system that allows grass to grow, but would support emergency vehicles if necessary. Either of these options would be acceptable and the County is willing to consider other options as well.

Please notify the developer that a right of way permit will be required for any construction activity occurring within the County's right of way. Doug Heidemann is the Permit Coordinator and should be contacted to discuss permit requirements at 651-266-7186 or doug.heidemann@co.ramsey.mn.us.

Sincerely,

Erin Laberee, PE
Traffic Engineer

1425 Paul Kirkwold Drive
Arden Hills, MN 55112
Phone: (651) 266-7100
www.co.ramsey.mn.us

Minnesota Department of Transportation
Metropolitan District
Waters Edge Building
1500 County Road B2 West
Roseville, MN 55113

August 17, 2016

Kathleen Castle
City Planner
4600 North Victoria St
Shoreview, MN 55126

SUBJECT: P16-046 Gramsie Woods
West of Victoria St., between I-694 and Gramsie Rd.
Shoreview, Ramsey County
Control Section: 6285

Dear Ms. Castle:

The Minnesota Department of Transportation (MnDOT) has reviewed the above referenced plat in compliance with Minnesota Statute 505.03, subdivision 2, Plats. Before any further development, please address the following issues:

Right of Way (r/w)
There is a label on the Certificate of Survey showing the MnDOT access rights inside the existing MnDOT r/w. MnDOT records indicate MnDOT acquired the access rights along the depicted MnDOT r/w line from G. Reiling in May of 1960. This could have been acquired through condemnation with a Final Certificate, which can be located at the County Recorder's Office.

For questions regarding these comments please contact Matt Aguirre at 651-234-7599 or matthew.aguirre@state.mn.us.

Permits
Any use of or work within or affecting MnDOT right of way requires a permit. Permit forms are available from MnDOT's utility website at
http://www.dot.state.mn.us/metro/maintenance/permits.html

Please include one to one set of plans formatted to 11X17 with each permit application. Please submit/send all permit applications and 11X17plan sets to: metropermitapps.dot@state.mn.us. Please direct any questions regarding permit requirements to Buck Craig (651-234-7911) of MnDOT's Metro Permits Section.

Review Submittal Options:
MnDOT's goal is to complete the review of plans within 30 days. Submittals sent in electronically can usually be turned around faster. There are four submittal options. Please submit either:

1. One (1) electronic pdf. version of the plans. MnDOT can accept the plans via e-mail at metrodevreviews.dot@state.mn.us provided that each separate e-mail is under 20 megabytes.
2. Three (3) sets of full size plans. Although submitting seven sets of full size plans will expedite the review process. Plans can be sent to:

   MnDOT – Metro District Planning Section
   Development Reviews Coordinator
   1500 West County Road B-2
   Roseville, MN 55113

3. One (1) compact disc.
4. Plans can also be submitted to MnDOT's External FTP Site. Please send files to: ftp://ftp2.dot.state.mn.us/pub/incoming/MetroWatersEdge/Planning Internet Explorer doesn't work using ftp so please use an FTP Client or your Windows Explorer (My Computer). Also, please send a note to metrodevreviews.dot@state.mn.us indicating that the plans have been submitted on the FTP site.

If you have any questions concerning this review, please contact me at (651) 234-7784.

Sincerely,

Karen Scheffing
Principal Planner

Copy sent via E-Mail:
Buck Craig, Permits
Bruce Irish, Water Resources
Nancy Jacobson, Design
Matt Aguirre, Right of Way
Gayle Gedstad, Traffic
Clare Lackey, Traffic
Mark Lindeberg, Area Engineer
Craig Hinzman, Ramsey County Surveys
Russ Owen, Metropolitan Council

Comments about the Amendment to the Elevage Development (August 30, 2016 Planning Commission Meeting)

I spent many hours attending meetings, reading material, and writing letters about the PUD that was passed by the City Council in the spring of 2016. The Council and the Planning Commission didn't read our letters from the neighborhood or listened to what was said.

Again: There are the topics of parking and access onto Rice Street. I remember Ramsey County wouldn't allow access. Now the plan shows access. Why? The Council and Planning Commission were satisfied with the parking in the spring of 2016 when they approved the PUD. Why does the PUD now need additional parking??? What has happened?

As 50 year resident of this neighborhood, I foresee the following problems:

1. Additional lighting causing "light pollution" for the neighbors
2. Parking lot for anyone to park and leave their junk backed up to residential homes
3. Strangers trespassing easily into residents' property
4. Children's safety and not just on the street
5. Crime
6. Vadnais Heights has no say in what is happening in the corner. This is so wrong.
7. Trees being taken down for a parking lot. If trees are cut down, caution needs to be taken so oak wilt will not spread to adjoining properties.
8. Who will "police" the property of the PUD? Anyone could just park there overnight.
9. How can there be an outlet onto Rice St? The backup is more than difficult in the am and pm traffic. Even MnDOT has been on record to say after the traffic study was done that there is a problem. And now you want to worsen the traffic by making an exit/ entrance onto Rice St?
10. Who will control the noise and litter for this property as it is expanding? You are more than endangering the current residents. You are purposely making it unbearable to the residents.
11. Snow removal is addressed by pushing the snow from the townhomes to the north. Make sure the drainage isn't into the residential home to north. Also, where is the snow from the rest of the parking lot going? And, where is the drainage going? How big will the retaining pond have to be made to hold all this run off? Minnesota is known for its snow fall. The snow can be very very deep!

There has been recent police activity around the PUD site in the middle of the night. How long will it take to make our beloved neighborhood livable without the current eye sore along County E? I am not at all sure what will be built will be an asset to the community. In the long run, it may not be maintained since it appears it is all about the money.

Please read this and consider all I've said. Thank you,

Joan Benson
3505 Rustic Place
Shoreview, MN 55126

Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage Parking lot

2 messages

Richard ONeil <rwo3530@yahoo.com> Thu, Aug 25, 2016 at 3:56 PM
Reply-To: Richard ONeil <rwo3530@yahoo.com>
To: Kathleen Castle <kcastle@shoreviewmn.gov>

Ms. Castle,

I reside at 3530 Rustic place directly to the west of the Johnson property on Rice street and most recently acquired by Elevage.

I oppose the use of the property as a parking lot for obvious reasons: a) my property value will be affected negatively, and b) who wants to live next to a parking lot?

I can't quantify the dollar amount of the impaired value but it surely exists.

If the city approves this parking lot use, I request appropriate landscaping and/or fencing to at least screen the lot from my view.

Thank you for considering my request.

Richard O'Neil

Kathleen Castle <kcastle@shoreviewmn.gov> Thu, Aug 25, 2016 at 4:04 PM
To: Richard ONeil <rwo3530@yahoo.com>

Good Afternoon. I did receive your comments and will forward them to the Planning Commission.

Kathleen Castle
City Planner
City of Shoreview
651-490-4682
kcastle@shoreviewmn.gov

[Quoted text hidden]

August 16, 2016
File No. 2631-16-30
Elevage Development Group, LLC
3527 Rice Street

Comments:

In our emails in April I indicated my preference that a 6 foot privacy fence be provided where my property borders the development. This would include the south and east borders of my property. The plans show fencing at the retaining wall, but it doesn't note it at the remaining border. In your April 15, 2016 email you indicated the Developer indicated a willingness to install a privacy fence, and it would be recommended the Final Plat and PUD require a privacy fence. Will this be in the final documents?

With snow storage shown at the north area of the development I want to be sure that the grade and slope of the development provide for adequate drainage away from my property to avoid pooling of water in my yard.

Thank you for your consideration

Name: Howard Statz

Address: 3520 Rustic Place

Writing in response to the proposed amendment by Elevage Development.

The developer asks to rezone another residential property to mixed use. According to the regulations of the City of Shoreview this type of exception to the zoning laws must be accompanied by some kind of benefit to the neighborhood. The first homes that were taken were deemed as "blighted" and thus their removal was beneficial. To call those homes blighted was certainly an exaggeration but non-the-less the approval was granted. The current project, which seems to have little support, includes a row of "tiny house" townhomes situated along Rustic Place, with little tiny house balconies overlooking the unpleasantly noisy freeway. They are much more like a row of trailer homes than the upscale design that was used to describe them.

It is not inaccurate to define the Townhomes as a blighted design. Overcrowding is another blight included in the design.

Please request the developer remove the blighted design of the "tiny house / trailer houses" and overcrowding as a condition of improvement to the neighborhood to grant the taking of another home. It's possible you will actually help this project get off the ground if it were of a reasonable proportion.

Thank you

Nathan Anderson & Jane Calvin

3565 Rustic Place

Shoreview

Kathleen Castle <kcastle@shoreviewmn.gov>

Latest Elevage Revision

2 messages

DodyLeGault <dodylegault@aol.com> Fri, Aug 19, 2016 at 2:18 PM
To: Kathleen Castle <kcastle@shoreviewmn.gov>

I trust drivers will not be allowed a left hand turn from Rice into that parking lot entrance.

It still scares me that an entrance is allowed to the 14 townhomes off Co. Rd. E. . . . possibly 14 vehicles from an area that previously had just one driveway for a private home.

I understand the developers for the proposed "luxury" hotel by Weston Woods says people from Land O' Lakes will be staying there. I thought that's what Elevage said as well. Hmmmm, why would Land O' Lakes personnel want to stay on Rice and Co.Rd. E with a nearby railroad, heavy interstate traffic, etc? Have they looked at how close the entrance ramp looks like it will be to the gas station?

Do they even have their funding lined up yet?

Dody LeGault
3546 Rustic Place
651-482-0232

Sent from my iPad

Robert Warwick <rwarwick@shoreviewmn.gov> Fri, Aug 19, 2016 at 2:24 PM
To: "CASTLE, KATHLEEN" <kcastle@shoreviewmn.gov>

Received Friday 8/19 about 2.25pm

--------- Forwarded message ---------
From: **DodyLeGault** <dodylegault@aol.com>
Date: Fri, Aug 19, 2016 at 2:21 PM
Subject: Latest Elevage Revision
To: rwarwick@shoreviewmn.gov

Kathleen:
[Quoted text hidden]

--
Rob Warwick
Senior Planner
City of Shoreview
4600 Victoria Street North
Shoreview, Minnesota 55126
rwarwick@shoreviewmn.gov
651 490-4681

Shoreview

Kathleen Castle <kcastle@shoreviewmn.gov>

Comments On Elevage development Group Project (File No. 2631-16-30)

1 message

Thomas Sparrow <tsparrow@fastmail.net> Fri, Aug 19, 2016 at 9:39 AM
To: kcastle@shoreviewmn.gov

Since Elevage Development Group is adding a significant amount of parking internally, I would like to see the council approve signs on both sides to the street at the corner of Rustic Place and County Road E stating "No Parking From Here To The Corner". On Rustic Place, it should include the Elevage property that is adjacent to that street. On County Road E, the signs should encompass the whole street. That particular stretch of road was not designed for commercial traffic. No road traffic study from Elevage will change that fact.

Shoreview

Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage PUD - Tuesday August 30, 2016 Planning Commission meeting

1 message

SHARON BRAUN RICHARD H BRAUN <braunrs3535@q.com> Tue, Aug 23, 2016 at 12:04 PM
To: Kathleen Castle <kcastle@shoreviewmn.gov>

Elevage Development Group PUD proposed changes for the property at 3527 Rice Street;

1) The original proposal did not include the property at 3527 Rice Street for re-zoning to mixed use. Since this property was purchased afterwards, why is this PUD considered for re-zoning? If, in fact, this zoning change request from low-density to mixed use, is approved for this property, this adds additional parking to the Elevage project. We request the city to approve signs stating "No Parking " on Co. Rd. E and also "No Parking Here to Corner" on Rustic Pl. 300 ft. south to Co.Rd. E. This would help eliminate possible accidents since parked cars obstruct vision, and Rustic Pl. is a very narrow street.

2) The PUD plan shows three snow storage areas on the north end of the townhome lot. Is that enough space to take care of the entire Elevage project? What about drainage to storm sewers? We don't believe that our residential storm sewers will be able to handle the snow and possible heavy rains. Is there a separate drainage system to handle this development? Without that, the majority of the run-off will drain into 3520 Rustic Pl. What about drainage to the other adjoining homes and those on Rice St.?

3) The new plan shows direct access onto Rice St. This really concerns us because the traffic on Rice St. is a very big issue. We live here and the problem is real. Without some restrictions, we will not be able to navigate out of our area, especially during peak traffic hours.

4) Concerning fencing, this development should be totally enclosed from the residential homes. This would give us some sense of privacy and peace that we had before this project was approved. We are asking the city to please consider this request.

5) Since the square footage of the restaurant and coffee shop have been determined, what kind of restaurant will it be - a family type restaurant or a restaurant-sports bar or what?

6) Shoreview and other communities have had oak wilt problems. Is there a protection plan to prevent oak wilt from spreading? In our Rustic Pl. --St. Marie neighborhood we have had numerous problems with oak wilt. We would ask the city to involve an arborist for recommendations since this development will require more trees to be cut down.

7) Since the development was approved as is, we have a question about the sewer and water for our residential area. Will the additional usage from the 134 unit apartment building, the town homes, the restaurant, and other businesses cause our sewers to back up and decrease our water pressure? Shouldn't there be a separate water and sewer system for this high density project? We need to know that these concerns have been considered and not just assume that everything will be okay.

Respectfully,

Richard and Sharon Braun
3535 Rustic Pl.

Regarding the Public Hearing on August 30, 2016 for the Amendment for Elevage Development at Cty E and Rice Street/ Rustic Place

I am opposed to the rezoning of 3527 Rice St from Residential to Multi use. The Development was previously approved by both the Planning Commission and the City Council. Both stated there was ample parking. If approval is granted for this expansion, does this mean that all our homes will be in jeopardy in the future? We will be forced out of our homes by untenable living situations created by the developer.

Rice Street: The new plan allows for direct access onto Rice Street. This will cause considerable traffic issues. The City and Ramsey County dismisses the traffic problem as fiction. For those living in the area, it is real. This access onto Rice St, if allowed, needs to be restricted.

Fencing: The new plan states to "install fencing at retaining wall." It shows a very short area of may be 100 ft. Privacy fencing has been requested by the neighbor at 3520 Rustic Place. The drawing provided does not show this. Also, I live at 3538 Rustic Place and I am now diagonal to the proposed parking lot. I request a privacy fence of 6+ ft be along the east side of 3530 Rustic Place and along the south side of 3529 Rice St. I am requesting the new addition to the development be totally enclosed and separated from the residential homes. Since the project is over 30+million dollars, the developer can do the courtesy of allowing the nearby residents some semblance of the tranquility we used to experience.

Drainage: The drawing provided shows "snow storage area" to the north of the townhomes. Is the drainage prevented from going north onto the property of 3520 Rustic Place when the snow melts or when there is a heavy rainfall?

Drainage due to the increase in impervious surface area of 3527 Rice St should be directed away from the residential homes.

Rustic Place street parking: Since there has been added parking, I request "No Parking" be in place along Cty E as well as on Rustic Place 300 ft north from Cty E. The street is narrow. Parking makes it difficult to impossible to safely negotiate the turn onto and off of Rustic Place.

Tree Protection Plan: With this additional development, there will be trees cut down. To prevent oak wilt from spreading to adjoining oak trees, I request there be a Tree Protection Plan set in place. An arborist needs to be consulted in the proper removal of oak trees.

As a 46 year Shoreview resident and tax payer, please address these issues.

Sincerely,

Marcia Figus
3538 Rustic Place
Shoreview, MN 55126

August 16, 2016
File No. 2631-16-30
Elevage Development Group, LLC
3527 Rice Street

Comments:

"Don't it always seem to go,
That you don't know what you've got
Til its gone
They paved paradise
And put up a parking lot."

3527 Rice Street is a beautiful home with a lake view and a beautiful back yard. This is a **home** that someone needs and would love to have. Paradise to parking lot.

Our wish as a family is that you please don't allow the destruction of ANOTHER home in our area and don't change the designation to MU to allow them to make it a parking lot. In all the meetings, we saw that the Planning Commission deliberated long, hard and with integrity about the parking situation, the end result being that the former proposal was passed as being sufficient. If that was the informed decision of yourselves and later of the City Council, can we please hold to that and keep this **home** intact?

It is a grandiose request, to be sure. I work with immigrant, migrant and refugee families as a profession. The "have nots" of our society. And in order to make it through my days, I have to carry hope for them - hope that they can find housing and food. Hope that they can learn the language and provide for their children. Hope that money and power don't always win, because if they do, what chance can my students – with no power and no money – ever have?

I know that my neighbors are asking for specific mitigating things in their comments, as they have given up hope that this home will not be leveled. But as for me and my house, we cling to hope that a better decision can be made. That maybe this time, money and power in the form of Elevage won't win. That the paradise at 3527 Rice Street will stand as a **home** for another family to love.

Thank you for listening.

Eric, Anna, Rhea (14), Eli (11), Katherine (9) Schaberg

3577 Rustic Place

Shoreview

Kathleen Castle <kcastle@shoreviewmn.gov>

Comments for Plannning Comm mtg on Aug 30

1 message

donjanbunde@q.com <donjanbunde@q.com> Wed, Aug 24, 2016 at 10:29 PM
To: Kcastle <Kcastle@shoreviewmn.gov>

Proposal regarding the public hearing on August 30, 2016 for the amendment from Elevage Development Group to incorporate the property at 3527 Rice St into their redevelopment plan for the property at County Rd E and Rice St.

What is the need for added parking? If there was adequate parking previously why is more parking being proposed unless there is something that is changed from previously approved plans.

Direct Access to Rice St.: This was proposed before and turned down. The traffic on Rice Street is real and is a problem. Morning and evening rush hour is the busiest for Rice St and that is when residents and businesses of this development will be adding to the congestion and interrupting the flow of traffic. If approved, restrictions should be added to this proposal for access into and out of the Rice St. access. Parking restrictions should also be added to County Rd E and to the north end of Rustic Place.

Incorporate Property into Elevage First Addition Plat: We can understand incorporating the property into the plan but why does there have to be a change in the proposed property now. By removing the home and trees and replacing it with blacktop for road and parking, are we overlooking the issue of the privacy in a residential neighborhood. The previous proposal was agreed to as sufficient and to make the change, at this time, can be delayed until it is needed. What is the tax advantage to the City to replace a $200,000+ home with a parking lot and driveway. Since this development project is over 30+million dollars, the developer can do the courtesy of allowing residence some semblance of tranquility we use to experience by leaving this property as a buffer.

Blacktop runoff and snow removal: Putting in blacktop leaves a lot of water not being absorbed in the ground but left to run down the streets and add to our holding ponds. Holding ponds are there to alleviate the water issues from the neighborhood but with too much runoff there will be a new set of issues. The snow removal needs to be addressed on both the town homes and apartment complex to make sure they are not making more problems for the residents that abut the development. Adding more blacktop is adding to a new set of issues to be addressed.

Tree Removal: We saw what happened to the properties on County Rd E and how little protection there was in the removal of the trees. Oak wilt is here and it is prevalent in this neighborhood. Ask us and we will show you. It can be prevented only if you are willing to take precautions. Consulting with an Arborist and having them set up a Tree Protection plan for removal will help.

According to the City, we had a blighted shopping mall. This area has gone from being respectable

to being a dump. We have not seen any effort to keep up this area and make it presentable. If this is known as the Gateway to Shoreview we have a problem. A neighbor was given a time line to clean up a small dirt pile in his yard that was there for a short time. How long do we have to wait for a resolution to this development? Look around at all the building going on. What do you see at the site on County Rd E and Rice Street?

We hope you will consider waiting to change the property at 3527 Rice St. until it is determined that more parking is needed for the residents and businesses of this development.

Don & Jan Bunde

3685 Rustic Place

Shoreview MN 55126

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planning commission 8 30 2016 (2).odt
28K

PROPOSED MOTION
ELEVAGE DEVELOPMENT GROUP, LLC /ELEVAGE SHOREVIEW HOLDINGS, LLC

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the following requests submitted by Elevage Development Group, LLC/Elevage Shoreview Holdings, LLC (EDG) to redevelop the 3527 Rice Street and incorporate the parcel into the approved mixed use development on the adjacent properties at: 157 County Road E, 185 County Road E, 3521 Rice Street and 3500 Rustic Place. Approval is contingent on the following:

Comprehensive Plan Amendment

1. The amendment changes the land use designation from RL, Low Density Residential to MU, Mixed Use.
2. Review and approval of the amendment by the Metropolitan Council.
3. The amendment will not be effective until the City grants approval of the Final Plat and PUD - Final Stage requests and the development agreements are executed.

Rezoning

1. This approval rezones the property from R1, Detached Residential to PUD, Planned Unit Development.
2. The underlying zoning district for this parcel is R3, Multi-Dwelling Residential as it will be part of Lot 2 for the mixed-use apartment complex.
3. Rezoning is not effective until approvals are received for the Final Plat, PUD - Final Stage and development agreements executed.

Preliminary Plat

1. A public use dedication fee shall be submitted as required by ordinance prior to release of the final plat by the City.
2. The final plat shall include drainage and utility easements along the property lines. Drainage and utility easements along the roadways shall be 10' wide and along the side lot lines these easements shall be 5' wide. Other easements shall be dedicated as required by the Public Works Director.
3. Private agreements shall be secured between the parcels in the subdivision regarding the maintenance of shared facilities. Said agreements shall be submitted to the City Attorney for review and approval prior to the City's release of the Final Plat.
4. Comments received from the State of Minnesota shall be addressed in the Final Plat submittal.
5. The Final Plat shall be submitted to the City for approval with the Final Stage PUD application.

Planned Unit Development – Development Stage

1. This approval amends the previous PUD approved for the redevelopment of 157 County Road E, 185 County Road E, 3521 Rice Street and 3500 Rustic Place with a mixed use development consisting of a 5-story building that has 134 market rate apartment units and 6,800 square feet of commercial space on the first floor. Fourteen townhomes are also planned. The approved conditions and Development Agreements remain in effect. See Planning Case File 2611-16-10.
2. Access to the expanded parking lot shall be provided via the driveway off County Road E. The proposed driveway off of Rice Street shall be designed for Emergency Vehicle access only per the requirements of Ramsey County.
3. Approval of the final grading, drainage, utility, and erosion control plans by the Public Works Director is required, prior to submittal to the City of applications for Final Plat and PUD – Final Stage. Final plans shall identify site construction limits and the treatment of work (i.e. driveways, parking areas, grading, etc.) at the periphery of these construction limits.
4. The developer shall secure a permit from the Ramsey Washington Metro Watershed District prior to commencing any grading on the property.
5. A financial contribution to the City's Forestry fund is required since the number of required tree replacements cannot be accommodated on the development site.
6. The applicant is required to enter into an Amendment to the Site Development Agreement and Erosion Control Agreement with the City which addresses the expansion of the parking lot. Said agreements shall be executed prior to the issuance of any permits for this project.
7. This approval shall expire after two months if the Planned Unit Development - Final Stage application has not been submitted for City review and approval, as per Section 203.060 (C)(6).

This approval is based on the following findings:

1. The proposed incorporation of the property into the adjoining property for the mixed-use development supports the policies stated in the Comprehensive Plan related to land use, housing and redevelopment.
2. The proposed redevelopment plan will not have a significant adverse impact the planned land use of the surrounding property.
3. The amended parking plan provides additional surface parking for the mixed use development.

VOTE:

AYES:

NAYS:

Planning Commission Meeting
August 30, 2016

TO: Planning Commission

FROM: Rob Warwick, Senior Planner

DATE: August 26, 2015

SUBJECT: File No. 2633-16-32, Tyme Properties, Gramsie Square, 3999 Rice Street - Comprehensive Sign Plan Amendment

INTRODUCTION

Tyme Properties has submitted an application to amend the Comprehensive Sign Plan for Gramsie Square, a multi-tenant retail center located at Rice St. and Gramsie Road. They propose to alter the existing freestanding sign, adding a cabinet for the fuel station. The proposed sign does not conform to the approved plan, and an amendment to the Comprehensive Sign Plan is required.

In addition to adding the fuel brand to the pylon sign, the amendment proposes that the pylon include fonts and color of the tenants' choice.

The fuel brand sold by the station is being changed to Minnoco, and will offer renewable fuels (E85, E30, E15) in addition to traditional diesel and gasoline fuel. A copy of the applicant's statement is attached.

The application was complete August 24, 2016.

BACKGROUND

The property is in the C-2, General Commercial District, and the existing use conforms to the zoning regulations and previous approvals. The retail center was approved and constructed in 1985. The Center has about 12,000 sq. ft. of floor area. Footings and foundation were also constructed at that time to allow a future expansion on the south end of the building, and those remain in place underground. At the same time, the City approved a Comprehensive Sign Plan for the Center. The Sign Plan addresses both wall signs (on both the east and west building fascia), and the freestanding sign. The Sign Plan was first amended in 1991, and again in 1998.

The sign plan includes provisions addressing:

- Wall Signs:
  - East Fascia (Rice Street)
    - Individual letter style mounted within the sign band
    - Maximum 24-inch height
    - No color or font restriction
    - Logos are permitted
    - Not to exceed 80% of the tenant space

            - Centered over tenant space with minimum 18-inch clearance on each end of space (to provide separation between fascia signs)
    - West Fascia (Gramsie Road)
        - Individual letter style mounted within the sign band
        - Maximum 18-inch height
        - White letters using a block style font
        - Minimum 18-inch clearance from the border of the tenant space
    - Awnings ("Canopy") are allowed if uniform.
- Pylon Sign
    - Maximum 25-foot height and 80-sq. ft. size
    - Advertise Gramsie Square, incl. the street address
    - Tenant panels to use uniform lettering and color
- The convenience store and gas facility are not subject to the sign plan.

The Sign Plan approved deviations for sign height and area. Since 1998 the regulations for signs have be amended several times, including differentiating between sign area, and the copy and graphics area. According to current Code, a multi-tenant building with less than 20,000 sq. ft. of floor area is permitted a pylon sign with a 20-foot height and 30 square foot area.

A gas price display has been added to the pylon sign, and that is defined as a type of changeable copy sign. Changeable copy signs are permitted with a 40-sq. ft. maximum when integrated on an existing freestanding sign in the C-2 District, however gas price displays have a maximum 6 sq. ft. area for the digital price display. The existing sign is consistent with the prior approvals.

DEVELOPMENT CODE REQUIREMENTS

Signs are regulated according to the provisions of Section 208 of the Development Code. Multi-tenant retail centers, such as the Gramsie Square, are required to have a comprehensive sign plan since more than one wall sign is displayed. For structures less than 20,000 square feet in area, a cabinet-style pylon sign is permitted provided the height does not exceed 10-feet and the sign area does not exceed 30 square feet.

A changeable copy sign, can be integrated on the pylon, and its area is permitted *in addition* to area of the freestanding sign. The gas price display shows two types of fuel and their prices. The price display uses 12-inch numbers, and has an area less than the maximum 6 sq. ft. allowed.

The proposed height and area are consistent with the approved plan. The Minnoco cabinet proposed on the pylon uses font and color that do not conform to the approved plan, and so a sign plan amendment is requested.

Comprehensive Sign Plan Review

The Comprehensive Sign Plan considers five elements that govern all signs within the development: location, materials, size, color, and illumination.

STAFF REVIEW

The proposed sign plan was reviewed in accordance with the City's sign standards and previous sign plan approvals. The existing signage for the Center includes wall signs for the tenants, the freestanding pylon sign, including the gas price display, and canopy signs for the fuel station. While the approved sign plan allows wall signs on the west façade of the building, no permanent signs are displayed on that elevation.

Comprehensive Sign Plan Review

Staff considers that the addition of the fuel brand on the pylon sign drives the request, in order to use the font and colors that characterize the brand. Staff expects that a second amendment to the sign plan will be requested very soon to obtain approval for other Minnoco signage for the store and station fuel canopy.

The pylon sign exceeds Code standards for height and area, but remains in compliance with the approved plan. As a result, no deviation is proposed and the City review should focus on expanding colors and fonts used for tenants on the pylon sign. The applicant states that the change upgrades the image of the pylon and the sign will have greater appeal.

Staff does not disagree since wall signs currently vary in font and color. It seems appropriate to carry those design variations to the pylon sign. The Center name and address remain the dominant feature of the pylon, as required. Other multi-tenant buildings allow use of logos on a freestanding sign, and staff believes that is also appropriate for this site.

REQUEST FOR COMMENT

Property owners within 350 feet were notified of this request. No comments have been received.

RECOMMENDATION

The Staff reviewed the proposal in accordance with the requirements for a Comprehensive Sign Plan. Staff recommends that Commissioners take public comments, review the application, and forward the Comprehensive Sign Plan application to the City Council with a recommendation for approval, subject to the following:

1. The sign shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.

2. The applicant shall obtain a sign permit prior to the installation of any signs on the property.

Attachments

1. Location Map
2. Submitted Plans and Written Statements
3. Comment
4. Proposed Motion

T:/2015pcf/2633-16-32 3999 rice st/compsign plan /pcreport.docx

MapRamsey

3999 Rice Street

400.0 0 200.00 400.0 Feet

NAD_1983_HARN_Adj_MN_Ramsey_Feet

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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries
- Airports

Notes

Gramsie Square Center

Tyme Properties LLC

August 24, 2016

Rob Warwick
Senior Planner
City of Shoreview
4600 Victoria St. No.
Shoreview, MN 55126

RE: New Free Standing Pylon Sign
Gramsie Square Shopping Center
3999 Rice Street
Shoreview, MN

Comprehensive Sign Plan Application Narrative

This Comprehensive Sign Plan narrative is for installation of a new pylon ID sign for the Gramsie Square Shopping Center located at 3999 Rice Street, Shoreview, MN 55126.

The property manager is Tyme Properties, LLC represented by Thomas Schutte (651-330-2403).

A major tenant of the shopping center, Gramsie Corner Mart, is working with Minnesota Service Station and Convenience Store Association (MSSA) to rebrand to a Minnoco branded gas station.

MINNOCO (Minnesota Independent Oil Company) is a brand of gasoline developed for the members of the MSSA (Minnesota Service Station & Convenience Store Association) by the members of the MSSA. Allowing members of the Association the opportunity to own and control their own brand of fuel while offering alternative renewable fuels such as Diesel, E85, E30, E15, 87, 89 and 91 octane fuels.

A primary objective of the Minnoco brand is the sale and distribution of renewable ethanol fuels. Minnoco stations fund the installation of ethanol-compatible dispensing infrastructure at each of its fueling stations. Minnoco is working with the MN Dept of Agriculture and the US Dept of Agriculture on a Biofuel Infrastructure Partnership. Minnoco and each of its gas station partners invest heavily into the new infrastructure requirements and make a long-term commitment to offering the alternative fuels.

We are using the event of the gas station rebranding to modify and update the property's pylon ID sign. The current ID sign contains one LED price display reader board. With the change to Minnoco, the gas station needs to be able to display more than one gas price. In addition, the current ID sign does not display the name of the gas station. We believe the new ID sign will better highlight the new Minnoco gas station and offers us a chance to upgrade the image of the ID sign which will offer all of our tenants an upgraded image and be a more appealing accessory for the shopping center.

3435 Labore Road, Suite 150, Vadnais Heights, MN 55110-5147 T: 651-330-2403 F: 651-888-2519 E: commercial@tymeproperties.com

Tyme Properties LLC

In designing the new ID sign, we attempted to comply with the existing comprehensive sign plan in the following areas:

- Maintained "Gramsie Square" as the prominent feature of the ID sign. Gramsie Square occupies the largest tenant sign area and is located at the top of the sign.
- Maintained the address of the property, which will be listed on the top graphic panel on the new ID sign.
- The overall graphic and text area of the sign is less than 80 square feet.
- Maintained the LED Price Display reader board at the bottom of the overall pylon sign.
- The LED price displays fill an area that is less than maximum allowed.
- Maintained the overall height the same as the existing pylon sign at 24 feet.

We are asking for consideration of the following modification to the existing Comprehensive Sign Plan:

- The current sign plan calls for Tenant Lettering on the ID sign "be uniform in color and type".
- We are requesting that the color and font of the tenant displays be variable.
- The existing plan does allow for variable color and font for the individual wall signs for each tenant.
- We are asking that the same variability be allowed on the tenant faces on the new ID sign.
- We believe the variability offers brighter and more attractive options and will draw more interest for the businesses that occupy Gramsie Square Shopping Center.
- We have attached designs for both variable and consistent tenant fonts and colors for your review.

Please call with any concerns regarding this new signage. My telephone number is 651-330-2403.

Sincerely,

Thomas M. Schuette
On behalf of Tyme Properties LLC

TMS/kl

Attachment

3435 Labore Road, Suite 150, Vadnais Heights, MN 55110-5147 T: 651-330-2403 F: 651-888-2519 E: commercial@tymeproperties.com

Tyme Properties LLC

August 19, 2016

Rob Warwick
Senior Planner
City of Shoreview
4600 Victoria St. No.
Shoreview, MN 55126

RE: New Free Standing Pylon Sign
Gramsie Square Shopping Center
3999 Rice Street
Shoreview, MN

Dear Rob,

I am a property manager with Tyme Properties LLC, which is the new property management company of Gramsie Square Shopping Center. The purpose of this letter is to express support for the new monument sign to be built at Gramsie Square Shopping Center.

The new sign will feature the name and address of the shopping center "Gramsie Square, 3999 Rice Street" at the top of the sign. The lowest part of the sign will be used to display the new Minnoco sign and the two (2) gas price displays.

Of great concern for this new sign is the color and font of individual signs. We strongly request that the color and font of the Tenant displays not be required to be similar. The retail businesses of Gramsie Square Shopping Center will benefit by the right to use various colors and fonts to display the name of their business. The businesses of the shopping center include Mansetti's, Jade House, Bravo Fitness, Shear Genius Salon, Fantastic Nails, State Farm Insurance and Gramsie Corner Mart. A business such as State Farm Insurance must display its logo and the appropriate red color.

I have attached an illustration of the sign with the same color signage and another sketch with various color signage. Clearly the sign with various colors is brighter and more attractive and will draw more interest for the businesses of the shopping center. The sign with all the same colors does not jump out to the eye and tends to blend together with no visual attraction.

Thank you for your consideration to this request to have multi-color tenant names on the a new Gramsie Square pylon sign.

Please call with any concerns regarding this new signage. My telephone number is 651-330-2403.

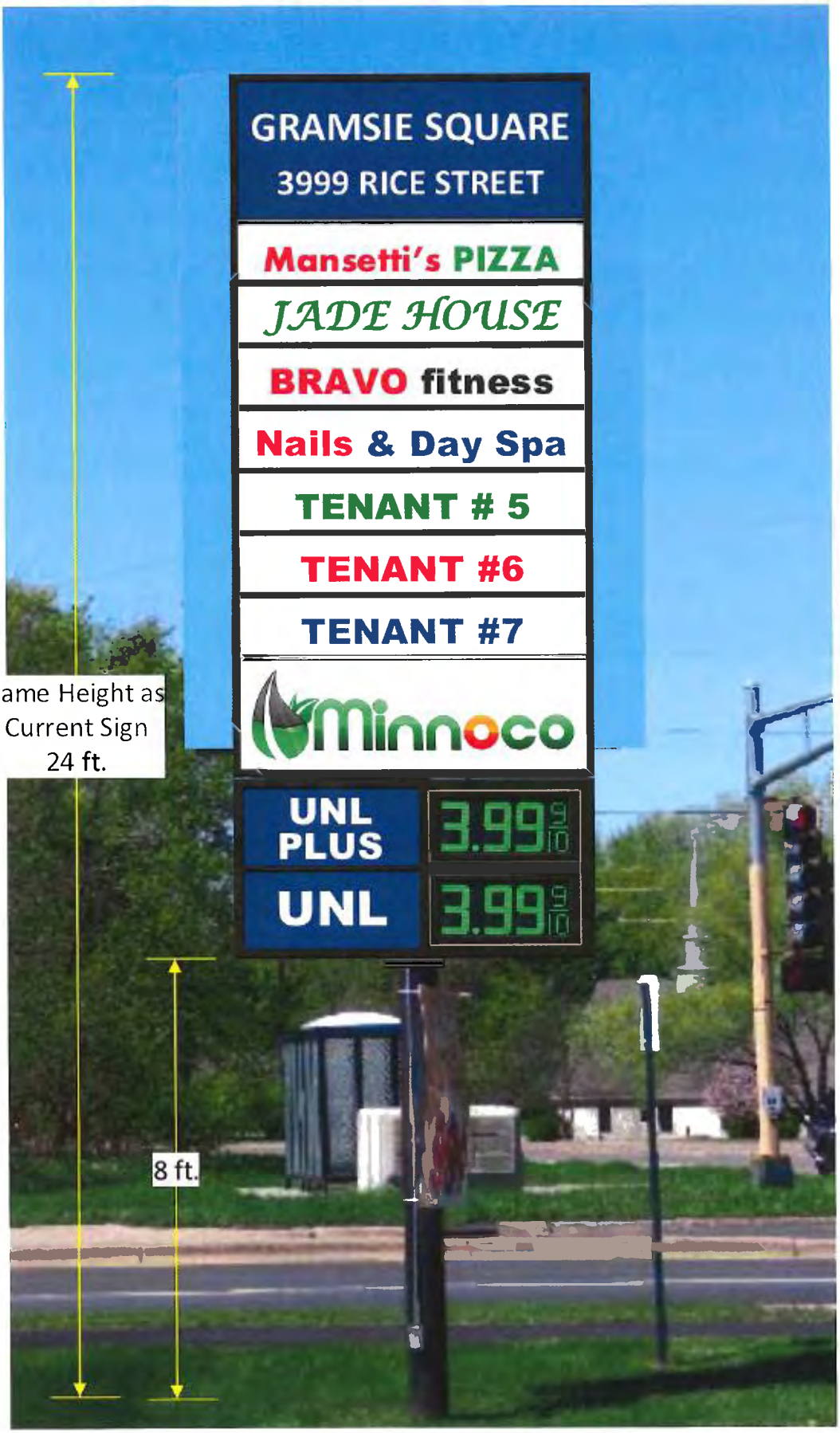
Sincerely,

Thomas M. Schuette
On behalf of Tyme Properties LLC

TMS/kl

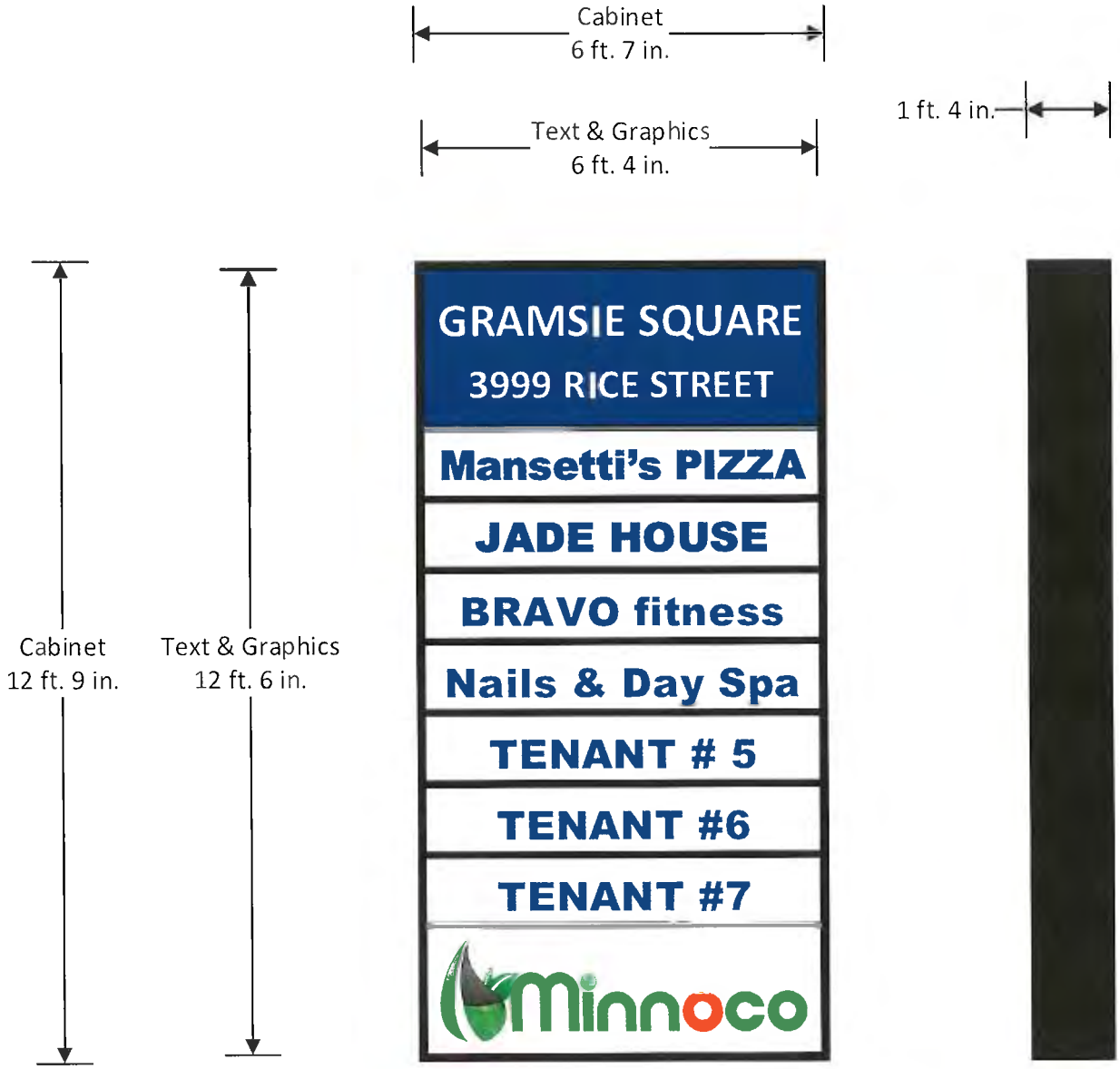
Attachment

3435 Labore Road, Suite 150, Vadnais Heights, MN 55110-5147 T: 651-330-2403 F: 651-888-2519 E: commercial@tymeproperties.com

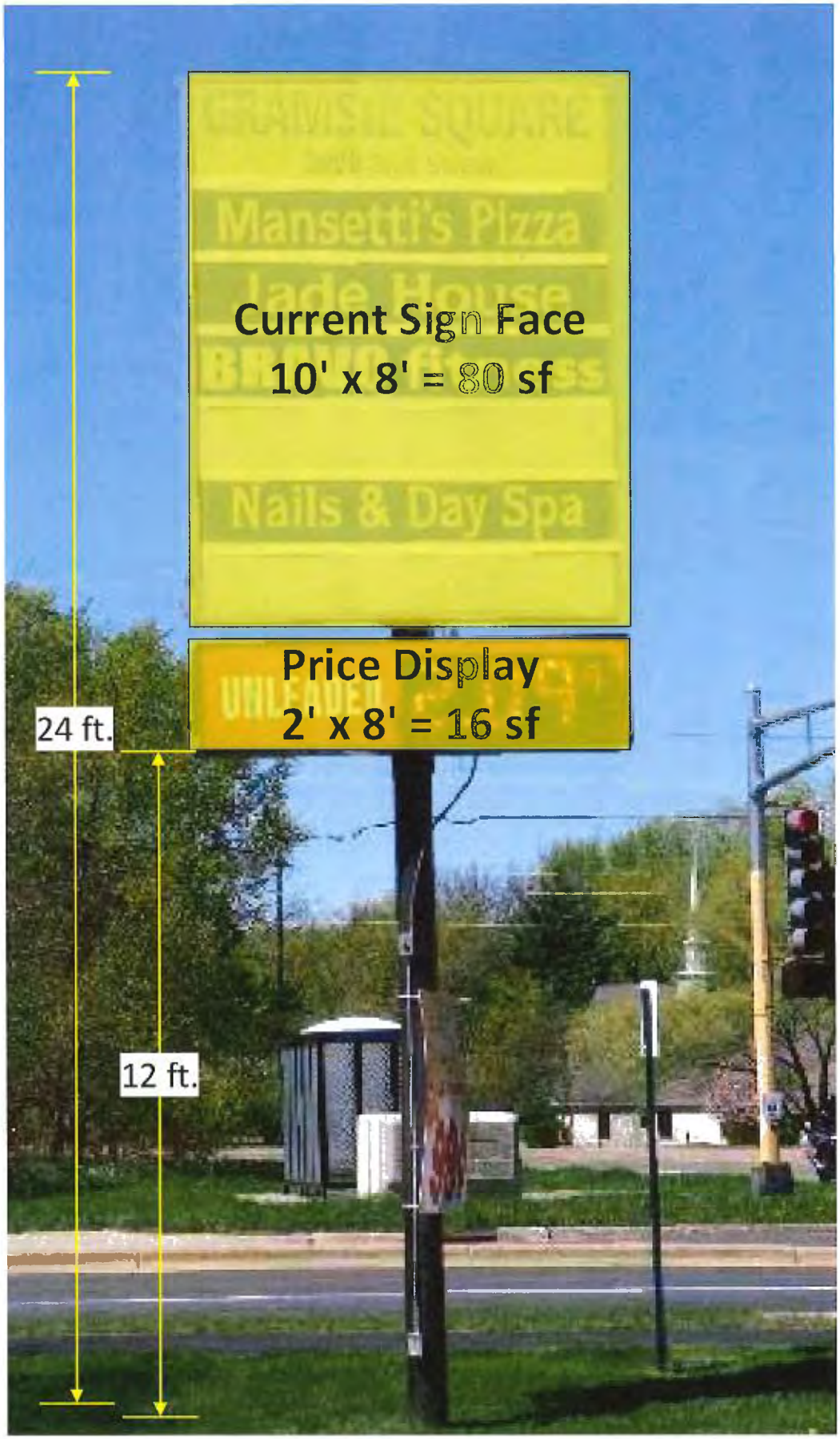

GRAMSIE SQUARE
3999 RICE STREET
Mansetti's PIZZA
JADE HOUSE
BRAVO fitness
Nails & Day Spa
TENANT # 5
TENANT #6
TENANT #7
Minnoco
UNL PLUS
3.99 9/10
UNL
3.99 9/10
Same Height as Current Sign 24 ft.
8 ft.

Main ID Sign

Consistent Text Font and Color



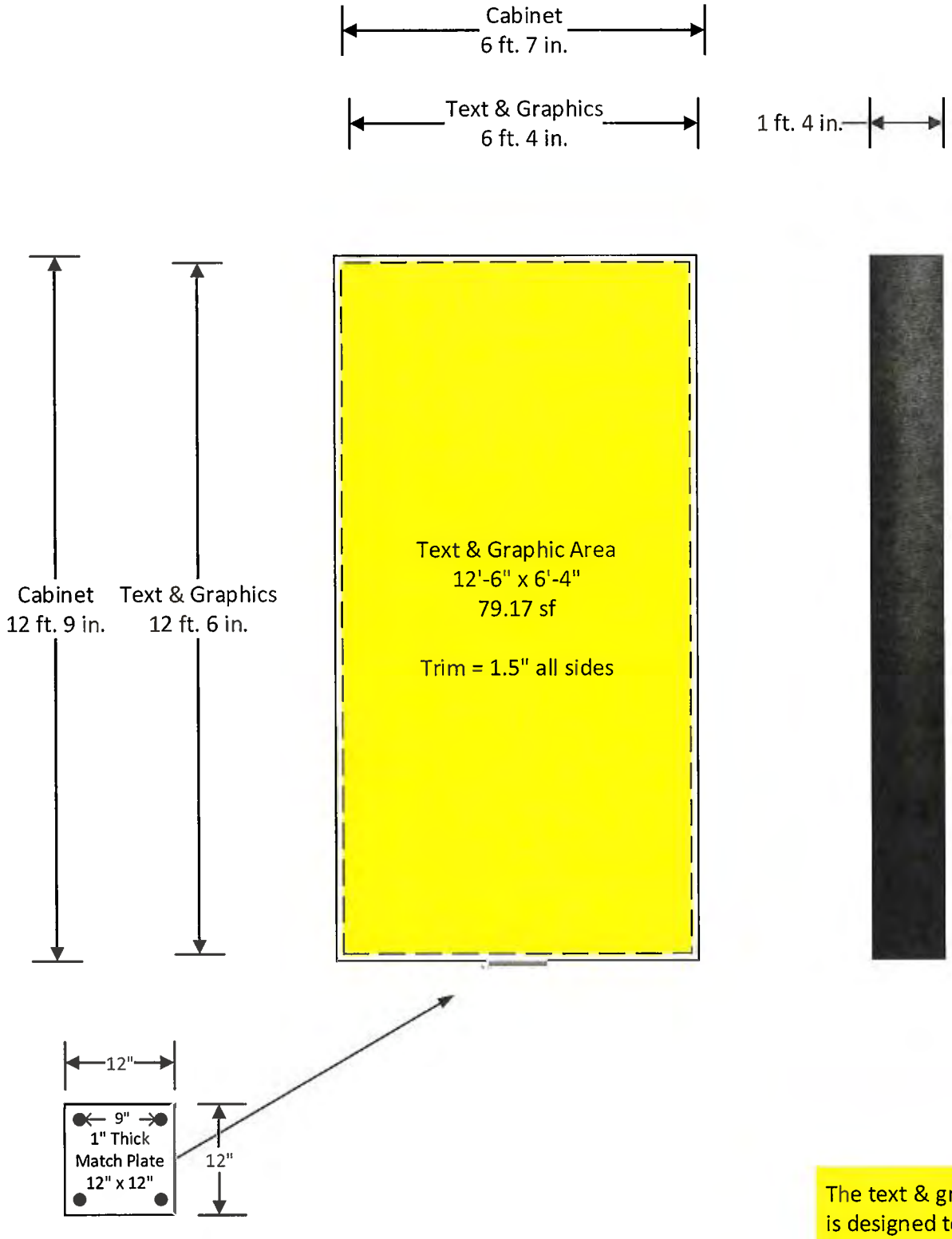
Gramsie Square Shopping Center
3999 Rice St.
Shoreview, MN 55126


Mansetti's Pizza
Nails & Day Spa
Current Sign Face
10' x 8' = 80 sf
Price Display
2' x 8' = 16 sf
24 ft.
12 ft.

Main ID Sign

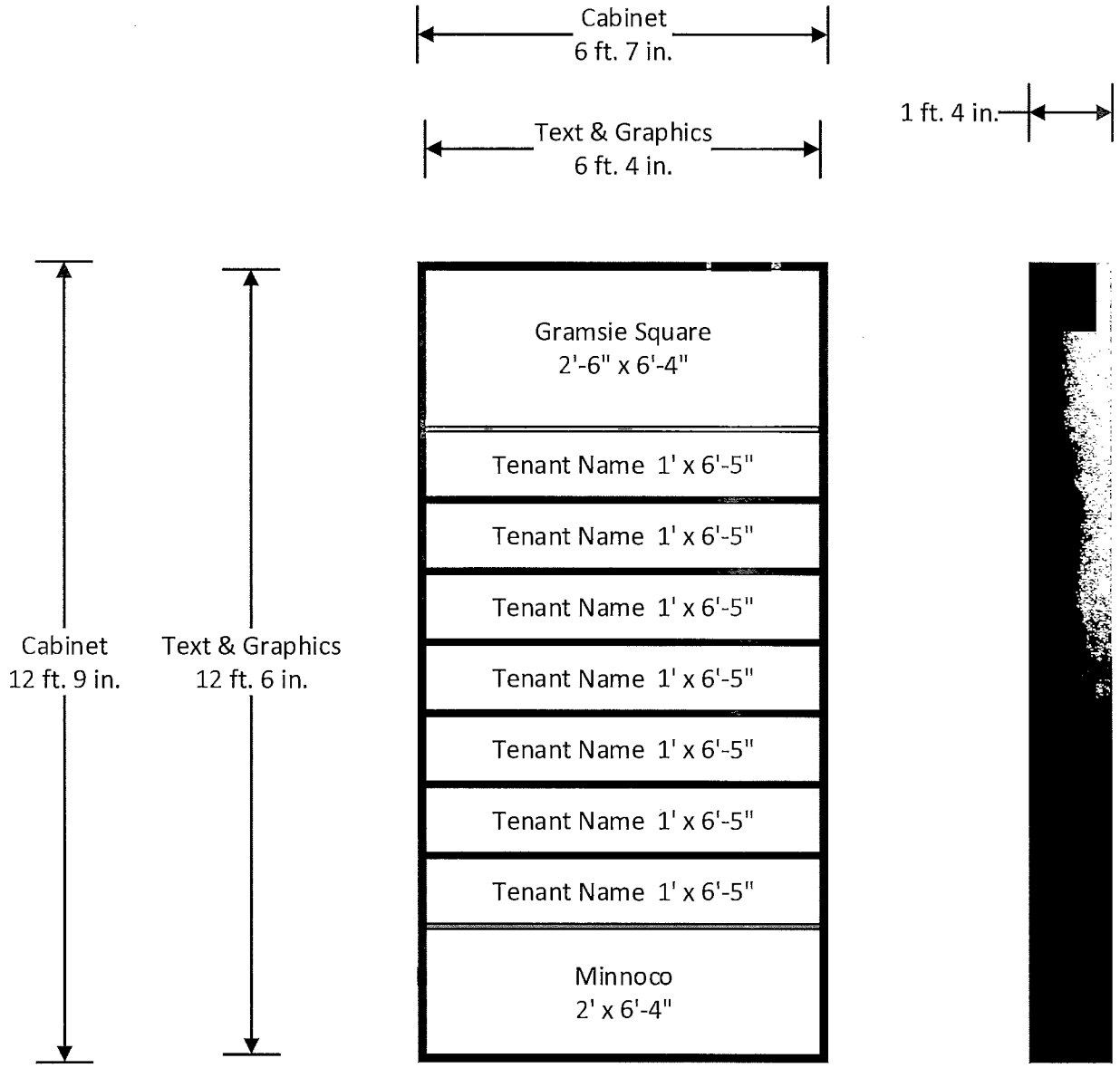
> No greater than 80 Square Feet

> Same height as existing sign



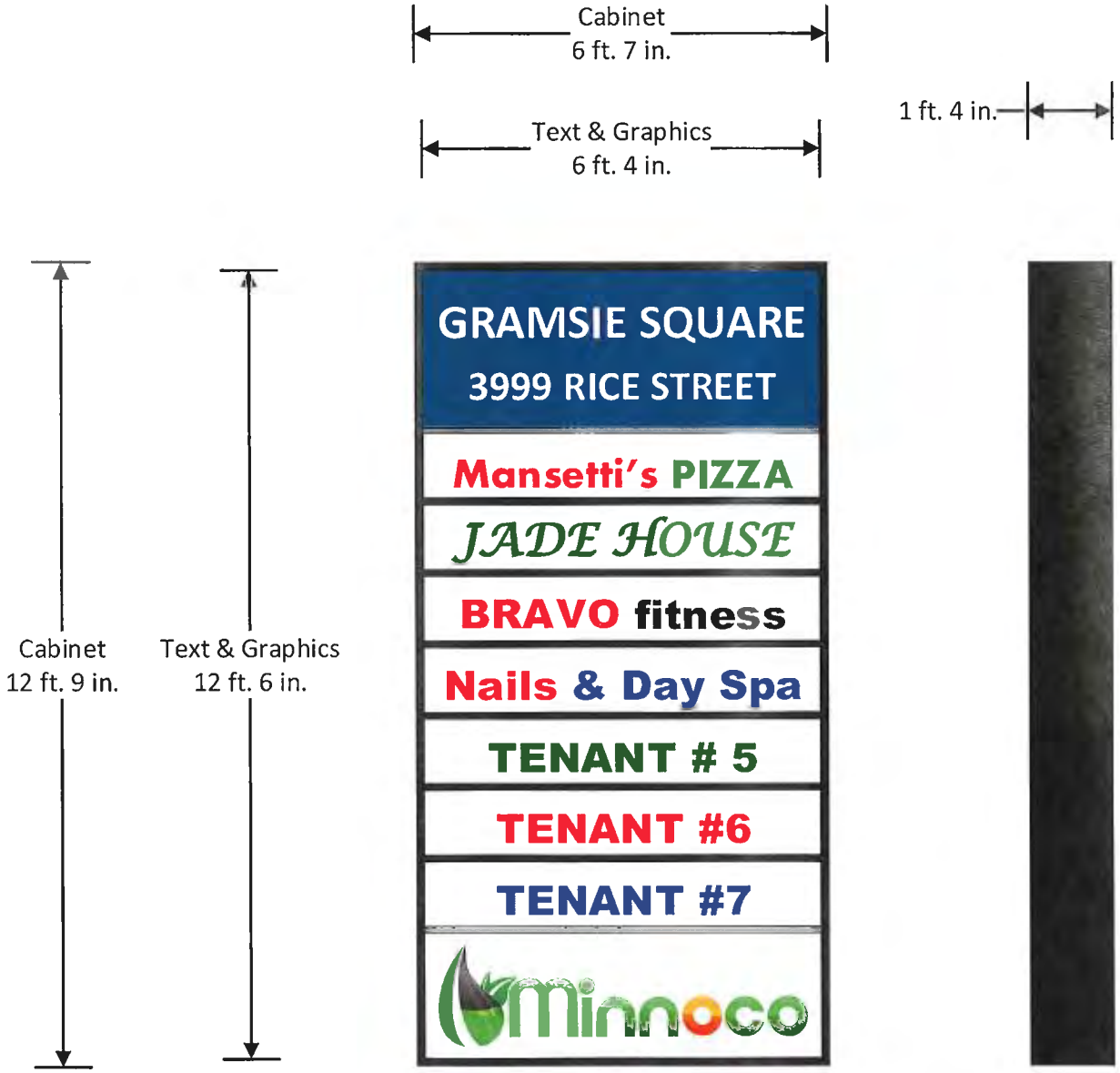
The text & graphic area is designed to be less than 80 square feet.

Main ID Sign

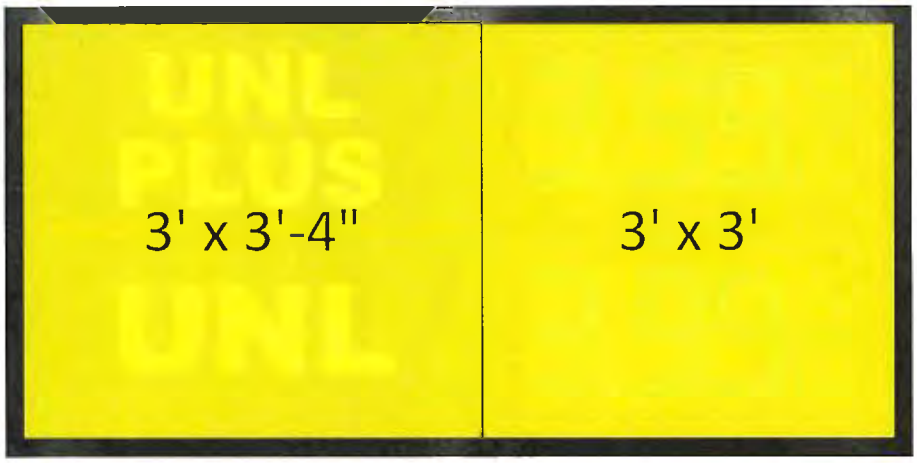

Cabinet
6 ft. 7 in.
Text & Graphics
6 ft. 4 in.
1 ft. 4 in.
Cabinet
12 ft. 9 in.
Text & Graphics
12 ft. 6 in.
Gramsie Square
2'-6" x 6'-4"
Tenant Name 1' x 6'-5"
Tenant Name 1' x 6'-5"
Tenant Name 1' x 6'-5"
Tenant Name 1' x 6'-5"
Tenant Name 1' x 6'-5"
Tenant Name 1' x 6'-5"
Tenant Name 1' x 6'-5"
Minnoco
2' x 6'-4"

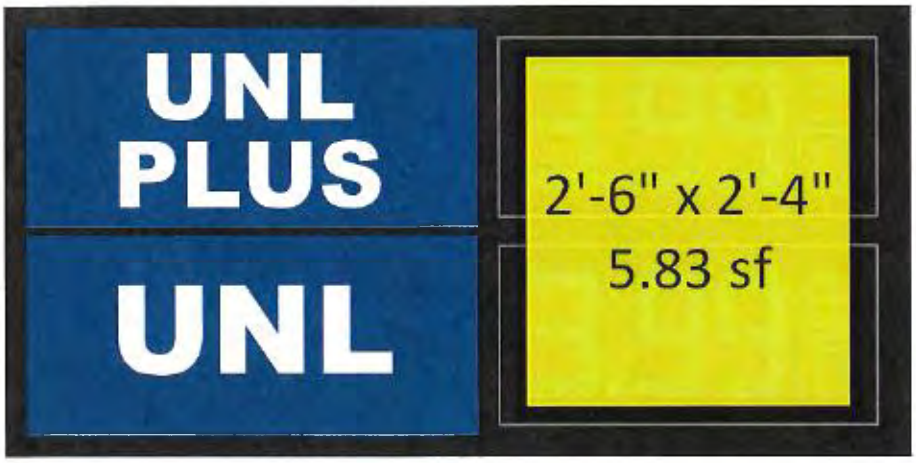
Main ID Sign

Variable Text Font & Color

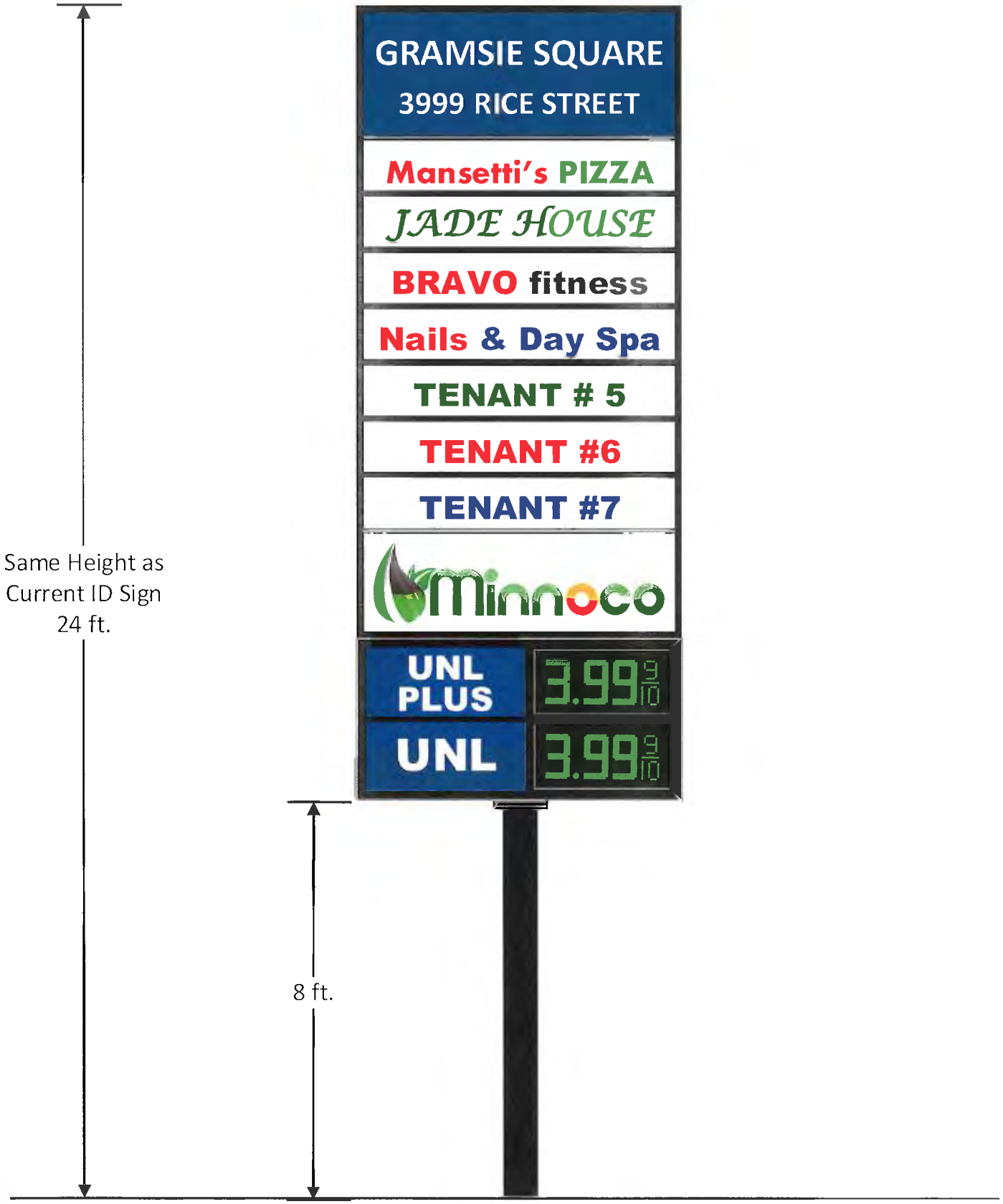


Price Display Sign





12" Numbers with 3" spacing each produces a total price display area of 2.5' x 2.33' = 5.83 sf.


GRAMSIE SQUARE
3999 RICE STREET
Mansetti's PIZZA
JADE HOUSE
BRAVO fitness
Nails & Day Spa
TENANT # 5
TENANT #6
TENANT #7
Minnoco
UNL PLUS
3.99 9/10
UNL
3.99 9/10
Same Height as Current ID Sign 24 ft.
8 ft.

MOTION
TO APPROVE AN AMENDMENT TO THE COMPREHENSIVE SIGN PLAN
GRAMSIE SQUARE CENTER
3999 RICE STREET

MOVED BY COMMISSION MEMBER: _____

SECONDED BY COMMISSION MEMBER: _____

To recommend the City Council approve the Comprehensive Sign Plan Amendment submitted by Tyme Properties, subject to the following conditions:

1. The sign shall comply with the plans submitted for the Comprehensive Sign Plan application. Any significant change will require review by the Planning Commission and City Council.

2. The applicant shall obtain a sign permit prior to the installation of any signs on the property.

Approval is based on a finding that the Comprehensive Sign Plan is consistent with prior City approvals for this property.

VOTE:

AYES:

NAYS:

Special Planning Commission Meeting – August 30, 2016